

*TOLEDO CITY
PLAN COMMISSION
REPORT*

MARCH 14, 2013

Toledo-Lucas County Plan Commissions

One Government Center, Suite 1620, Toledo, OH 43604

Phone 419-245-1200, FAX 419-936-3730

MEMBERS OF THE TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

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**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2013**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION			
November 27	December 21	December 28	January 10
January 2	January 28	February 1	February 14
January 28	February 25	March 1	March 14
February 25	March 25	March 29	April 11
March 25	April 22	April 26	May 9
April 29	May 27	May 31	June 13
May 27	June 24	June 28	July 11
June 24	July 22	July 26	August 8
July 30	August 26	August 30	September 12
August 26	September 23	September 27	October 10
September 23	October 21	October 25	November 7
October 21	November 18	November 22	December 5
COUNTY PLANNING COMMISSION			
December 10	January 7	January 11	January 23
January 14	February 11	February 15	February 27
February 11	March 11	March 15	March 27
March 11	April 8	April 12	April 24
April 8	May 6	May 10	May 22
May 13	June 10	June 14	June 26
June 10	July 8	July 12	July 24
July 15	August 12	August 16	August 28
August 12	September 9	September 13	September 25
September 9	October 7	October 11	October 23
October 7	November 4	November 8	November 20
November 4	December 2	December 6	December 18

* County deadlines are for Preliminary Drawings

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

March 14, 2013

2:00 p.m.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER
AT JACKSON BOULEVARD AND ERIE STREET
IN COUNCIL CHAMBERS
ON THE FOLLOWING CASES

AGENDA

ROLL CALL - Toledo City Plan Commission

PROOF OF NOTICE

SWEARING IN

MINUTES

FINAL PLATS

DIRECTOR'S REPORT

CHAIRMAN'S REPORT

ITEM
NO.

CASE DESCRIPTION

- | | |
|-----------------|---|
| 1. Z-1006-13: | Zone Change from IL to RD6 at 3841 Baltimore Street (gp) |
| 2. V-27-13: | Vacation of right-of-way along lots 4-9 and 49-56 of the BELLHURST Subdivision (tg) |
| 3. V-25-13: | Vacation of portion of Amherst Drive from Dartmouth Avenue to the Anthony Wayne Trail (tg) |
| 4. V-26-13: | Vacation of an alley between Louie Street and Hillsdale Avenue in the HIETTS AIRLINE JUNCTION Addition (gp) |
| 5. SPR-1-13: | Site Plan Review for new Dollar General store with landscape waivers at 828 Phillips Avenue (gp) |
| 6. SUP-1004-13: | Special Use Permit for a used auto sales facility at 5874 Dorr Street (bh) |

7. SUP-2001-13: Special Use Permit for tobacco shop at 2222 Reynolds (bh)
8. M-1-13: Text Amendment adding footnote clarifying density in multi-family districts for single buildings (bh)

ADJOURNMENT

GENERAL INFORMATION

Subject

Request	-	Request for zone change from IL Limited Industrial to RD6 Residential Duplex District
Location	-	3841 Baltimore Street
Applicant	-	Ronald E. Ulrich P.O. Box 208 Horseheads, NY 14845
Contact	-	Robert Epstein - Attorney 5215 Monroe Street # 4 Toledo, OH 43623

Site Description

Zoning	-	IL / Limited Industrial
Area	-	± 0.08 acres
Frontage	-	± 40' along Baltimore Street
Existing Use	-	Single Family Residential
Proposed Use	-	Single Family Residential

Area Description

North	-	Single Family Residential / IL
South	-	Single Family Residential / IL
East	-	Industrial Facility / IL
West	-	Single Family Residential / IL

Parcel History

None on record

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a zone change from IL Limited Industrial to RD6 Residential Duplex District for a site located at 3841 Baltimore Street. The ±0.08 acre site is zoned limited industrial and is currently occupied by a single family home. The house is a legal nonconforming use. Baltimore Street is one block in length and zoned limited industrial on both sides.

The property is adjacent to residential single family and duplex dwelling units, all of which are zoned limited industrial and are being used for residential purposes. The applicant is requesting a zone change for refinancing purposes. All of the land uses located on the lots abutting the west side of Baltimore Street are incompatible with their current zoning and may be candidates for future down-zoning.

Surrounding land uses include limited industrial to the east of the property across Baltimore Street, limited industrial land uses to the north, single family and duplex dwellings to the west, and single family and duplex dwellings and commercial land uses to the south.

The Toledo 20/20 Comprehensive Plan targets this area for single family residential land uses, a category that accommodates residential duplex districts as well. The zone change is suitable for this location because it is compatible with surrounding uses and will not negatively impact the adjacent neighborhood. This parcel is presently occupied by a single family dwelling unit which does not conform to current zoning. The rezoning of this parcel will bring the property into conformity and it will eliminate a hardship being experienced by the homeowner. Furthermore, a rezoning to single family residential will set a positive precedence for other homeowners in the immediate area that could face the same hardship if trying to refinance their home.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommends approval of Z-1006-13, a request for a zone change from IL Limited Industrial to RD6 Residential Duplex District, for a site located at 3841 Baltimore Street, to the Toledo City Council, for the following four (4) reasons:

1. The proposed “RD6” Residential Duplex District zoning is consistent with the proposed rezoning stated in the Comprehensive Plan (TMC 1111.0606.A Review and Decision Making Criteria).
2. The request is similar to existing land uses within the general vicinity of the subject property (TMC 1111.0606.B Review and Decision Making Criteria), will not negatively impact the adjacent neighborhood.

STAFF RECOMMENDATION (cont'd)

3. The proposed "RD6" Residential Duplex District zoning is compatible with the zoning districts within the general vicinity of the site (TMC 1111.0606.C Review and Decision Making Criteria).
4. The request will eliminate a nonconformity in zoning on the site, thereby correcting an inconsistency of the parcel in question (TMC 1111.0606.F Review and Decision Making Criteria).

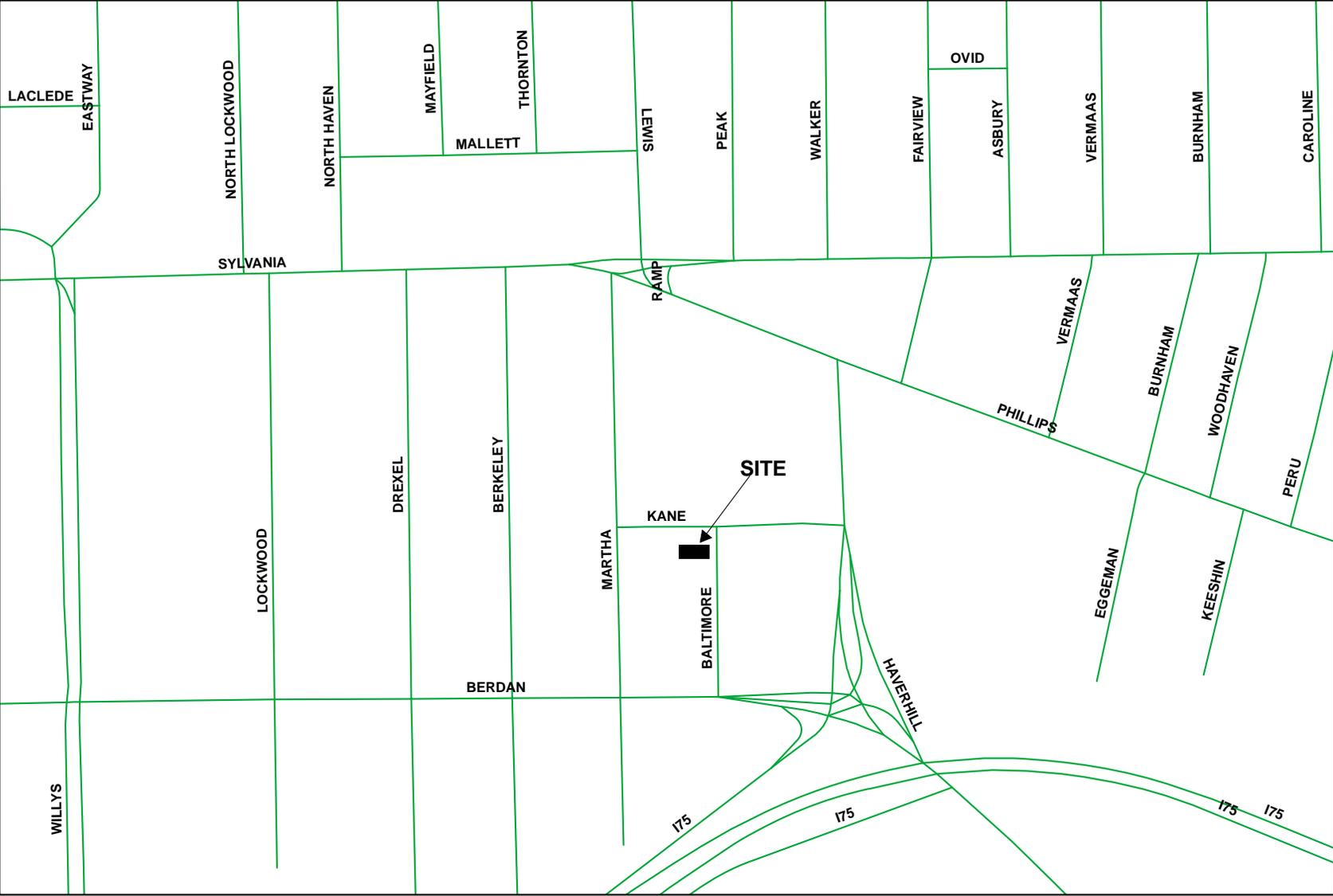
ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-1006-13
DATE: March 14, 2013
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: April 17, 2013
TIME: 4:00 P.M.

GP/an
Two (2) sketches follow

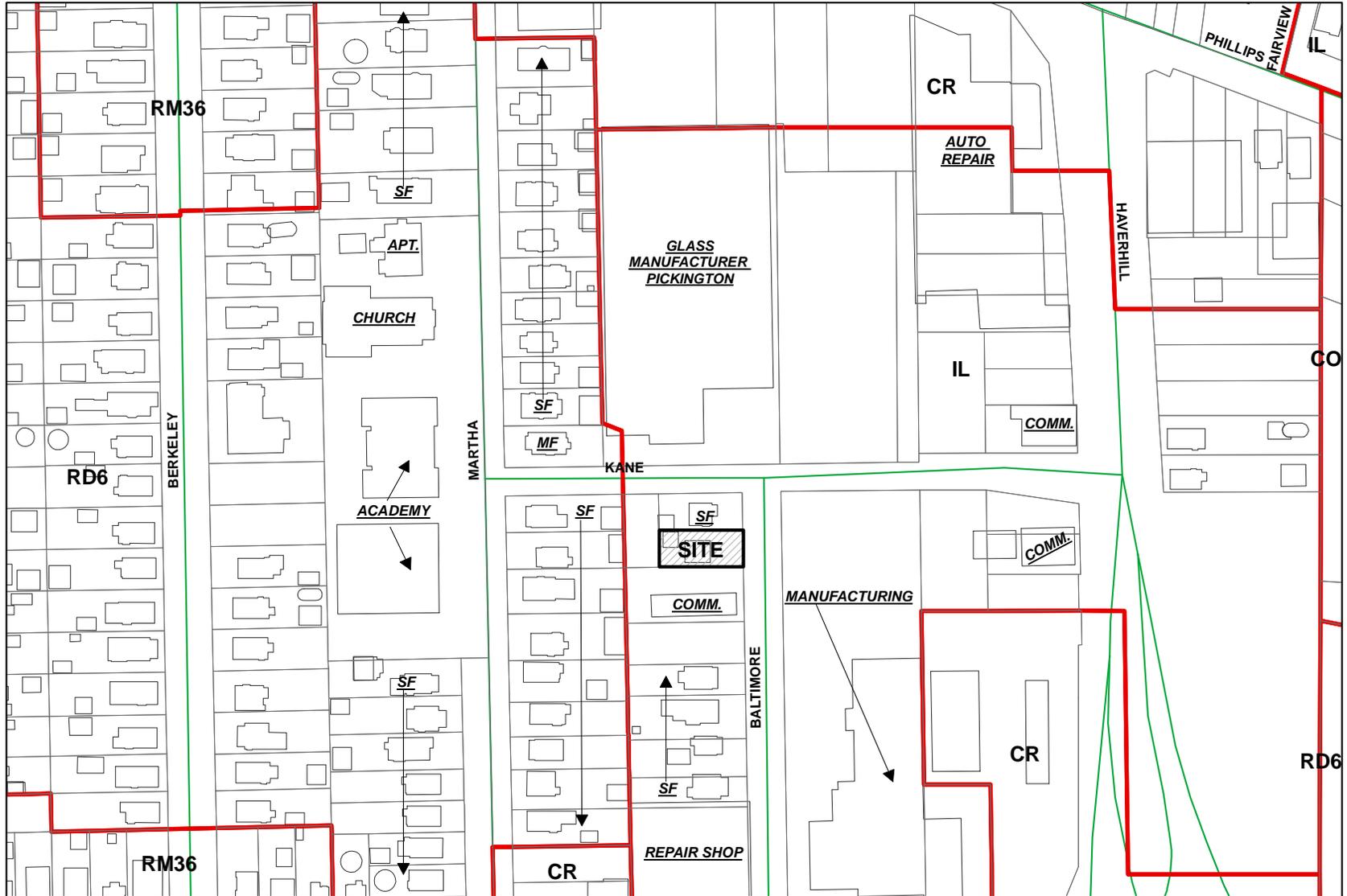
GENERAL LOCATION

Z-1006-13
ID 16



ZONING & LAND USE

Z-1006-13
ID 16



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REF: V-27-13
DATE: March 14, 2013

GENERAL INFORMATION

Subject

- Request - Vacation of right-of-way (easements) along lots 4-9 and 49-56 of the Bellhurst Subdivision
- Applicant - Mary Ann Wervey
Zaremba Group
14600 Detroit Avenue
Cleveland, OH 44107
- Engineer - Mike Wohlwend, P.E.
Wohlwend Engineering Group
40 Metric Drive, Suite 2
Tallmadge, Ohio 44278

Site Description

- Zoning - CR Regional Commercial District & RD6 Duplex Residential
- Existing Use - Commercial and Single Family
- Proposed Use - Retail

Area Description

- North - Commercial / CR
- South - Parking Lot, Commercial & Residential / RD6, CR & CO
- East - Commercial / CR
- West - Parking Lot & Single Family Home / CR & RD6

Parcel History

- Z-8001-12 - Zone change from "RD6" Duplex Residential District to "CR" Regional Commercial District (Ord. 524-12, 10/25/12)
- SPR-39-12 - Major Site Plan Review for a CVS Pharmacy (PC Approved 9/13/12)
- S-1-13 - Final Plat of CVS PHARMACY (PC approved 2/14/13)

GENERAL INFORMATION (cont'd)

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is proposing to vacate right-of-way (easements) along lots 4-9 and 49-56 of the Bellhurst Subdivision. These alleys (easements) are currently utilized as a parking lot. The original plat indicated that these alleys were platted as right-of-way, but intended to be used as easements. These alleys have been incorporated into abutting lots and were never developed as public right-of-way. A final plat was recently approved by the Plan Commission, which eliminated this right-of-way and combined all of the parcels for the development of a CVS Pharmacy. This vacation would solidify the elimination of these alleys, thus alleviating any concerns of legality.

None of the agencies that responded to this vacation objected to the vacation of the right-of-way (easements). No comments or conditions were submitted.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of V-27-13, a request to vacate right-of-way (easements) along lots 4-9 and 49-56 of the Bellhurst Subdivision, to the Toledo City Council.

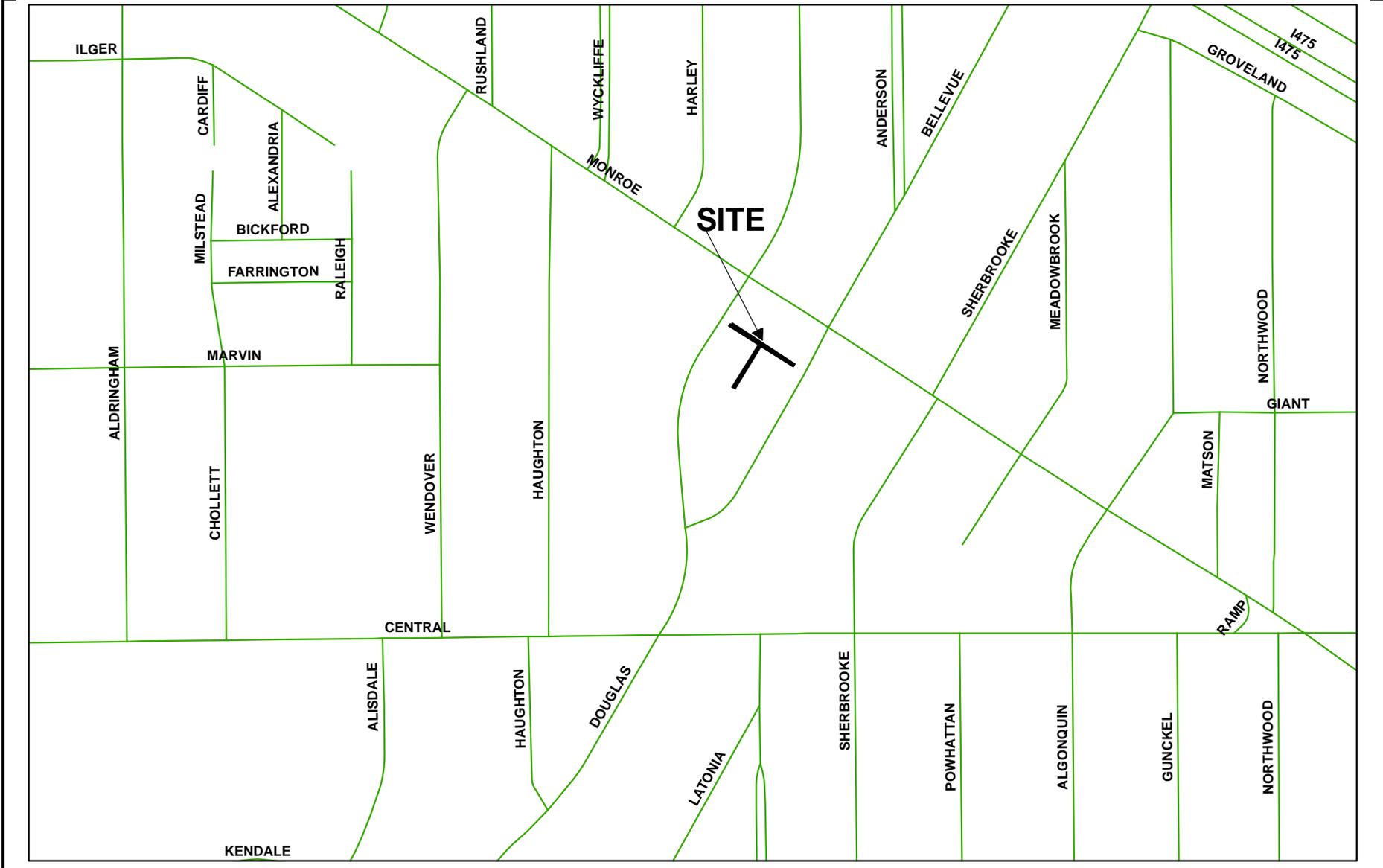
STREET AND ALLEY VACATION
TOLEDO CITY PLAN COMMISSION
REF: V-27-13
DATE: March 14, 2013
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: April 17, 2013
TIME: 4:00 p.m.

TG/an
Two (2) sketches follow

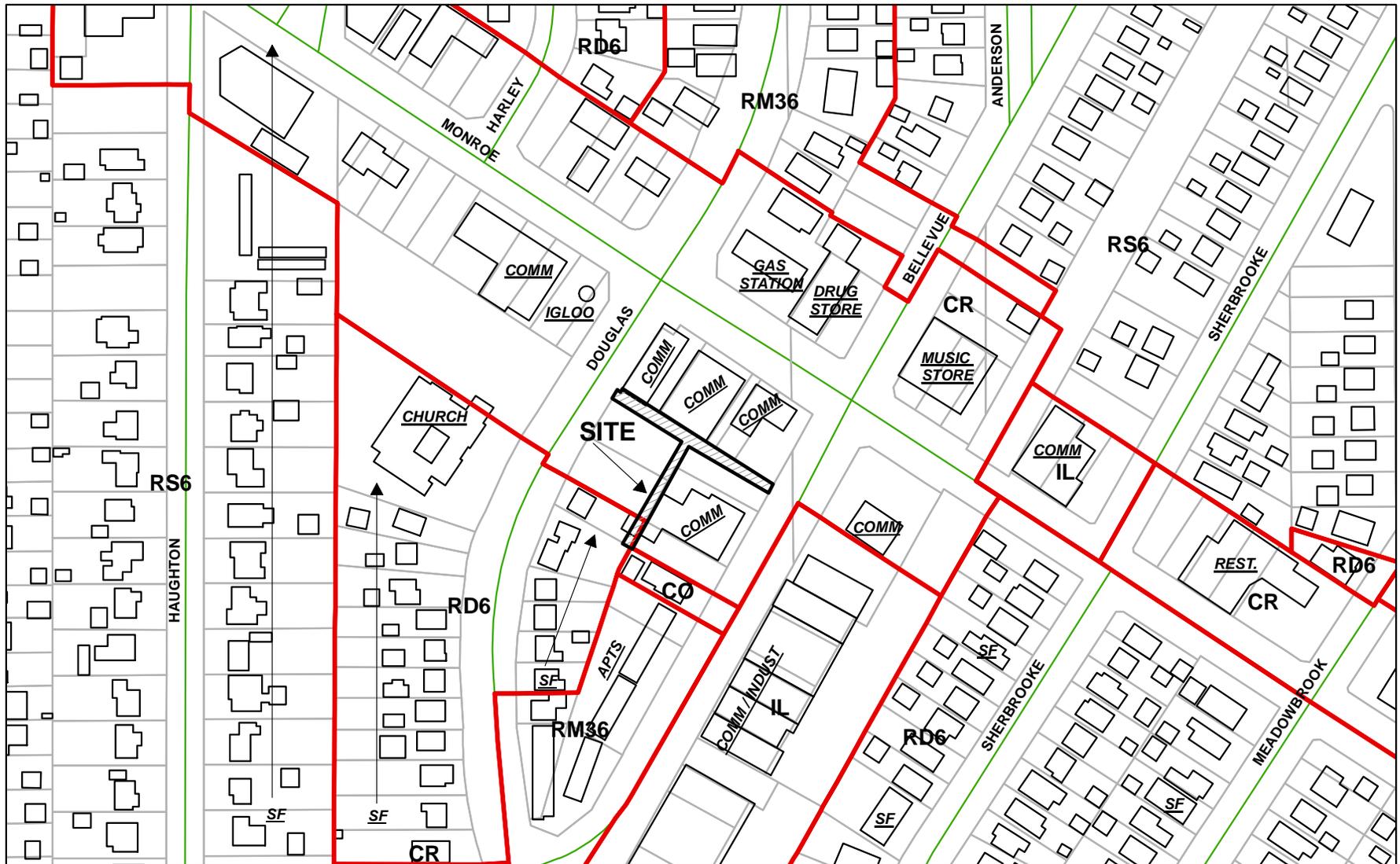
GENERAL LOCATION

V-27-13
ID 45



ZONING AND LAND USE

V-27-13
ID 45



GENERAL INFORMATION

Subject

Request - Vacation of a portion of Amherst Drive
Applicant - Rick Payeff
Toledo Zoological Society
2700 Broadway
Toledo, Ohio 43609

Site Description

Zoning - RD6 Duplex Residential / IC Institutional Campus
Existing Use - Public Right-of-Way
Proposed Use - Service drive

Area Description

North - Anthony Wayne Trail & Zoo / RD6 & IC
South - Single Family & Zoo / RD6 & IC
East - Zoo / IC
West - Single Family Residential / RD6

Parcel History

No case history on file.

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is proposing to vacate a portion of Amherst Drive in order to consolidate the property and utilize the area as a service drive to their facilities on the west side of the complex. The street will be closed off from all traffic from the south at the Dartmouth intersection. The Zoo purchased parcels on the west side of the subject site and removed the homes. Only those accessing the Anthony Wayne Trail to head north can utilize this portion of Amherst Drive. The residents enter the neighborhood off of Harvard.

STAFF ANALYSIS (cont'd)

Generally staff would have concerns over vacating streets that contribute to the urban fabric of the neighborhood. However, this site has limited access to the Anthony Wayne Trail. This is the only residential street that has access to the Anthony Wayne Trail besides the entrance to the Zoo on the opposite side of the Anthony Wayne Trail. This limited access highway is only accessible via arterial or collector streets. In addition, the Division of Transportation studied this area and found that 83% of the traffic on this portion of Amherst was related to Toledo Zoo operations.

The most significant issue for vacating these streets is the water inlet for Lot 6 on Amherst Drive and the need for an easement for Cablevision.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of V-25-13, a request to vacate a portion of Amherst Drive, to the Toledo City Council, subject to the following six (6) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. GIS indicated a public storm water inlet at lot six (6) in Amherst Drive. No piping is shown. If Amherst Drive is vacated and becomes private it is suggested that the inlet, if left in service, become private along with the pipe to where the connection is made to the public.

Division of Transportation

2. The Division of Transportation has collected vehicular traffic volumes to determine the usage of this roadway. This data reflected minimal usage by residents in the neighborhood; over 83% were related to Toledo Zoo operations.
3. Any modifications to the roadway shall be the responsibility of the Toledo Zoo. Geometrics shall be reviewed and approved by the Division of Transportation.
4. If all affected and adjacent property owners agree to the vacation, then the Division of Transportation has no objections to this vacation.

STAFF RECOMMENDATION (cont'd)

Division of Transportation (cont'd)

5. Within the limits allowed by law, the applicant shall indemnify the City of Toledo, its officials, agents or employees, from any and all claims, demands, causes of action, suits or liability in connection with the performance of any and all acts authorized or permitted under this vacation. Said indemnification language shall be contained within and evidenced by the endorsement on a certified copy of the final vacating legislation by the owner which indemnification shall be kept in the permanent file of the Clerk of Council.

Buckeye Cablevision

6. Buckeye Cablevision Inc will require an easement to the current right of way and associated pole line along Amherst Drive from Dartmouth Drive to the dead end at the Anthony Wayne Trail.

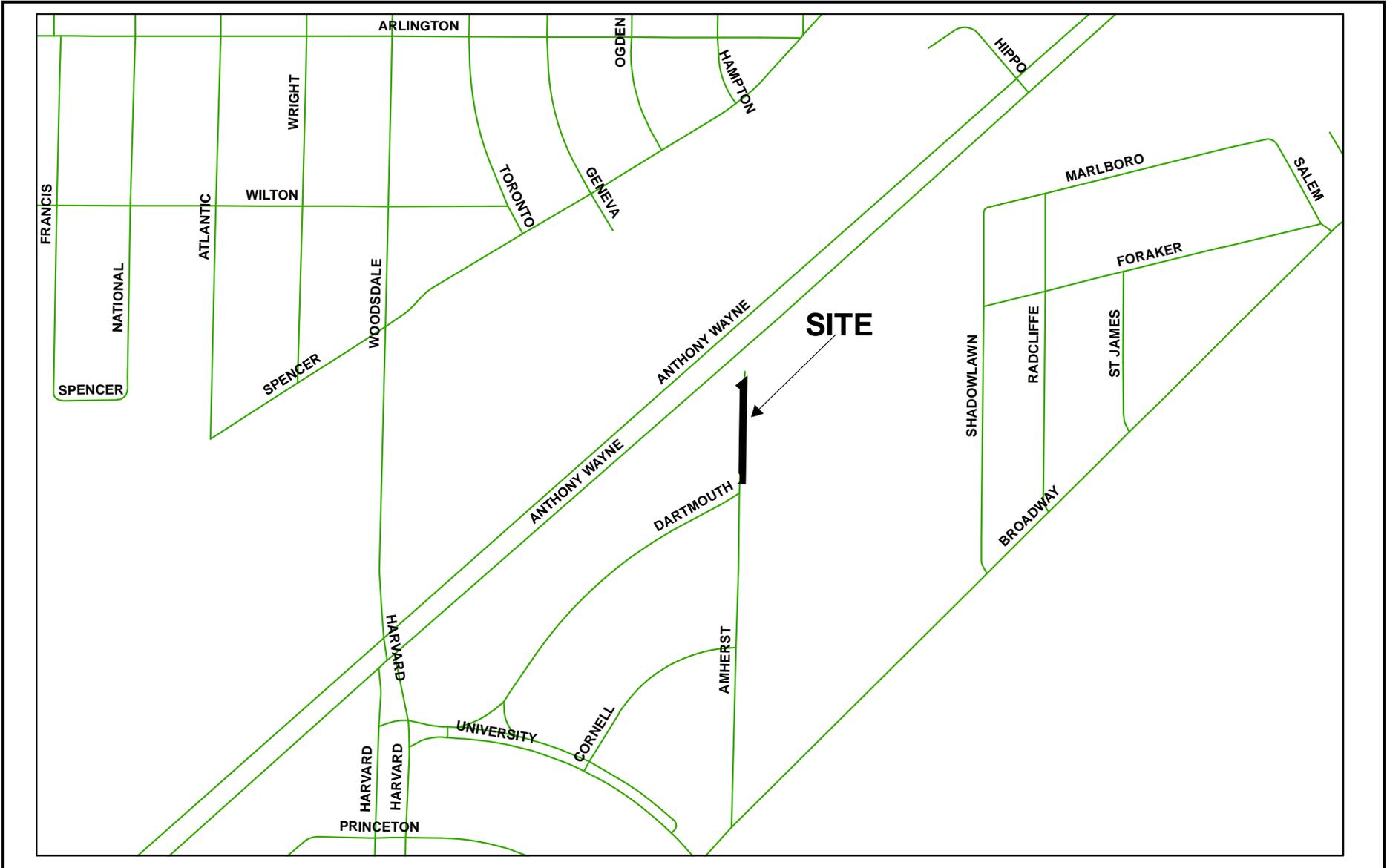
STREET AND ALLEY VACATION
TOLEDO CITY PLAN COMMISSION
REF: V-25-13
DATE: March 14, 2013
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: April 17, 2013
TIME: 4:00 p.m.

TG/an
Three (3) sketches follow

GENERAL LOCATION

V-25-13
ID 21



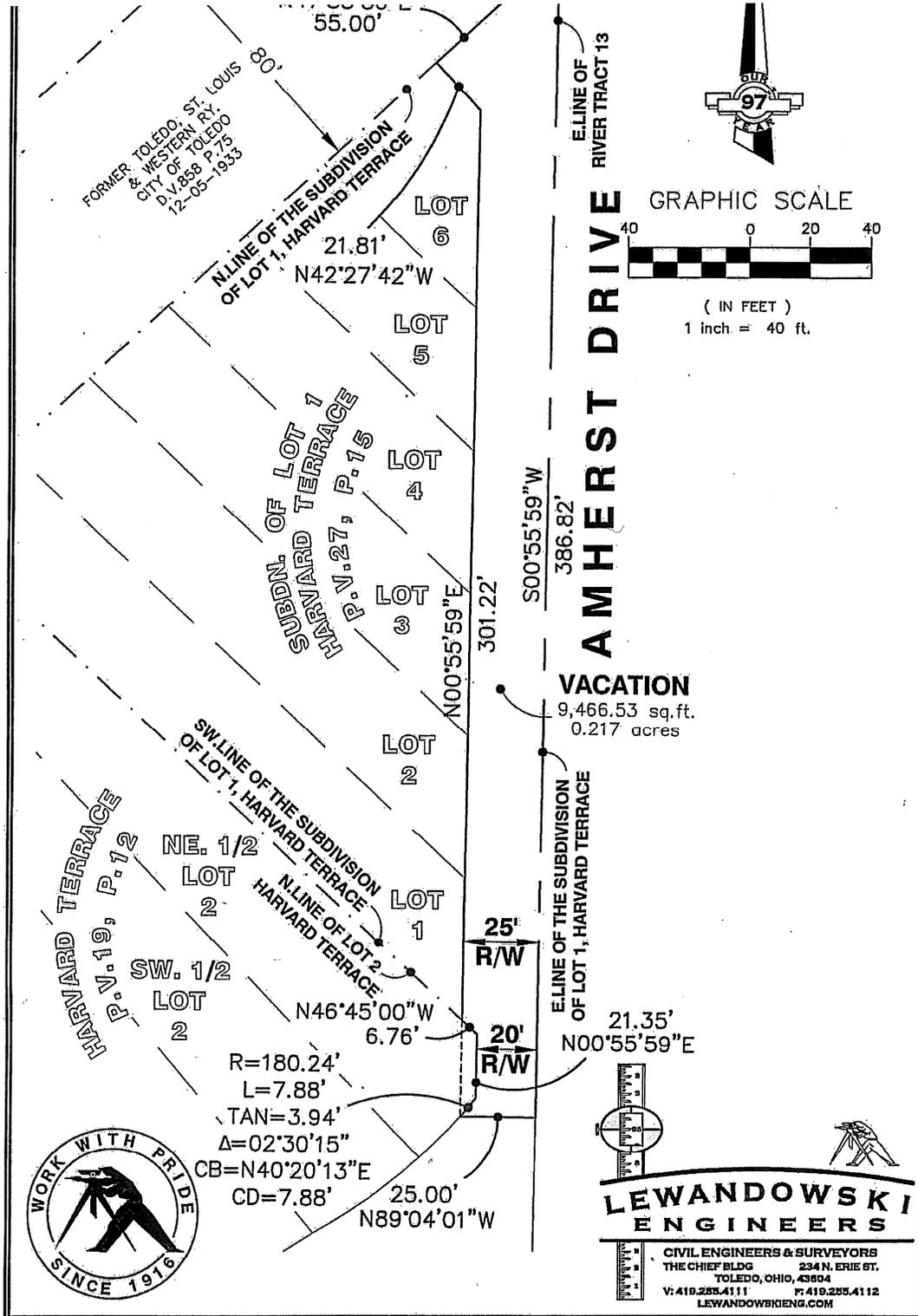
ZONING AND LAND USE

V-25-13
ID 21



SITE PLAN AS SUBMITTED

V-25-13
ID 21



STREET VACATION, SUBDN. OF LOT 1, HARVARD TERRACE

GENERAL INFORMATION

Subject

- Request - Vacation of an alley between Louie Street and Hillside Avenue in the Hiett's Air Line Junction Addition

- Applicant - Thomas V. Davis
1470 Chester Street
Toledo, OH 43609

Site Description

- Zoning - RD6 / Residential Duplex District
- Area - ±0.11 acres
- Dimensions - 16' X 303'
- Existing Use - Alley

Area Description

- North - Parks and Open Space / RD6
- South - Single Family Residential / RD6
- East - Parks and Open Space / RD6
- West - Single Family Residential / RD6

Parcel History

None on record

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a vacation of the alley located north of Chester Street and running east from Louie Street to Hillside Avenue. The alley is approximately 303 feet long, runs along the rear of single family dwelling units, and does not serve any functional purpose. To the south of the alley are single family residential dwelling units and to the north of the alley are parcels dedicated to parks and open space.

The proposal to vacate the alley comes at the request of a property owner that owns several properties abutting the southern edge of the alley. The applicant currently resides in one of the single family dwellings. The parcel located on the northwest end of the alley is undeveloped and dedicated to parks and open space land uses. This parcel, 153 Louie Street (Lot 104), is commonly used by neighborhood residents for outdoor recreation as well as for birthday parties for their children. The applicant has maintained the undeveloped parcel along with the alley in question and desires to purchase Lot 104 and combine it with his existing properties. The applicant has submitted a “petition of support” that has been signed by some residents in the neighborhood.

The Toledo 20/20 Comprehensive Plan targets this neighborhood for single family uses and specifically targets the undeveloped land north of the alley for parks and open space. The Director of Engineering Services objects to the vacation, stating that the alley is needed to service and maintain the sanitary sewer located beneath it. Staff recommends disapproval of the alley vacation for this reason.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of V-26-13, the request to vacate part of a 16 foot alley located within the subdivision of “part of lots 104 through 105 and 106 Hiatt’s Air Line Junction Addition,” to Toledo City Council, for the following reason:

1. The Director of Engineering Services objects to the vacation as the Right-of-way is needed to maintain the public sewer in the alley.

While staff has recommended disapproval of the vacation request, review agency comments have been added as Exhibit “A” for information purposes.

STREET VACATION
TOLEDO CITY PLAN COMMISSION
REF: V-26-13
DATE: March 14, 2013
TIME: 2:00 P.M.

REF: V-26-13...March 14, 2013

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING

DATE: April 17, 2013

TIME: 4:00 P.M.

GP/an

Exhibits "A" & "B" follow

Two (2) sketches follow

Exhibit "A"
REVIEW AGENCY CONDITIONS

The following three (3) conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions:

Division of Transportation

1. If all adjacent property owners agree to the vacation, then the Division of Transportation has no objections to this vacation.
2. Within the limits allowed by law, the applicant shall indemnify the City of Toledo, its officials, agents or employees, from any and all claims, demands, causes of action, suits or liability in connection with the performance of any and all acts authorized or permitted under this vacation. Said indemnification language shall be contained within and evidenced by the endorsement on a certified copy of the final vacating legislation by the owner which indemnification shall be kept in the permanent file of the Clerk of Council.

Engineering Services

3. Rejected as the Right-of-way is needed to maintain the public sewer in the alley.

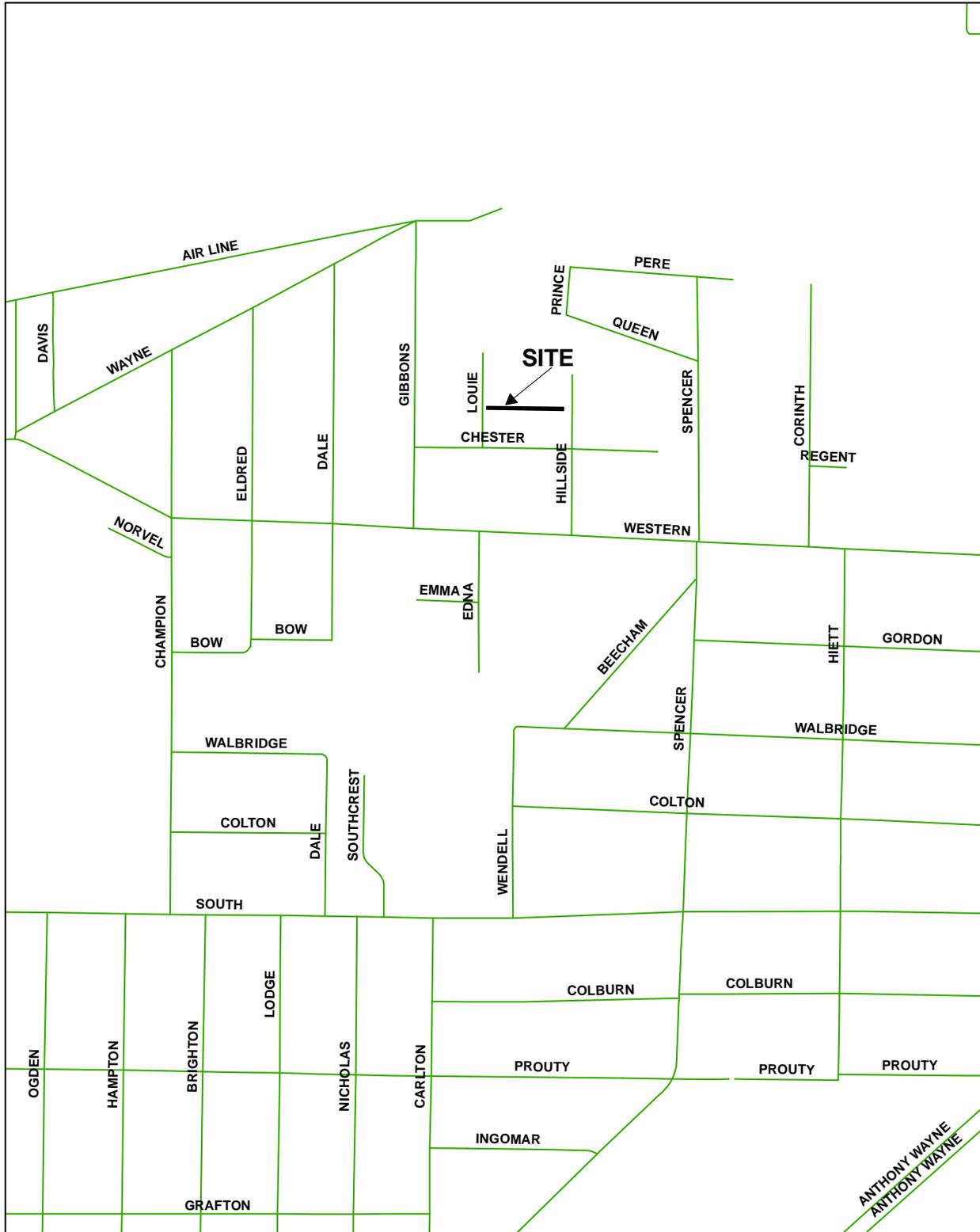
EXHIBIT "B"

V-26-13
ID 20



GENERAL LOCATION

V-26-13
ID 20



ZONING AND LAND USE

V-26-13
ID 20



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GENERAL INFORMATION

Subject

Request	-	Major Site Plan Review for a Dollar General with landscape waivers at 828 Phillips Ave.
Location	-	828 Phillips Avenue
Applicant	-	Robert T. Boothe 14600 Detroit Avenue Lakewood, OH 44107
Engineer	-	Dave E. Saneholtz, P.E. 1168 North Main Street Bowling Green, OH 43402

Site Description

Zoning	-	CR / Regional Commercial District
Area	-	±1.28 acres
Frontage	-	±128.00' along Sylvania Avenue
Frontage	-	±338.18' along Fairview Drive
Frontage	-	±135.44' along Phillips Avenue
Existing Use	-	Auto Repair and Towing Company
Proposed Use	-	Dollar General Retail Store
Required Parking	-	31 spaces (2 required to be ADA compliant)
Proposed Parking	-	31 spaces (2 spaces ADA compliant)

Area Description

North	-	Auto Garage, Single Family Home / CR, RM36
South	-	Retail and Repair / CR
East	-	Single Family Homes / IL
West	-	Restaurant / CR

Parcel History

None on record

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is requesting a Major Site Plan Review for a site located at 828 Phillips Avenue to allow for the demolition and redevelopment of the site. The ±1.28 acre site is comprised of seven (7) parcels that are zoned CR Regional Commercial. All seven (7) parcels are owned by Darah Investments Incorporated. The site is currently occupied by residential dwellings that are vacant and a commercial building that operates as an automobile repair and towing shop. All structures on the site are to be razed to accommodate a retail store and associated parking area.

The proposed Dollar General Store is a 9,100 square foot, single story retail facility with a maximum height of 18 feet. The development is well below the Floor Area Ratio (F.A.R.) as it pertains to site density. According to TMC§1107.0400 off-street parking schedule B, a retail store under 50,000 square feet is required to have 1 parking space per every 300 square feet. The parking lot will have a total of 31 parking spaces, as required, including the required number of ADA compliant parking spaces specified per TMC§1107.1701. Vehicle access to the parking area is located off Fairview Drive near Phillips Avenue. A second, minor access is proposed off Fairview Drive near Sylvania Avenue to accommodate anticipated weekly delivery and trash vehicles.

The site plan indicates that retention ponds will be located along the Sylvania Avenue and Phillips Avenue frontages, within the area required for frontage greenbelts. Per TMC§1107.0206, storm water retention ponds may be located in the frontage greenbelt if it's a bioretention and occupies a maximum of 50% of the greenbelt. A revised landscape plan shall be submitted indicating compliance with this criteria.

Surrounding land uses include commercial uses to the west and south of the site across Phillips Avenue; single family dwelling homes to the east across Fairview Drive and single family homes to the north across Sylvania Avenue.

The Toledo 20/20 Comprehensive Plan targets this site for single family and neighborhood commercial land uses. The northern three (3) parcels are targeted for single family development while the remaining four (4) parcels are to be Neighborhood Commercial uses. The Neighborhood Commercial zoning district is intended to accommodate pedestrian oriented small-scale retail and service businesses that serve nearby residential areas. The proposed retail store meets the intent of the Neighborhood Commercial designation.

STAFF ANALYSIS (cont'd)

The applicant is requesting waivers of landscape and screening as well an intensity dimensional standard variance. The landscape plan shows that some areas of the required 15' greenbelt frontage are not compliant. A 5' greenbelt frontage along Fairview Drive and a 9' greenbelt frontage along Phillips Avenue are depicted on the landscape plan. In those areas where 15' is not maintained, a 32" hedge row and a 32" bronze color aluminum decorative fence is proposed for alternative buffering and screening. Applicant is also requesting a waiver of the required one canopy tree per each 30' of frontage. The site requires that 19 trees are to be incorporated into the greenbelt frontage while the landscape plan proposes 17 trees. Staff supports the waiver because of the urban nature of the site and the applicant's willingness to provide a decorative fence in lieu of landscaping.

Per TMC§1106.0102 Intensity and Dimensional Standards, structures in a Regional Commercial zoning district are required to have a 20' front setback. The applicant is requesting a variance for the 20' building setback along Sylvania Avenue. The proposed building extends into the 20' setback roughly 7' near the building's northwest corner. This encroachment diminishes further east along the 70' long façade and ceases to exist roughly 47' east of the building's northwest corner. A Board of Zoning Appeals variance will be required to accommodate the proposed building setback.

Per TMC§1106.0102 Intensity and Dimensional Standards, buildings in the CR district have a maximum height limit of 65 feet. The proposed design is in compliance with this regulation with a total height of 18 feet. The elevation drawings indicate the use of a fiber cement based product to be used as a veneer panel material throughout the development. The building will have color changes and veneer panel size changes at various locations to help break the mass of the building and provide the building with architectural character. The veneer will have a "brick" appearance.

The staff recommends that the Toledo City Plan Commission make the following recommendations on the waivers requested for a Dollar General Retail Store located at 828 Phillips Avenue:

Chapter 1108 Landscaping and Screening

Sec. 1108.0202.B.3 Frontage Greenbelt – B. Requirements

Applicant is requesting a waiver of the 15' frontage greenbelt landscape requirement along Fairview Drive to allow for a 5' frontage greenbelt with a 32" hedge row and 32" decorative fence to supplement frontage requirements. Applicant is requesting a waiver of the 15' frontage greenbelt landscape requirement along Phillips Avenue to allow for a 9' frontage greenbelt with a 32" hedge row and 32" decorative fence to supplement frontage requirement. In those areas where 15' is not maintained, a 32" hedge row and 32" (aluminum, wrought iron, or brick) decorative fence is proposed for alternative buffering and screening. **Staff supports approval of these waivers.**

STAFF ANALYSIS (cont'd)

Sec. 1108.0203.B.1 Buffer and Screening Requirements - B. Landscape Buffer Standards

Applicant is requesting a waiver of providing one canopy tree per each 30' of frontage (19 trees required; 17 trees proposed). **Staff supports approval of this waiver.**

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission allow the landscape waivers for the proposed Dollar General Retail Store proposed at 828 Phillips Avenue:

Chapter 1108 Landscaping and Screening

Sec. 1108.0200 Landscape Standards

Sec. 1108.0202.B Frontage Greenbelt

Waive portion of 15' frontage greenbelt along Fairview Drive and Phillips Avenue

Sec. 1108.0200 Landscape Standards

Sec. 1108.0203.B Buffer and Screening Requirements

Waive number of trees to allow 17 rather than 19

The staff recommends that the Toledo City Plan Commission approve SPR-1-13, a Major Site Plan Review for a Dollar General Retail Store located at 828 Phillips Avenue, subject to the following thirty-seven (37) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced/upgraded to conform to current City of Toledo Construction Standards, Specifications, the Toledo Municipal Code, and the Americans with Disabilities Act Guidelines. All existing drive approaches along Phillips Avenue, Fairview Drive, and Sylvania Avenue that are not to be used shall be removed and the area restored to match the adjacent sidewalk and curb.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

3. All commercial drive approaches, (along with the sidewalk through the drive) shall be constructed with eight-inch (8") thick concrete per the City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop/opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from the One Stop Shop, ph (419) 245-1220.
5. Contact Scott Bishop at ph. (419) 936-2756 for inspection of above mentioned items.
6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. All existing water services to structures removed from the site will be abandoned by the City of Toledo at the owner's/developer's expense.
8. Maintain 10 feet (10') of vertical clearance and 18 inches (18") of horizontal clearance between existing/proposed water mains/services and existing/proposed sanitary/storm sewers/services. Maintain 4 feet (4') of horizontal clearance and 12 inches (12") of vertical clearance between existing/ proposed water mains/services and any other underground utility.
9. Contact the Division of Water Distribution for installation requirements for backflow preventers.
10. New water tap(s) will be installed by the City of Toledo at the owner's/developer's expense.
11. Storm drainage service for this site is available subject to: the Criteria and Regulations of the Departments of Public Utilities and Public Service; the Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; the Toledo City Charter; the "Subdivision Rules and Regulations: of the Toledo-Lucas County Plan Commissions; the City of Toledo Infrastructure Design and Construction Requirements; and "The Comprehensive Ditch Plan". All disturbed land areas over one (1) acre must submit an NOI to and obtain a permit from the Ohio EPA. Storm water detention will be required in accordance with the above.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

12. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
13. No construction work, including grading, will be permitted without approved plans and inspection.
14. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at www.ci.toledo.oh.us/Departments/PublicUtilities/DivisionofEngineeringServices/PlanReviewProcess/tabid/355/Default.aspx. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This is suggested so that there is a full understanding of the City of Toledo's requirements for the sanitary, storm, water and roadway utilities. This will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

Contact Information is:

Division of Engineering Services: ph. (419) 245-1315, fax (419) 936-2850
Sanitary Sewers: Mike Elling, ph. (419) 936-2276
Storm Water Drainage: Lorie Haslinger, ph. (419) 245-3221
Water: Andrea Kroma, ph. (419) 936-2163
Roadway: Doug Stephens, ph. (419) 936-2279

15. Post construction storm water Best Management Practices shall be incorporated into the design to provide treatment of runoff prior to discharging into the City's system. Designs incorporating low impact development solutions such as grassy swales, and bio-retention areas in lieu of curb, storm sewer, and underground detention are encouraged and often much less costly.
16. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
17. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. The developer shall use existing sanitary tap, when available.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

18. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developer's cost.
19. Any existing sewers under proposed buildings shall be relocated or abandoned. The developer shall verify any sewers to be abandoned are no longer in service.
20. Any previous kill that were not done at the right-of-way line shall be re-killed at the right-of-way to eliminate any active pipes on the property.

Fire Prevention

21. Building address required.

Division of Transportation

No comments or objections to the vacation.

Building Inspection

22. I do not object to the structure's location on the site or to its use as a general retail merchandise store. The property is shown on FEMA's flood insurance map 390395C0087E NOT to be in a designated special flood hazard area (SFHA).
23. Structures. The construction or erection of any new structure, addition, or alterations to any existing building will require construction documents stamped by a design professional (registered architect or engineer) to be submitted to the Division of Building Inspection for plan review and approval. Construction documents must show that the new structure and/or interior alterations will be in compliance with the building, mechanical and fire codes of the City of Toledo, and by referenced authority, those of the State of Ohio.

STAFF RECOMMENDATION (cont'd)

Building Inspection (cont'd)

24. Signs. The proposed location of the 2 pylon signs cannot be approved. Only 90 sq.ft. of signage is allowed in the required front yard along each street frontage. The plans call for 78 sq.ft. of signage in the front yard along Phillips Avenue; 96.5 sq.ft. in the front yard along Sylvania Avenue; and two signs at 96.5 sq.ft. (193 sq.ft. total) in the front yard along Fairview Drive.

The project is allowed 30% of the wall background area for a wall sign. Wall background area is determined from the top of the door to the top of the parapet wall multiplied by the length of that elevation. Although the drawings were without an elevation view, if there is 7'-2" minimum height from the top of the door to the top of the parapet, the proposed wall sign will be in compliance with Toledo's sign code. This holds for both the north and south elevations with the east and west elevations probably acceptable as the wall distance is nearly twice that of the other elevations.

Any signs on the building, will require a separate plan review and permit(s) in accordance with the City of Toledo's sign codes (Toledo Municipal Code §1377-1397).

25. The 6'-0" high wood stockade fence screening the westerly property line and shown on the submitted site drawing should be a "shadow box" type fence. A Certificate of Zoning Compliance, issued by the Division of Building Inspection, functions as a fence permit.

Plan Commission

26. Applicant shall obtain a Board of Zoning Appeals (BZA) waiver for the building setback along Sylvania Avenue.
27. Predominant exterior building materials shall be high-quality materials. For facades visible from the public right-of-way, predominant materials must comprise at least seventy-five (75%) of the total wall area of the façade. For list of acceptable material see TMC Section§1109.0501. **Acceptable as depicted on building elevation.**
28. Façade colors shall be low-reflectance, subtle, neutral or earth tone colors. Building trim and accent areas may feature brighter colors, including primary colors subject to the approval of the Planning Director (TMC§1109.0502.A). **Acceptable as depicted on building elevation.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

29. Ingress and egress to a parking lot in a Commercial or Industrial zoning district must be from a major street or from a street located in a Commercial or Industrial district with Commercial or Industrial zoning on the opposite side of the street (TMC1107.1203.A). **Acceptable as depicted on site plan.**
30. Required off-street parking and loading areas are to be used solely for loading, unloading, and the parking of licensed, motor vehicles in operating condition. Required spaces may not be used for outdoor display of goods for sale or lease or for long-term storage of vehicles, boats, motor homes, amperes, mobile homes, or building materials (TMC§1107.1500).
31. Per TMC§1107.0206, in all zoning districts except the Downtown Overlay District (DOD), bioretention areas may be located within the frontage greenbelt area, buffer area, parking lot screening area, or landscape islands provided the following criteria are met (**a revised landscape plan shall be submitted indicating compliance with this condition**):
 - a. Only 50% of any required frontage greenbelt area may be occupied by a bioretention area.
 - b. The bioretention area shall meet the approval of the City of Toledo's Division of Engineering Services and Division of Environmental Services.
 - c. Plant materials shall be chosen from a list provided by the Rain Garden Initiative, which offers a list of native plants that are acceptable for use in a rain garden.
 - d. The bioretention area shall be maintained by the property owner for its intended function for the duration of its life.
32. If Plan Commission waiver is granted, then the following shall apply: five-foot (5') greenbelt is required along the Fairview Drive frontage, a nine-foot greenbelt (9') along Phillips Avenue frontage and a fifteen-foot (15') greenbelt along the Sylvania Avenue frontage. The greenbelt shall include at least one tree for every 30 feet of lot frontage and a solid evergreen hedge planting to screen the parking lot. In those areas where 15' is not maintained, a 32" hedge row and 32" (aluminum, wrought iron, or brick) decorative fence shall be added for buffering and screening.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

33. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Interior site landscaping shall include one tree per 1000 square feet of building coverage. Greenbelt frontage trees are included in this total, minimum of 2 trees in the front and side yards. Interior site landscaping may consist of foundation shrub plantings and new tree planting or preservation of existing trees;
 - b. Foundation plantings are required along all main and secondary entrances of the building, and patio areas that are visible from the public right of way, and landscaping at all major building entrances;
 - c. Total interior landscaping shall be 20 square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing;
 - d. All parking spaces must be within 100 linear feet of a landscaped area;
 - e. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area;
 - f. Topsoil must be back filled to provide positive drainage of the landscape area;
 - g. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground cover;
 - h. Landscape terminal islands must be provided at the end of each parking row. **Acceptable as depicted on landscape plan;**
 - i. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot;
 - j. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten feet (10') in width;

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

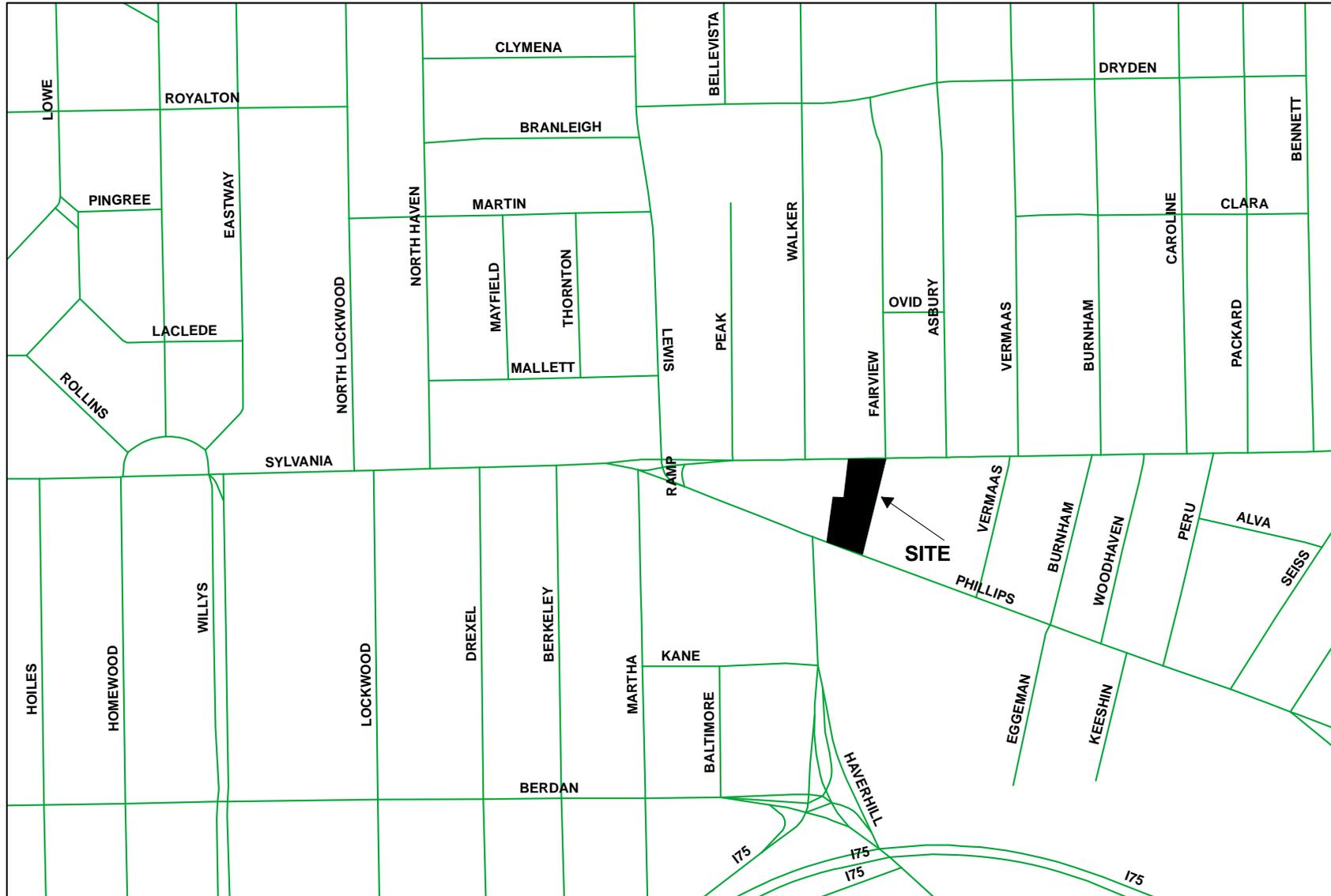
- k. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards;
 - l. Landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details;
 - m. The location, height and materials for any fencing to be installed and maintained. **Acceptable as depicted on site plan;**
 - n. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and
 - o. The location, lighting and size of any signs.
34. The dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks. **Acceptable as depicted on site plan.**
35. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
36. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.
37. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year.

MAJOR SITE PLAN REVIEW
 TOLEDO CITY PLAN COMMISSION
 REF: SPR-1-13
 DATE: March 14, 2013
 TIME: 2:00 P.M.

GP/an
 Five (5) sketches follow

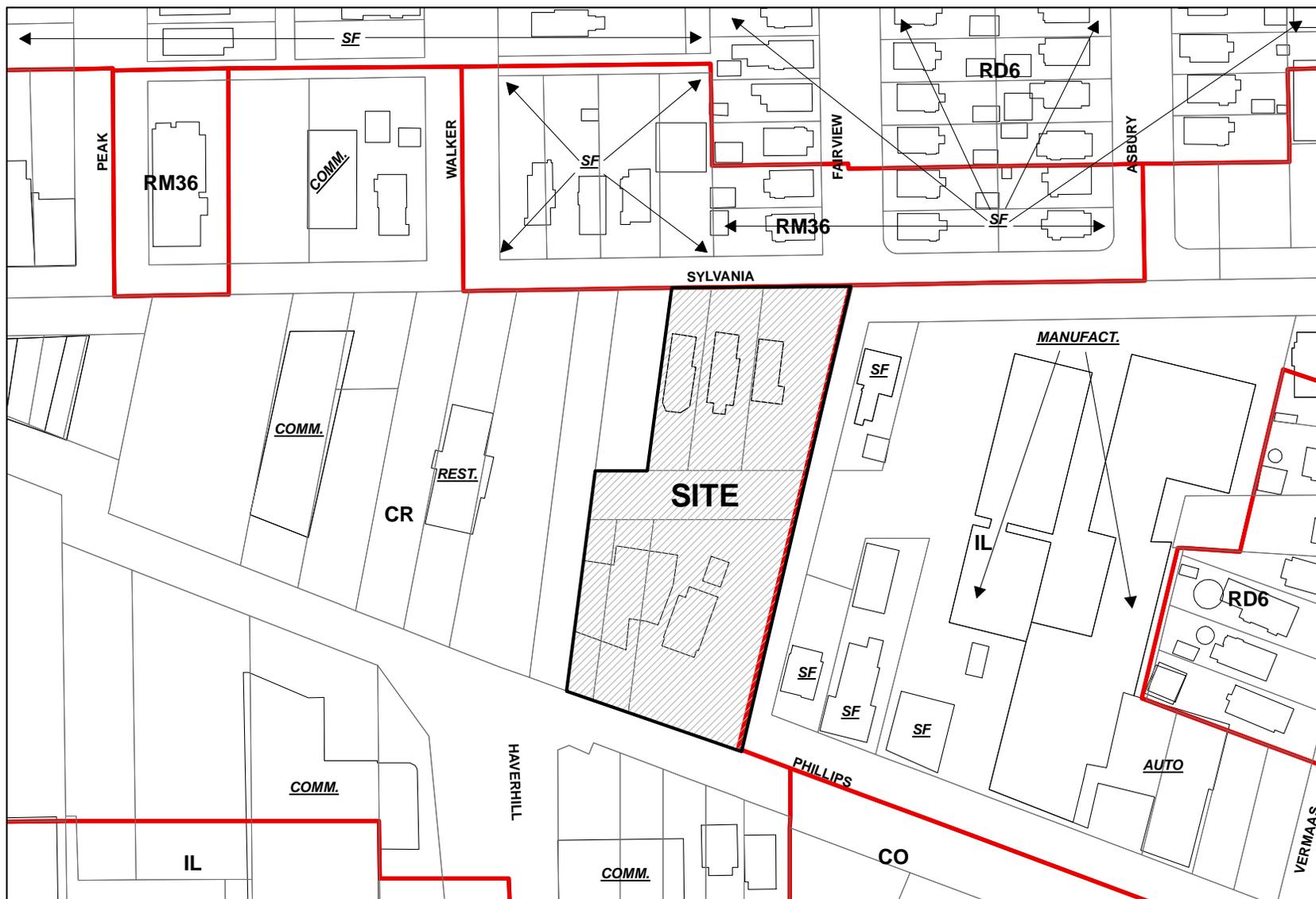
GENERAL LOCATION

SPR-1-13
ID 16



ZONING & LAND USE

SPR-1-13
ID 16



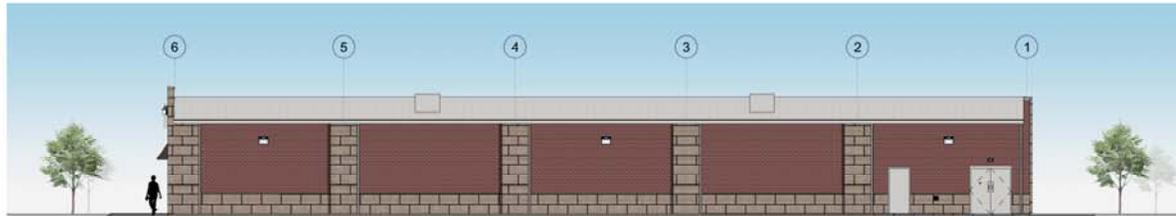
ELEVATION AS SUBMITTED

SPR-1-13
ID 16

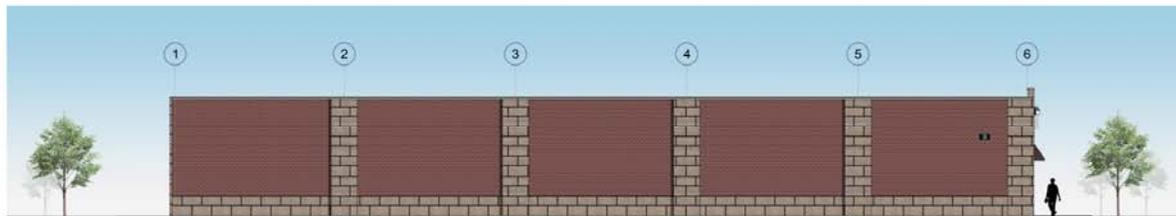


1 SOUTH ELEVATION - MAIN STREET
A-2 1/8" = 1'-0"

2 NORTH ELEVATION
A-2 1/8" = 1'-0"



3 EAST ELEVATION
A-2 1/8" = 1'-0"



4 WEST ELEVATION
A-2 1/8" = 1'-0"

5 - 15

DOLLAR GENERAL

DOLLAR GENERAL
Toledo, OH

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PAPER, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

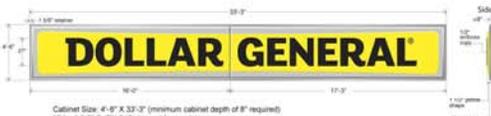
GPD GROUP
Glaus, Pyle, Schomer, Burns & DeHaven, Inc.
1.800.955.4731
www.gpdgroup.com

LANDSCAPE AS SUBMITTED

SPR-1-13
ID 16



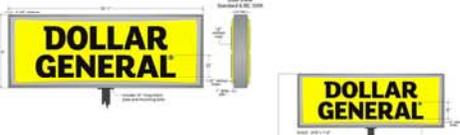
DOLLAR GENERAL 2009 Logo - 4'-6" X 33'-3" Single Face Wall Mounted Sign



Cabinet Size: 4'-6" X 33'-3" (minimum cabinet depth of 8" required)
 Sign: 1 1/2" D (EX-249), tapered for servicing.
 V.O. 4" - 2 3/4" X 32" - 11 3/4"
 Two pane sign formed and embossed SMARTTECH (V) polycarbonate face (no exceptions).
 Cabinet finish: Spraymat FM 171 brushed aluminum. NOTE: All single face signs must have white interior backs.
 Back lighting embossed 1/2" on special yellow embossed shape (Spraymat CB-2033 yellow, no exceptions)
 on 1/8" (1/8") Cool Line 31 background and return.
 Decorative process: Production quantities are to have screen printed graphics (yellow, black, gray & white), no mask and spray
 Labeling: Requires UL Label and Onion Label.
 NOTE: All signs come complete with ON/OFF switch and electric eye (when requested).

Quallie Sales & Service, Inc. One Duallie Lane Williamsburg, Ohio 45176
 Quallie Sales & Service, Inc. One Duallie Lane Williamsburg, Ohio 45176
 Phone: 614-771-1107 Fax: 614-881-0018
 Website: www.quallie.com Email: info@quallie.com

DOLLAR GENERAL 2009 Logo - 6'-0" X 16'-1" Double Face Center Pole Sign

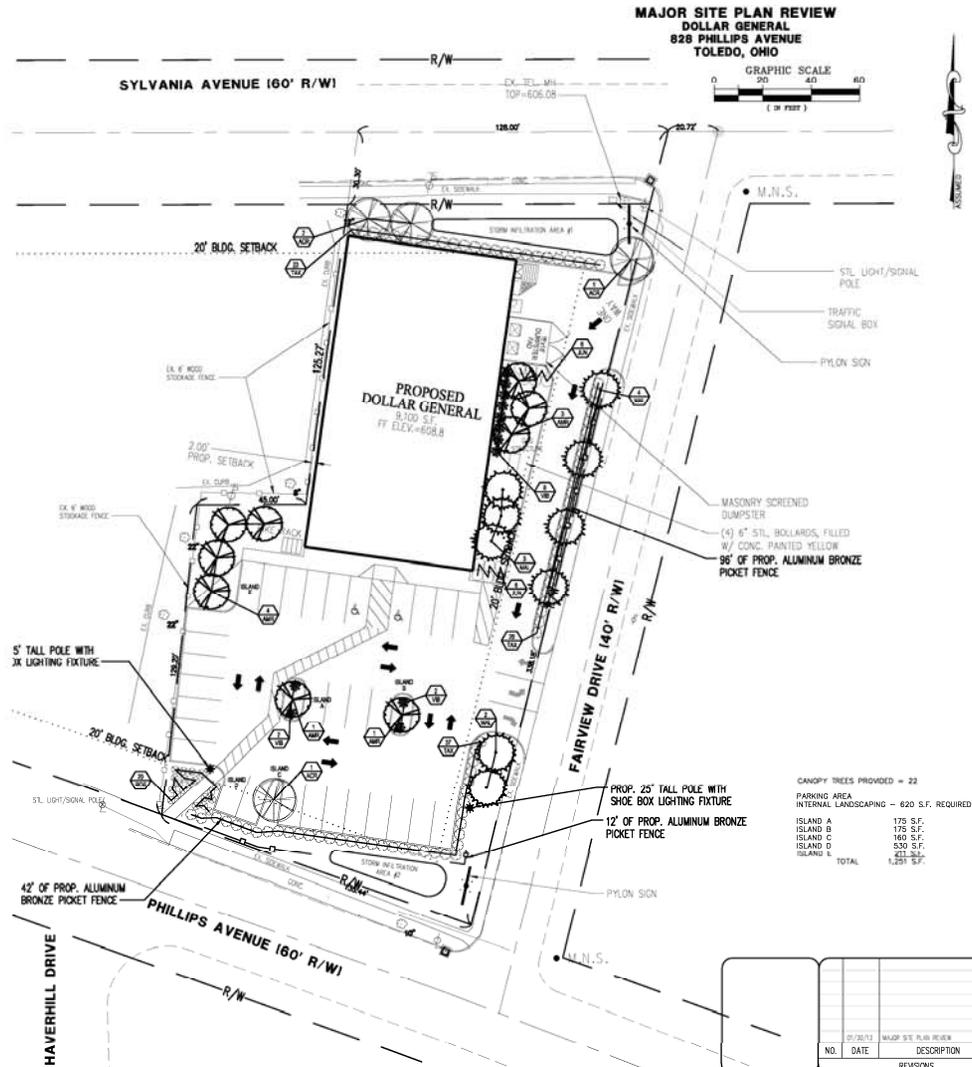


Cabinet Size: 6'-0" X 16'-1"
 Sign: 1 1/2" D (EX-249), tapered for servicing.
 V.O. 6'-0" X 16'-1" X 16'-1"
 One pane sign formed and embossed SMARTTECH (V) polycarbonate face (no exceptions).
 Cabinet finish: Spraymat FM 171 brushed aluminum.
 Back lighting embossed 1/2" on special yellow embossed shape (Spraymat CB-2033 yellow, no exceptions)
 on 1/8" (1/8") Cool Line 31 background and return.
 Decorative process: Production quantities are to have screen printed graphics (yellow, black, gray & white),
 no mask and spray Labeling: Requires UL Label and Onion Label.
 NOTE: All signs come complete with ON/OFF switch and electric eye (when requested).

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 Website: www.quallie.com Email: info@quallie.com

SIGN DETAILS

PLANT MATERIAL LIST				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TAX	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	24"	88
AMB	AMELANCHIER X GRANDIFLORA 'ICEBERG HILL'	ROBIN HILL SERVICE BERRY	2"	9
ACR	ACER BUERGERIANUM	TRENT WMAPLE	2"	4
MAL	MALUS 'PINAFIRE'	PRINCEPIRE CRAB	2"	9
VB	VEURANOM CARLESI	KOREAN SPICE VEURANOM	30"	12
KOZ	KOZIA 'CANDY-HILL BEAUTY'	CANDY-HILL BEAUTY ROSE	16"	20
JUN	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNPER	24"	12



CANOPY TREES PROVIDED = 22

ISLAND	INTERNAL LANDSCAPING - 620 S.F. REQUIRED	AREA	QUANTITY
ISLAND A	175 S.F.		
ISLAND B	175 S.F.		
ISLAND C	160 S.F.		
ISLAND D	530 S.F.		
ISLAND E	210 S.F.		
TOTAL	1,250 S.F.		

NO.	DATE	DESCRIPTION

POGGEMEYER DESIGN GROUP, INC.
 ENGINEERS
 1186 NORTH MAIN STREET
 BOWLING GREEN, OHIO 43402
 (419) 352-7437

ZAREMBA PROGRAM DEVELOPMENT, LLC
 828 PHILLIPS AVENUE
 TOLEDO, OHIO

SITE LANDSCAPING PLAN

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GENERAL INFORMATION

Subject

- Request - Request for Special Use Permit for operation of a used auto sales lot
- Location - 5874 Dorr Street
- Applicant - Emad Dahbor
1024 Abby Road
Monroe, MI 48161
- Architect - Dwight Gilliland
Architecture by Design, Ltd.
5622 Mayberry Square
Sylvania, OH 43560

Site Description

- Zoning - CR / Regional Commercial
- Area - ± .441 Acres
- Frontage - ± 135' along Dorr Street and
± 142' along Krieger Street
- Existing Use - Vacant commercial
- Proposed Use - Used Car Lot

Area Description

- North - Single-family Residential / RS6
- South - Light Industrial and Used Auto Sales / CR
- East - Commercial Retail and School (Razed) Open Space
/ CN & RS6
- West - Commercial Retail / CR

Parcel History

- Z16-C169 - Zone change from C-1 to M-1 (PC denied 10/3/63,
Adams Township approved zone change to C-2,
11/19/63)
- Ord. 943-64 - Accepting annexation to the City of Toledo
(approved 12/14/64)

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- | | | |
|-------------|---|--|
| Ord. 944-64 | - | Providing interim zoning of C-3 (approved 12/14/64) |
| Ord. 486-65 | - | Providing permanent zoning of C-3 (approved 6/21/65) |

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit to operate a used auto sales lot on the site located at 5874 Dorr Street. The .441-acre site is located at the northwest corner of Dorr Street and Krieger Drive. The property currently has 2 buildings, the larger of the buildings is being used as an automotive body shop and the smaller will be used as the used auto sales office.

The site requires a total of 9 automobile spaces in addition to the vehicle display spaces. The 2,700 sq. ft. sales office has a parking requirement of 6 spaces, the used car display area has a parking requirement of 1 space and the auto body shop has a parking requirement of 2 spaces, for a total of nine (9) required spaces. The site plan indicates that ten (10) parking spaces will be provided. The site will be accessed via one (1) curb cut onto Dorr Street and one (1) curb cut onto Krieger Drive. Pursuant to TMC 1107.1203.A, access to a commercial parking lot is prohibited when the abutting zoning is residential. Therefore, the Division of Transportation has required the curb cut onto Krieger Drive to be closed. Department of Transportation also requests that the sale display area be adequately defined. A new site plan will be required before final approval is granted.

The site is currently developed and therefore not required to fully comply with the landscape requirements of the 2004 zoning code update. Staff recommends only requiring foundation plantings and a 10' wide landscaping buffer along the Dorr Street frontage to bring the site closer to compliance in terms of landscaping.

Surrounding land uses include a single-family residential neighborhood to the North, A-to-Z Equipment Rental to the East, a family video to the West and a used car lot to the South. Other commercial businesses in the immediate area include a muffler shop, a gas station with attached convenience store and an apartment complex.

STAFF ANALYSIS (cont'd)

The Toledo 20/20 Comprehensive Plan targets this area for neighborhood commercial land uses. The neighborhood commercial district was established and intended for predominantly small and medium scale commercial uses that serve neighborhoods. Small and medium scale office and mixed used may be included. Based on the current zoning, proposed use and location staff has found that the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 *Review and Decision-making Criteria*.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-1004-13, a request for a Special Use Permit for the operation of a used auto car lot located at 5875 Dorr Street, to the Toledo City Council, subject to the following eighteen (18) conditions:

Engineering Services

1. All existing substandard sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced/upgraded to conform to current City of Toledo Construction Standards, Specifications, the Toledo Municipal Code, and the Americans with Disabilities Act Guidelines.
2. All proposed sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from the One Stop Shop, ph (419) 245-1220.

Contact Scott Bishop at ph. (419) 936-2756 for inspection of above-mentioned items.

4. A 17 ft. (17') permanent sewer easement along Dorr Street should be shown on the plans.

Sewer & Drainage Services

No Comments or objections.

STAFF RECOMMENDATION (cont'd)

Fire Prevention

5. New and existing buildings shall have approved address numbers, building numbers or approved building identification plainly legible and visible from the street fronting the property. Numbers to be a minimum of 4" high x 1/2" wide.

Transportation

6. The configuration of vehicles for purchase shall be provided. Parking stall, drive aisle and access drive dimensions shall be provided.
7. Vehicle access onto Krieger Dr. shall not be permitted.
8. Existing unused drive approaches shall be completely removed and new curbs and sidewalks shall be installed in accordance with City of Toledo Construction Standards. Comments not received at this time.

Building Inspection

9. Locating a used auto sales office in the proposed tenant space may constitute a change in use. As a requirement of a change of use, a new certificate of occupancy must be issued. The applicant must submit construction drawings stamped by a design professional submitted to the Division of Building Inspection for plan review and approval. The construction documents must show the occupant load of each occupied space as well as the total occupant load, plumbing fixture count, the means of egress and fire safety routes and those items listed in Chapter 106 of the Ohio Building Code. A new certificate of occupancy will be issued to the tenant space at this location when all inspections are satisfied and approved.
10. Any improvements, alterations or expansions to the existing structures or the construction of any new structures will likewise require construction documents stamped by a design professional submitted to the Division of Building Inspection for plan review and approval, along with inspections of actual work performed as a requirement of a certificate of occupancy.

Plan Commission

11. A revised site plan shall be submitted which addresses the concerns of the Department of Transportation.
12. Incorporate curbs or other substantial permanent barriers to prevent encroachment of the vehicles into the required setback and landscape areas. (TMC 1108.0302.B. Use Regulations).

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

13. Elevated displays lifts or metal structures used in conjunction with the display of motor vehicles shall be permitted only within those areas specifically designated upon the site plan and shall not be allowed in any required front yard. (TMC 1104.0302.A. Use Regulations).
14. A dumpster location(s) shall be noted on a revised site plan and have a concrete pad surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
15. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A 10' Greenbelt is required along the Dorr Street frontage and shall include one tree for every 30' of lot frontage or a solid evergreen hedge; **shall be noted on revised landscape plan.**
 - b. Foundation plantings are required along all main and secondary entrances of the building, and patio areas that are visible from the public right of way, and landscaping at all major building entrances. (TMC 1108.0205.B Landscaping and Screening; **shall be noted on revised landscape plan.**
 - c. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **acceptable as depicted on plan.**
 - d. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **shall be noted on revised landscape plan.**
 - e. The location, height and materials for any fencing to be installed and maintained; **acceptable as depicted on plan.**
 - f. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); **shall be noted on revised landscape plan.**
 - g. The location, lighting and size of any signs.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

16. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year.
17. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
18. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

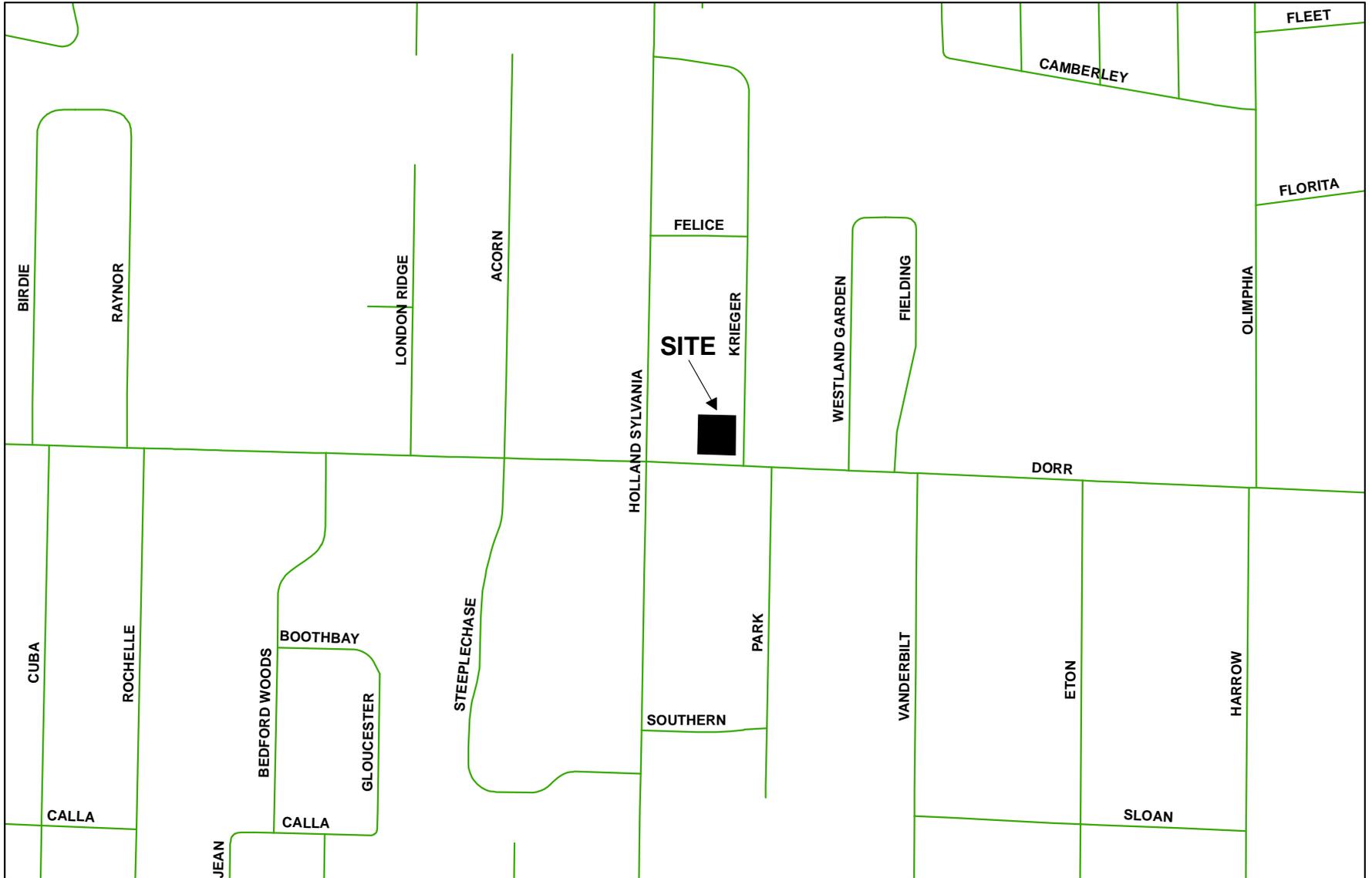
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-1004-13
DATE: March 14, 2013
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: April 17, 2013
TIME: 4:00 P.M.

BH/an
Three (3) sketches follow

GENERAL LOCATION

SUP-1004-13
ID 118



ZONING & LAND USE

SUP-1004-12
ID 118

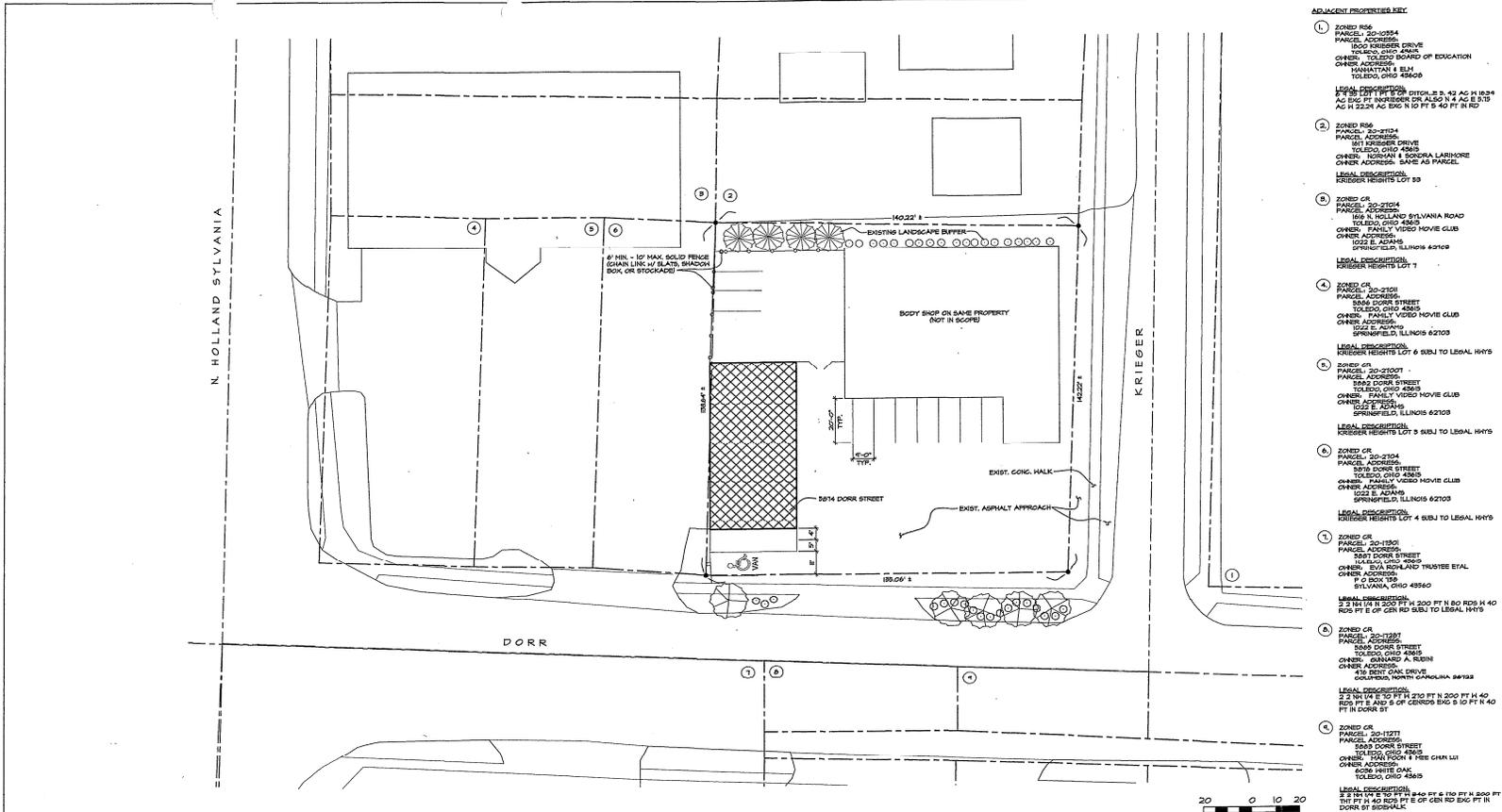


SITE PLAN AS SUBMITTED

SUP-1004-13
ID 118



6-9



ZONING NOTES:
 ZONED COMMERCIAL/RESIDENTIAL 600
 FRONT SETBACK = 10 FEET
 SIDE & REAR = 0 FEET
 ORDINANCE 108-0202 FRONTYARD SCREENING
 SITE COMPLIES WITH THE INTENT OF THE ORDINANCE
 ORDINANCE 108-0202 BUFFER AND SCREENING
 EXISTING BUFFER AND SCREENING COMPLIES WITH THE INTENT OF THE ORDINANCE

PLANT MATERIAL LIST

- ⊗ 5 MALVA PRAEURIFERA DRAINATURE FLOWERING CRANAPPLES
- 1" GAL./848) WHITE SPRING FLOWERING MED. ORNAMENTAL TREE
- ⊙ 10 HYPERICUM PROCRUMBENS 'SARABOTT' (DAURUST ST. JOHN'SWORT)
- 10" HT. 848 OR CONT. # 84) G.G. YELLOW FLOWERING SALT TOLERANT MED. SHRUB

LANDSCAPING

FRONTYARD GREEN BELT:
 LANDSCAPE BUFFER:
 EXISTING CURB, NO NEW SITE WORK EXCEPT FOR ACCESSIBILITY, NO GREEN ON STREET FRONTYARD LANDSCAPING ACCESSED AFTER RIGHT-OF-WAY.
 EXISTING TREES AND SHRUBS

SITE PLAN
 SCALE 1/20 = 1'-0"

CODE INFORMATION (SPECIAL USE PERMIT APPLICATION)

SUBJECT PROPERTY INFORMATION:

ZONED OR PARCEL: 20-21001
 PARCEL ADDRESS: 20 N LARSON BL
 CENSUS, OHIO 43403
 OWNER ADDRESS: 1244 ABBY ROAD
 HUNTSVILLE, AL 35894
 LEGAL DESCRIPTION: KREBSER HEIGHTS LOT 1, 2 & 3
 AREA OF PROPERTY: 0.441 ACRES

PARKING REQUIREMENTS:

AUTO SALES (240 SQ. FT. - NO CHANGE)
 PARKING REQUIRED (SCHEDULE A): 8 SPACES
 1 PER 500 SQ. FT. OF OTHER AREAS 2 SPACES
 1 PER 100 SQ. FT. OF OTHER AREAS 2 SPACES
 2 FOR CLEANING AND WASHING (IN BACK) 1 SPACES
 TOTAL: 8 SPACES

SPECIAL USE PERMIT REQUIRED:

A SPECIAL USE PERMIT IS REQUESTED FOR AN AUTO SALES BUSINESS.

- ADJACENT PROPERTIES LIST:**
- 1 ZONED RM6
 PARCEL: 20-0254
 PARCEL ADDRESS: 1800 KREBSER DRIVE
 10400-0200 ANNE
 OWNER: TOLEDO BOARD OF EDUCATION
 CHRYSLER FINANCIAL SERVICES
 TOLEDO, OHIO 43608
 LEGAL DESCRIPTION: 1.2 ACRES OF LAND ALSO 1/4 AC IN RD 3/4 AC IN 23.24 AC 500 N 10 FT S 50 FT N RD
 - 2 ZONED RM6
 PARCEL: 20-21014
 PARCEL ADDRESS: 1811 KREBSER DRIVE
 TOLEDO, OHIO 43603
 OWNER: HODMAN & SPOCKA LARIMORE
 OWNER ADDRESS: SAME AS PARCEL
 LEGAL DESCRIPTION: KREBSER HEIGHTS LOT 99
 - 3 ZONED CR
 PARCEL: 20-21014
 PARCEL ADDRESS: 1626 N HOLLAND SYLVANIA ROAD
 TOLEDO, OHIO 43602
 OWNER: FAMILY VIDEO MOVIE CLUB
 OWNER ADDRESS: 1022 E ADAMS
 SPRINGFIELD, ILLINOIS 62703
 LEGAL DESCRIPTION: KREBSER HEIGHTS LOT 1
 - 4 ZONED CR
 PARCEL: 20-21011
 PARCEL ADDRESS: 1834 DORR STREET
 TOLEDO, OHIO 43605
 OWNER: FAMILY VIDEO MOVIE CLUB
 OWNER ADDRESS: 1022 E ADAMS
 SPRINGFIELD, ILLINOIS 62703
 LEGAL DESCRIPTION: KREBSER HEIGHTS LOT 6 5811 TO LEGAL HTYS
 - 5 ZONED CR
 PARCEL: 20-21007
 PARCEL ADDRESS: 1834 DORR STREET
 TOLEDO, OHIO 43605
 OWNER: FAMILY VIDEO MOVIE CLUB
 OWNER ADDRESS: 1022 E ADAMS
 SPRINGFIELD, ILLINOIS 62703
 LEGAL DESCRIPTION: KREBSER HEIGHTS LOT 5 5811 TO LEGAL HTYS
 - 6 ZONED CR
 PARCEL: 20-21014
 PARCEL ADDRESS: 1834 DORR STREET
 TOLEDO, OHIO 43605
 OWNER: FAMILY VIDEO MOVIE CLUB
 OWNER ADDRESS: 1022 E ADAMS
 SPRINGFIELD, ILLINOIS 62703
 LEGAL DESCRIPTION: KREBSER HEIGHTS LOT 4 5811 TO LEGAL HTYS
 - 7 ZONED CR
 PARCEL: 20-11901
 PARCEL ADDRESS: 1837 DORR STREET
 10400-0200 ANNE
 OWNER: EVA RICHLAND TRUSTEE ETAL
 OWNER ADDRESS: 1022 E ADAMS
 SYLVANIA, OHIO 43060
 LEGAL DESCRIPTION: 2.2 AC IN 11.2 AC RD 11 200 FT N 80 RDS H 40 RDS FT E OF GEN RD 5811 TO LEGAL HTYS
 - 8 ZONED CR
 PARCEL: 20-11221
 PARCEL ADDRESS: 1834 DORR STREET
 TOLEDO, OHIO 43605
 OWNER: EDWARD A. RUBIN
 OWNER ADDRESS: 410 WEST OAK DRIVE
 COLUMBUS, OHIO 43214 24192
 LEGAL DESCRIPTION: 2.2 AC IN 11.2 AC RD 11 210 FT N 200 FT N 40 RDS FT S AND S OF GENRDS 5811 TO LEGAL HTYS
 - 9 ZONED CR
 PARCEL: 20-11271
 PARCEL ADDRESS: 1834 DORR STREET
 TOLEDO, OHIO 43605
 OWNER: EDWARD A. RUBIN
 OWNER ADDRESS: 4026 WHITE OAK
 TOLEDO, OHIO 43605
 LEGAL DESCRIPTION: 2.2 AC IN 11.2 AC RD 11 210 FT N 200 FT N 40 RDS FT S AND S OF GEN RD 5811 TO LEGAL HTYS

(419) 884-8811
 8622 Mayberry Square
 Sylvania, Oh. 43560

Architecture
 by **Design, Ltd.**
 Architecture by Design, Ltd. 2015

SITE PLAN WITH SURROUNDING PARCELS
 SPECIAL USE PERMIT FOR:
CAR DEALERSHIP
 1874 DORR STREET
 TOLEDO, OHIO 43605

DESIGN BY: DWG. DATE: 1/29/18
 PROJECT NO: 18004
 DATE/REVISION:

1 OF 1 DRAWINGS

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REF: SUP-2001-13
DATE: March 14, 2013

GENERAL INFORMATION

Subject

- Request - Special Use Permit for the operation of a Tobacco Shop
- Location - 2222 Reynolds Road
- Applicant - Sakfan Aziz
39321 Faith Drive
Sterling Heights, MI 48310
- Owner - Jim Edmunds
JME Property Management LLC
3109 W Sylvania Ave.
Toledo, OH 43613
- Architect - John Ciampa
5122 Heatherdowns Blvd.
Toledo, OH 43614

Site Description

- Zoning - CR / Regional Commercial
- Area - ± .632 Acres
- Frontage - ± 137 feet on Reynolds Road
- Existing Use - Multi Tenant Commercial
- Proposed use - Multi Tenant Commercial
- Required Parking - 22 automobile spaces
- Proposed Parking - 28 automobile spaces

Area Description

- North - Single Family Dwellings/ RS9
- East - Single Family Dwellings & Apartment Complex / RS9 & RM36
- South - Commercial Retail / CR
- West - Apartment Complex & Gas Station / CR

Parcel History

No Parcel History on File.

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit for the operation of a tobacco shop at 2222 Reynolds Road. The site is currently developed with a 6,344 square foot multi-tenant commercial building. The building is divided into 4 units with tenants that include Cash Land and Little Caesars Pizza. The proposed tobacco shop will be located between the check cashing and pizza establishments, while the northern most unit is currently vacant.

A tobacco shop is required to devote 33% of its floor area to the sale of tobacco related products or paraphernalia and must be at least 500 feet from activities related to children. Hawkins Elementary has been identified as the closest child related activity location and is located approximately 1,900 feet from the subject property.

The entire site currently offers 28 parking spaces for use by the 4 tenants. Based on the existing uses, the site has an overall parking requirement of 22 spaces. The multi tenant building is designed with 21 spaces in the front of the building and 7 spaces to the rear of the building to be used by staff and/or over-flow parking. The submitted plan does not indicate the location of ADA compliant parking and a revised plan should provide a minimum of 2 ADA compliant spaces.

The site is mostly paved with the exception of a grass buffer strip between the right-of-way and the western most parking spaces. As a result, the site is nonconforming in terms of landscaping. TMC§1114.05 requires that existing landscape nonconformities be brought closer into compliance. The Plan Commission Director has determined that based on the existing site conditions and proposed use, no additional plantings will be required for this proposal. However, a dumpster enclosure shall be installed. The installation of a dumpster enclosure will bring the site closer into landscaping compliance.

Surrounding land uses include single-family dwellings to the North, an apartment complex to the East, and commercial uses to the South on both sides of Reynolds Road. Directly across Reynolds Road to the West of the subject property are an apartment building and a gas station.

STAFF ANALYSIS (cont'd)

The Toledo 20/20 Comprehensive Plan targets this area for neighborhood commercial land uses. The CN Neighborhood Commercial district is intended to accommodate pedestrian oriented small-scale retail and service businesses that serve nearby residential areas. A Special Use Permit for a tobacco shop is suitable for this location because it is compatible with surrounding uses and will not negatively impact the existing businesses in the area. As a result, staff has found that the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 Review and Decision-making Criteria.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-2001-13, a Special Use Permit for a Tobacco Shop at 2222 Reynolds Road, to the Toledo City Council, subject to the following fourteen (14) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All existing substandard sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced/upgraded to conform to current City of Toledo Construction Standards, Specifications, the Toledo Municipal Code, and the Americans with Disabilities Act Guidelines.
2. All proposed sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
3. All commercial drive approaches, (along with the sidewalk through the drive) shall be constructed with eight-inch (8") thick concrete per the City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop/opening.
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, ph. (419) 245-1220.
5. Contact Scott Bishop at ph. (419) 936-2756 for inspection of above mentioned items.
6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

7. Plans for a new water service or modifications to the existing water service shall be submitted to the Division of Engineering Services for review and approval.

Sewer & Drainage Services

No Comments or objections.

Fire Prevention

8. New and existing buildings shall have approved address numbers, building numbers or approved building identification plainly legible and visible from the street fronting the property. Numbers to be a minimum of 4" high x 1/2" wide.

Building Inspection

9. New construction, addition or interior alterations will require construction documents stamped by a design professional submitted to the Division of Building Inspection for plan review and approval according to the Ohio Building Codes and associated mechanical, electrical codes and fire codes.

Transportation

Comments not received at this time.

Plan Commission

10. The facility must dedicate a minimum of 33% of floor area as display area to the sale or exchange of retail packaged tobacco products and/or tobacco paraphernalia.
11. The hours of operation of a tobacco shop are limited to 5:30 a.m. to 1 a.m., or other hours consistent with a liquor permit issued by the State of Ohio
12. A dumpster location(s) shall be noted on a revised site plan and have a concrete pad surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
13. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

14. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-2001-13
DATE: March 14, 2013
TIME: 2:00 p.m.

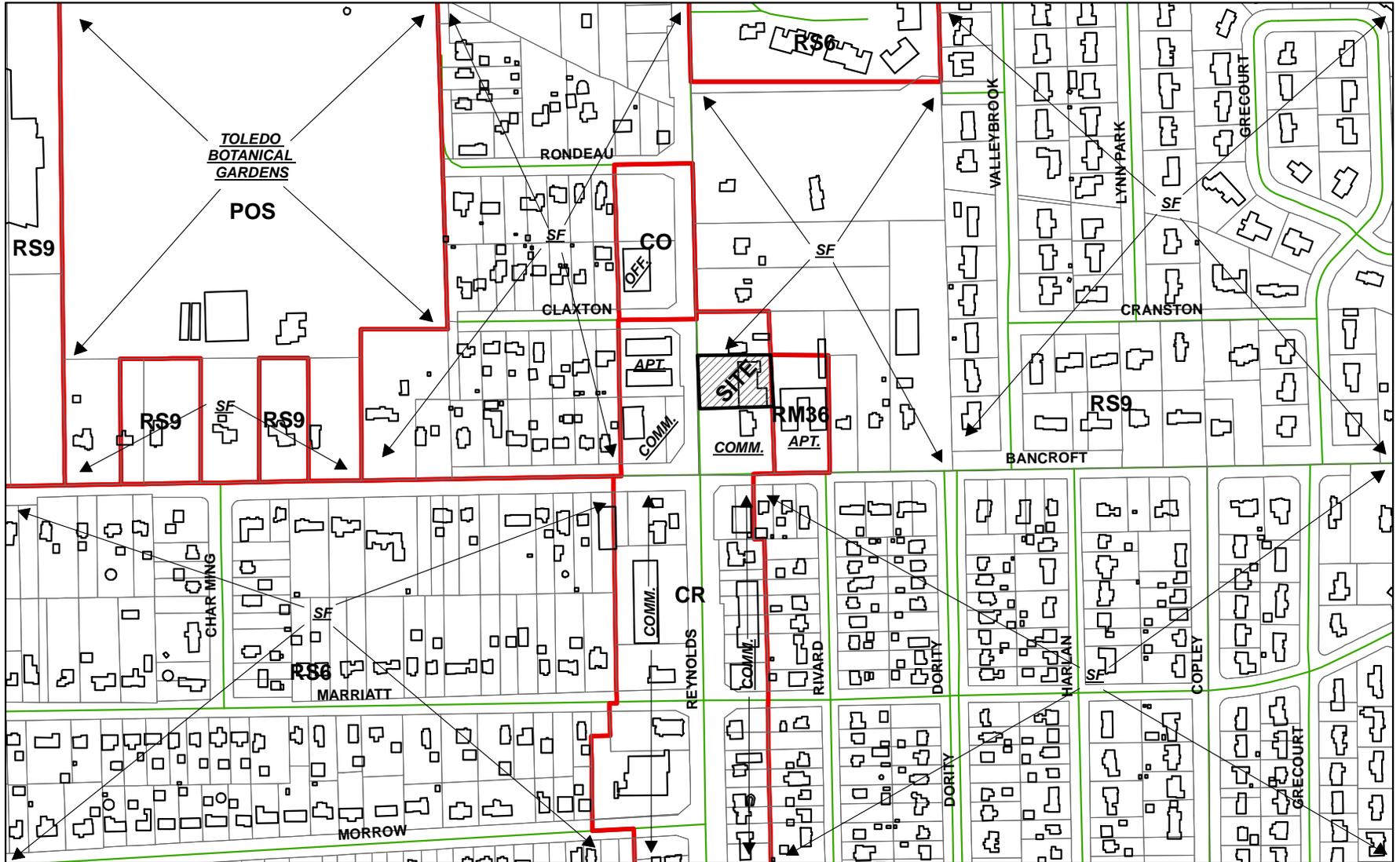
CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: April 17, 2013
TIME: 4:00 p.m.

BH/an

Three (3) sketches to follow

ZONING & LAND USE

SUP-2001-13
ID 117



REF: M-1-13
DATE: March 14, 2013

GENERAL INFORMATION

Subject

Request - Text Amendment adding a Table Note clarifying density in multi-dwelling districts for single buildings

Applicant - Toledo Lucas County Plan Commissions
One Government Center, Suite 1620
Toledo, Ohio 43604

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning

STAFF ANALYSIS

This amendment is to clarify the density calculation in tables in TMC 1102.0103 and TMC 1106.0101. Table 1102.0103 lists all the base zoning districts along with the allowed density in the residential zoning districts. The allowed density listed is based on a single building and does not apply to cluster housing or multiple buildings. Table 1106.0101 includes a row for minimum lot area per unit and a row for maximum density. The “minimum lot area” row applies to single buildings. The “maximum density” row references table note 2, which states that this row applies to multiple buildings on a lot. Staff thus calculates allowed density using the “minimum lot area” row for single buildings and the “maximum density” row for multiple buildings on a lot.

The addition of table note 1 in TMC 1102.0103 will clarify that the density standards shown apply only to single buildings. The addition of table note 8 in TMC 1106.0101 will clarify that the “minimum lot area” row applies only to single buildings and that the “maximum density” row applies to multiple buildings. The amendment will minimize any confusion by explicitly stating when the density standards apply.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of the amendment to the Planning and Zoning Code as shown in Exhibit “A” to the Toledo City Council.

ZONING TEXT AMENDMENT
TOLEDO CITY PLAN COMMISSION
REF: M-1-13
DATE: March 14, 2013
TIME: 2:00 p.m.

REF: M-1-13. . March 14, 2013

CITY COUNCIL PLANNING
AND ZONING COMMITTEE

DATE: April 17, 2013

TIME: 4:00 p.m.

BH/an

Exhibit "A" follows

Exhibit “A”

(Proposed additions are shown in bold italics,
proposed deletions are shown in strikethrough text)

1102.0103 The following Residential (R), Commercial (C), Industrial (I), and Special Purpose zoning districts are included in this Zoning Code:

District Name	Map Symbol
Residential (R) Zoning Districts	
Single-Dwelling Residential Districts (RS)	
Single-Dwelling Residential–12,000 Square Feet	RS12
Single-Dwelling Residential–9,000 Square Feet	RS9
Single-Dwelling Residential–6,000 Square Feet	RS6
Duplex Residential District (RD)	
Duplex Residential–6,000 Square Feet	RD6
Multi-Dwelling Residential Districts (RM) [1]	
Multi-Dwelling Residential–12 units per acre	RM12
Multi-Dwelling Residential–24 units per acre	RM24
Multi-Dwelling Residential–36 units per acre	RM36
Manufactured Housing Park District (RMH)	
Manufactured Housing Park	RMH
Commercial (C) Zoning Districts	
Neighborhood Commercial	CN
Office Commercial	CO
Storefront Commercial	CS
Mixed Commercial–Residential	CM
Regional Commercial	CR
Downtown Commercial	CD
Industrial (I) Zoning Districts	
Limited Industrial	IL
General Industrial	IG
Planned Industrial/Business Park	IP
Special Purpose Zoning Districts	
Parks and Open Space	POS
Institutional Campus	IC

Proposed
Table Note

Table Notes

[1] These density standards apply to single buildings. For multiple buildings on a lot see Section 1106.0101 Maximum Density row.

Exhibit “A” (cont’d)

1106.0101 Residential Districts

Unless otherwise expressly stated, all buildings in Residential (R) Districts must comply with the following standards, as well as all other applicable standards of this Zoning Code.

Standard	RS 12	RS 9	RS 6	RD 6	RM 12	RM 24	RM 36	RMH
Minimum Lot Area (sq. ft. per unit)								
Detached House	12,000	9,000	6,000	6,000	6,000	6,000	6,000	NA
Attached House	NA	NA	NA	3,000	3,000	3,000	3,000	NA
Duplex	NA	NA	NA	3,000	3,000	3,000	3,000	NA
Multi-Dwelling [8]	NA	NA	NA	NA	3,600	1,800	1,200	NA
Manufactured Home [1]	NA	NA	NA	NA	NA	NA	NA	3,600
All Other Development	12,000	9,000	6,000	6,000	6,000	6,000	6,000	NA
Max. Density (dwelling units per acre) [2]	3	4	6	6	10	20	30	10
Minimum Lot Width (feet)	75	60	50	50	50[3]	50[3]	50[3]	40
Minimum Setbacks (feet)								
Front	35	30	25	25	25	25	25	25[4]
Side (one side/combined)	7.5/16	6/14[5]	5/12[5]	5/12[5]	10/20[5]	5/12[5][6]	5/12[5][6]	10/20
Rear	35	30	25	25	25	25	25	12[7]
Maximum Height (feet)	35	35	35	35	35	35	50	20

Proposed
Table Note

NA = Not Applicable

Table Notes

- [1] The standards apply to manufactured homes in manufactured housing parks.
- [2] These density standards apply only to cluster housing, Section [1104.0500](#), and to Multiple Buildings on Lot, Section [1106.0300](#), unless otherwise expressly stated.
- [3] Minimum lot width for attached house: 25 feet.
- [4] Where a lot in a manufactured housing park abuts a dedicated place, the minimum front setback is 7 feet.
- [5] Combined total setbacks for attached houses, detached houses and duplexes may be reduced to 10 feet to accommodate an attached garage or carport.
- [6] Minimum side setback is increased to 10 feet when adjacent to RS or RD District.
- [7] Where a lot in a manufactured housing park abuts the periphery of the development, the minimum rear setback is 25 feet. No structure in a manufactured housing park may be located in the required rear setback.
- [8] These density standards apply to single buildings, For multiple buildings on a lot see Max. Density Row and Table Note [2].**

STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
CHRISTINE CUNNINGHAM
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

DIVISION OF FORESTRY
COMMISSIONER
2201 OTTAWA PARKWAY
TOLEDO, OH 43606
419-936-2326

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET
TOLEDO, OH 43601
419-245-6802

DIVISION OF WATER
RECLAMATION
COMMISSIONER
3900 N. SUMMIT STREET
TOLEDO, OH 43611
419-727-2602-

DIVISION OF INSPECTION
COMMISSIONER
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
JEFF GRABARKIEWICZ
138 W. DUDLEY
MAUMEE, OH 43537
419-893-1966

DIVISION OF TRANSPORTATION
COMMISSIONER
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
COMMISSIONER
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
KEITH EARLEY
ONE GOVERNMENT CENTER
SUITE 870
TOLEDO, OH 43604
419-213-4540

SERVICE DEPARTMENT
EDWARD MOORE, DIRECTOR
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD.
TOLEDO, OH 43611-1713
419-539-6063

LUCAS COUNTY
SANITARY ENGINEER
JIM SHAW
1111 S. McCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT.
LANA GLORE, ENV. HEALTH SERV.
635 N. ERIE STREET ROOM 352
TOLEDO, OH 43604
419-213-5446

A T & T
ATTN: DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43624
419-245-7000

BUCKEYE CABLESYSTEM, INC.
GARY KASUBSKI
4818 ANGOLA ROAD
TOLEDO, OH 43615
419-724-3821

VERIZON
BRAD SNYDER
300 W. GYPSY LANE
BOWLING GREEN, OH 43402
1-419-354-9452

WATERVILLE GAS
JAMIE BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

OHIO GAS
MIKE CREAGER
13630 AIRPORT HWY.
SWANTON, OH 43558
419-636-1117

TIME WARNER
RAY MAURER
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

EMBARQ
TIM TAYLOR
375 E. RIVERVIEW AVE.
NAPOLEON, OH 43502
419-599-4024

CENTURYLINK
JAMES K. WHITE
125 MAIN STREET
SIDNEY, OH 45302
937-498-5185

Toledo - Lucas County General Street Map

