

*TOLEDO CITY
PLAN COMMISSION
REPORT*

June 12, 2014

Toledo-Lucas County Plan Commissions

One Government Center, Suite 1620, Toledo, OH 43604

Phone 419-245-1200, FAX 419-936-3730

MEMBERS OF THE TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

TOLEDO CITY PLAN COMMISSION

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(Chairman)

CYNTHIA A. GERONIMO
(Vice Chairman)

BALSHARAN SINGH GREWAL

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LUCAS COUNTY PLANNING COMMISSION

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**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2014**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION (<i>HEARINGS BEGIN AT 2PM</i>)			
November 25	December 23	December 27	January 9
December 30	January 27	January 31	February 13
January 28	February 24	February 28	March 13
February 25	March 24	March 28	April 10
March 25	April 21	April 25	May 8
April 29	May 26	May 30	June 12
May 27	June 23	June 27	July 10
July 1	July 28	August 1	August 14
July 29	August 25	August 29	September 11
August 26	September 22	September 26	October 9
September 23	October 20	October 24	November 6*
October 21	November 17	November 21	December 4*
COUNTY PLANNING COMMISSION (<i>HEARINGS BEGIN AT 9AM</i>)			
December 9	January 6	January 10	January 22
January 13	February 10	February 14	February 26
February 10	March 10	March 14	March 26
March 10	April 7	April 11	April 23
April 14	May 12	May 16	May 28
May 12	June 9	June 13	June 25
June 9	July 7	July 11	July 23
July 14	August 11	August 15	August 27
August 11	September 8	September 12	September 24
September 8	October 6	October 10	October 22
October 6	November 3	November 7	November 19*
November 3	December 1	December 5	December 17*

* County deadlines are for Preliminary Drawings

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

June 12, 2014

2:00 p.m.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER

AT JACKSON BOULEVARD AND ERIE STREET

IN COUNCIL CHAMBERS

ON THE FOLLOWING CASES

AGENDA

ROLL CALL - Toledo City Plan Commission

PROOF OF NOTICE

SWEARING IN

MINUTES

FINAL PLATS

DIRECTOR'S REPORT

CHAIRMAN'S REPORT

**ITEM
NO.**

CASE DESCRIPTION

- | | |
|-----------------|---|
| 1. V-154-14: | Vacation of Willys Parkway between Pioneer Street and Hillcrest Avenue (tg) |
| 2. V-186-14: | Vacation of Koester Street between York Street and Consaul Street (bh) |
| 3. SUP-4005-14: | Amendment to Special Use Permit, originally granted by Ordinance 200-06, for expansion of existing gas station at 3405 W. Central Avenue (tg) |
| 4. SPR-21-14: | Major Site Plan review for new Ronald McDonald House at 3883 Monroe Street (2142 N. Cove Boulevard) (tg) |
| 5. SUP-4006-14: | Special Use Permit for expansion of existing school at 1878 Genesee Street and 2014 Consaul Street (bh) |

6. SUP-4008-14: Amendment to Special Use Permit, originally granted by Ordinance 496-13, for landscape waivers at 2441 S. Reynolds Road (bh)
7. SUP-4009-14: Amendment to Special Use Permit, originally granted by Ordinance 10-14, for landscape waivers at 1872-1896 Front Street, 1985 Consaul Street and 1983 Burr Street (gp)
8. Z-5001-14: Zone Change from RS6 and CR to CR at 2214 Airport Highway and 2230 Ward Street (gp)
9. M-2-14: Text amendment to TMC 1104.0100 Use Table to allow “other agriculture” as a permitted use in the CM, CN and CS zoning districts (bh)

ADJOURNMENT

GENERAL INFORMATION

Subject

- Request - Vacation of Willys Parkway between Pioneer Lane and Hillcrest. Avenue
- Applicant - Jamie Miller, Senior Real Estate Specialist
Engineering Services
600 Jefferson Avenue, Suite 300
Toledo, OH 43604

Site Description

- Zoning - POS Parks and Open Space
- Existing Use - Public Right-of-Way
- Proposed Use - Future Parkland

Area Description

- North - Single Family / RD6
- South - I-75 & Vacant Industrial Land / RD6 & IG
- East - Willys Park / POS
- West - Willys Park / POS

Parcel History

No case history on file.

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning Code
Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The City of Toledo is proposing to vacate a portion of Willys Parkway between Pioneer Lane and Hillcrest Avenue. This request is to accommodate an agreement with the adjacent neighborhood to eliminate access from the expressway via Willys Parkway. When the Ohio Department of Transportation held community meetings to discuss the upgrades to the highway system the neighborhood residents expressed their concern with traffic from the expressway traveling at unsafe speeds through their neighborhood. It was determined that the reconfiguration of the expressway did not require Willys Parkway as an access and alternative access ramps could be used by the traveling public.

STAFF ANALYSIS (cont'd)

The Toledo 20/20 Comprehensive Plan targets this site for parks and open space. This is intended to preserve and enhance major open space and recreational areas such as parks, golf courses, racetracks, marinas, and other areas containing recreational open space and facilities. The vacation of Willys Parkway provides an opportunity to merge the park area that was divided by a roadway and utilize the right-of-way for recreational purposes. The proposed use of this site is in compliance with the Toledo 20/20 Comprehensive Plan.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of V-154-14, a request to vacate a portion of Willys Parkway between Pioneer Lane and Hillcrest Avenue to Toledo City Council, for the following two (2) reasons:

1. The proposal complies with all applicable provisions of the City of Toledo zoning code.
2. The proposal conforms to the Toledo 20/20 Comprehensive Plan.

The staff recommends that the Toledo City Plan Commission recommend approval of V-154-14, a request to vacate a portion of Willys Parkway between Pioneer Lane and Hillcrest Avenue to Toledo City Council, subject to the following nine (9) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. Close Willy's Parkway southbound at Hillcrest Avenue and northbound at Pioneer Lane using proper signage and appropriate guard rail.
2. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.
3. Contact Scott Bishop at (419) 936-2756 for inspection of work performed in the right-of-way.
4. Maintain sidewalk access from Hillcrest Avenue to Pioneer Lane.
5. It is recommended that a bike path connector be planned to connect Willys Parkway at Hillcrest Avenue with the proposed bike path at Pioneer Lane.
6. The Ohio Department of Transportation (ODOT) shall be granted temporary access to the vacated area for the construction of ODOT Project LUC-75-4.52.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

- 7. An existing 15” public sewer is installed within the existing right of way that outlets to Willys Creek. The City of Toledo shall retain a minimum 20-ft. wide permanent easement centered on the conduit, with rights of ingress and egress.

- 8. An 110’ foot utility easement (*or as described on the drawing*) shall be dedicated to the City of Toledo for public (sewer/water/drainage) facilities. The easement shall be primary in nature to any other easements located therein, and any easement retained by any other entity shall be subject first to the easement rights of the City of Toledo. Said easement herein shall be permanent in nature for each utility facility currently located thereon and shall run with the land. Said easement also includes reasonable rights of ingress and egress over and through the utility easement area for the purpose of operating, maintaining, replacing, repairing, and/or constructing any utility facilities located within the easement. The property owner shall not construct fences, walls, or other barriers, that would impede access onto the easement. No temporary or permanent structures, including building foundations, roof overhangs or other barriers denying access, may be constructed on or within the easement. Driveways, parking lots, walkways, and other similar improvements are acceptable. The property owner hereby releases the City of Toledo, only, from any liability, responsibility, or costs resulting from the City’s removal of any barriers that deny ingress or egress from the easement or that obstruct access to the public utilities located on said property, and the City of Toledo shall have no obligation or duty to restore or compensate the property owner for the removed facilities.

Toledo Edison

- 9. Toledo Edison has existing street lighting facilities within the area to be vacated. These may possibly remain in place upon request by the City of Toledo.

STREET AND ALLEY VACATION
 TOLEDO CITY PLAN COMMISSION
 REF: V-154-14
 DATE: June 12, 2014
 TIME: 2:00 p.m.

CITY COUNCIL PLANNING
 AND ZONING COMMITTEE
 DATE: July 16, 2014
 TIME: 4:00 p.m.

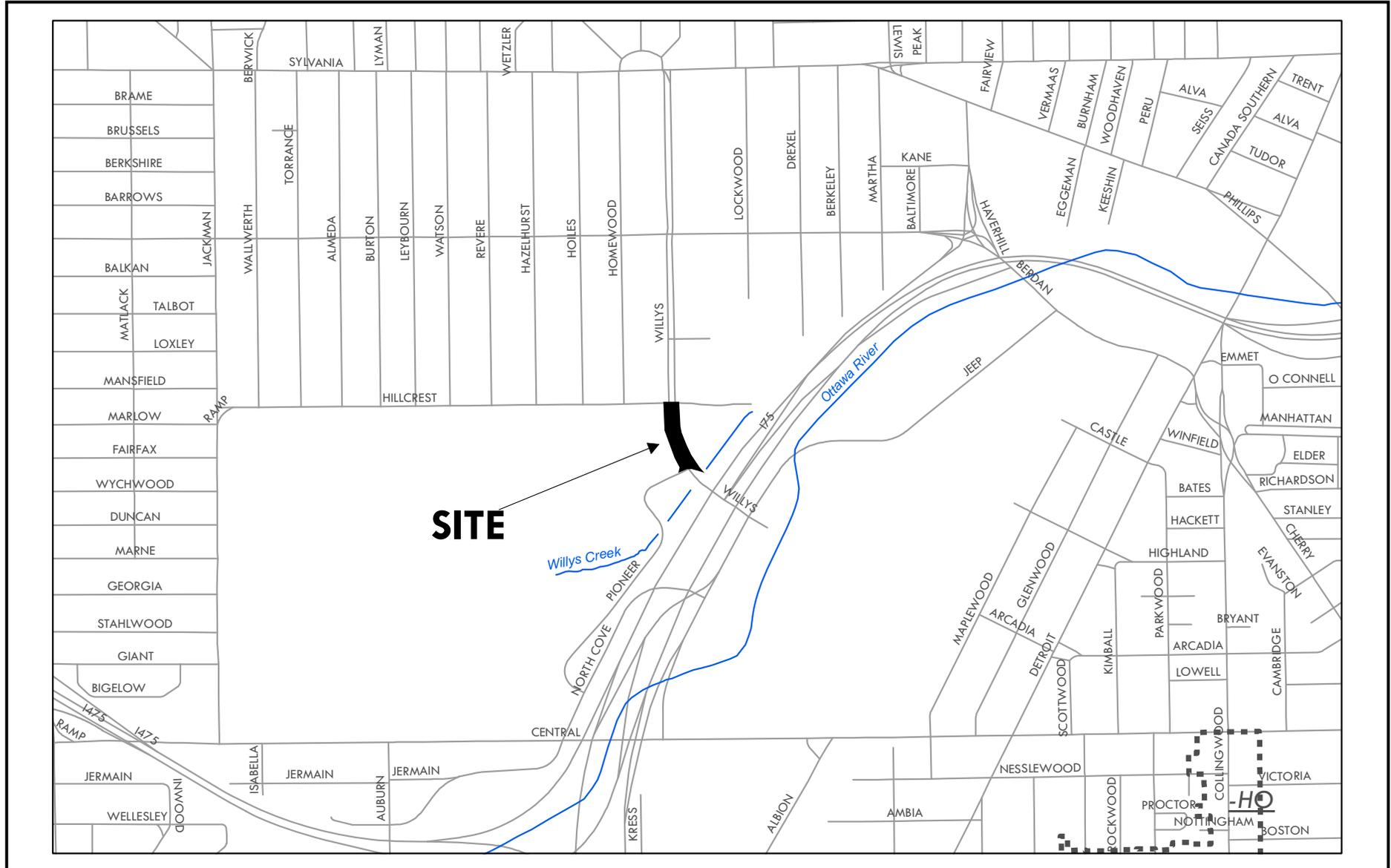
TCG/bp
 Three (3) sketches follow

GENERAL LOCATION

V-154-14
ID 35



1 - 4

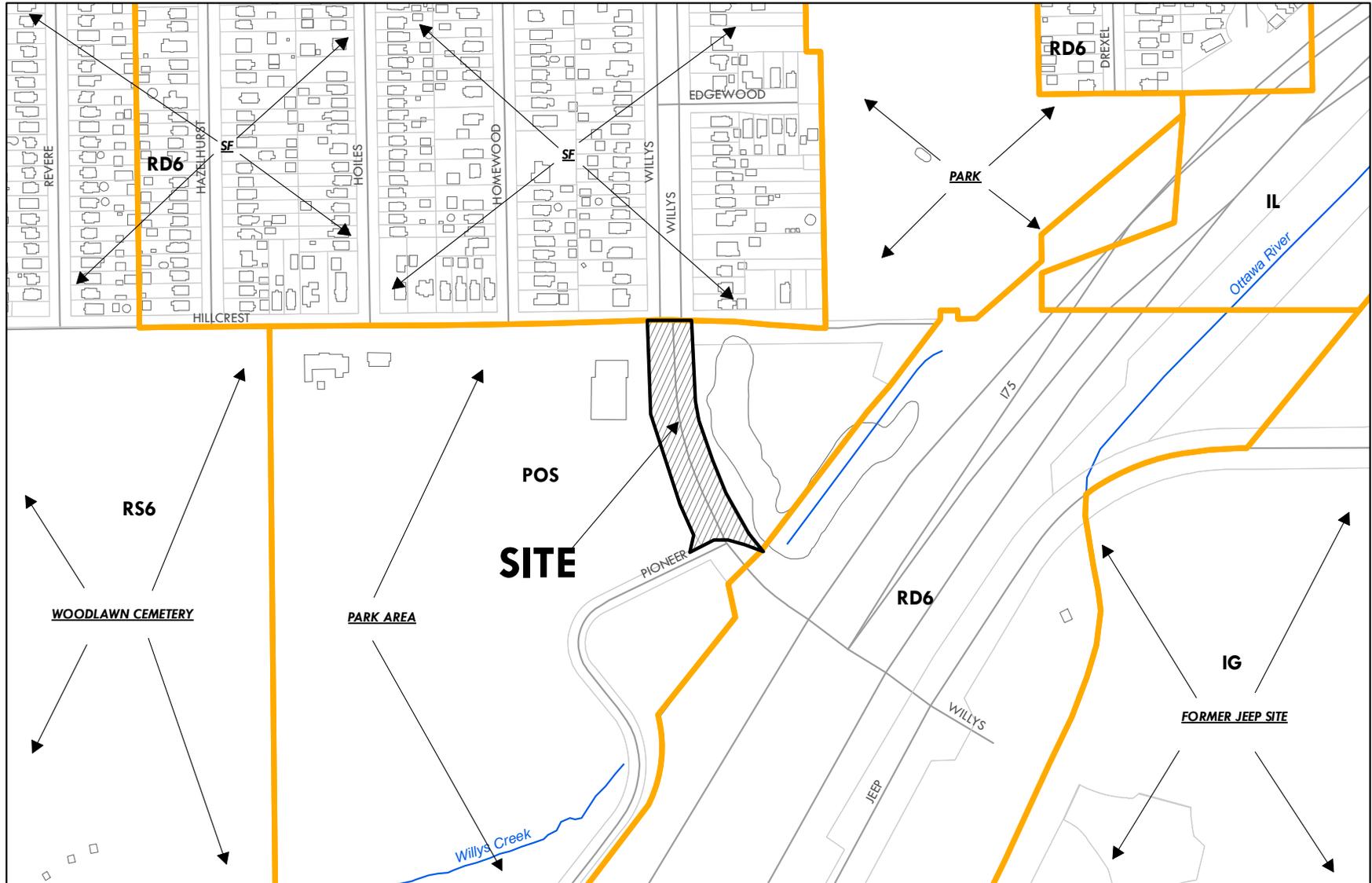


ZONING & LAND USE

V-154-14
ID 35

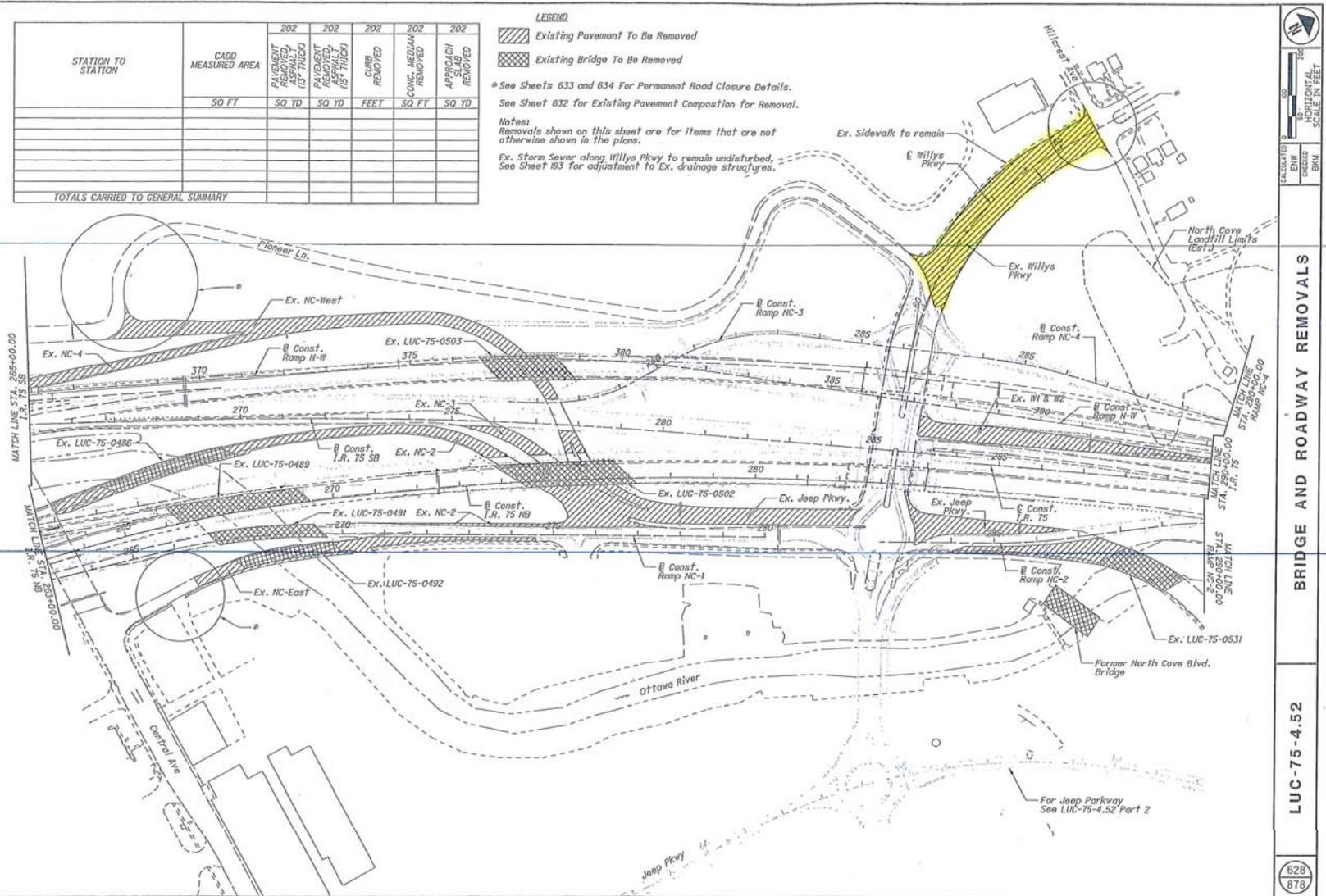


1 - 5



SITE PLAN

V-154-14
ID 35



GENERAL INFORMATION

Subject

- Request - Vacation of the portion of Koester Street between York and Consaul Streets.
- Applicant - City of Toledo
Dept of Public Utilities
600 Jefferson Ave
Toledo, OH 43604

Site Description

- Zoning - RS6 Single Dwelling Residential & RD6 Duplex Residential
- Existing Use - Undeveloped
- Proposed Use - Secure/fence for expansion area

Area Description

- North - Single Dwelling Residential / RS6
- East - City of Toledo Water Treatment Plant / RD6
- South - Single Dwelling Residential / RS6
- West - Single Dwelling Residential / RS6

Parcel History

- V-239-44 - Request to Vacate Reeves Street between Collins Park and Koester Street (Ord. 239-44, 11/29/44)

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

This is a request to vacate Koester Street between York and Consaul Streets, adjacent to the City of Toledo's Water Treatment Plant. The Department of Engineering Services requested this vacation to ensure that all existing and future water reclamation infrastructure is securely fenced. The subject right-of-way is 60 feet wide from Reeves Street to York Street and 30 feet wide from Reeves Street to Consaul Street. The area to be vacated is approximately 2.79 acres and stretches 2,654 feet between York and Consaul Streets. The right-of-way was dedicated as part of the Reeves Collins Park Addition, platted in 1914 and the Toledo Addition, platted in 1920.

STAFF ANALYSIS (cont'd)

The City of Toledo currently owns approximately 50% of the properties that front on both Collins Park and Koester Street. While Koester Street is unimproved, several platted, buildable lots have frontage only on this right-of-way. All of these lots are owned by the owners of adjacent lots with frontage onto Collins Park Avenue. To ensure that access is maintained to the “rear” lots fronting onto Koester Street, the Division of Transportation requires that each property owner execute a parcel combination as part of this vacation.

The Toledo 20/20 Comprehensive Plan designates the area east of Koester Street for utilities uses and the area west of Koester Street for Utilities and Single-family Residential uses. Additionally, it is unlikely that the subject right-of-way will be utilized and improved for roadway purposes and the best use of the property is to incorporate it into the water plant facility. Finally, if the appropriate parcel combinations are executed, no negative affects will occur from the proposed vacation.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of V-186-14, the request to vacate the portion of Koester Street lying between York and Consaul Streets to Toledo City Council for the following three (3) reasons:

1. The vacated area will be incorporated into the future development design; and
2. The vacation will not negatively affect properties with the vicinity of the subject property.
3. The proposed vacation conforms to the Toledo 20/20 Comprehensive Plan.

The staff recommends that the Toledo City Plan Commission recommend approval of V-186-14, the request to vacate the portion of Koester Street lying between York and Consaul Streets to Toledo City Council, subject to the following four (4) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. An easement shall be retained for public sanitary sewer infrastructure in the area.

STAFF RECOMMENDATION (cont'd)

Division of Transportation

2. The Division of Transportation requires each property owner execute a parcel combination as a part of the vacation. The proposed vacation cuts off access to the east lots of each property; lot combinations alleviates this concern.
3. Within the limits allowed by law, the applicant shall indemnify the City of Toledo, its officials, agents or employees, from any and all claims, demands, causes of action, suits or liability in connection with the performance of any and all acts authorized or permitted under this vacation. Said indemnification language shall be contained within and evidenced by the endorsement on a certified copy of the final vacating legislation by the owner which indemnification shall be kept in the permanent file of the Clerk of Council.

Toledo Edison

Comments not received at this time.

Buckeye CableSystem

4. A perpetual, nonexclusive easement shall be granted upon and through the portion of the Grantor's Property to construct, install, inspect, maintain, repair, enlarge, reconstruct and/or replace telecommunications transmission lines, cables, power nodes, conduits, markers, signs and related equipment and facilities (collectively, the "facilities"); The right of ingress and egress over real property for the purposes stated herein.

Lucas County Solid Waste Management District

Comments not received at this time.

Republic Services

Comments not received at this time.

REF: V-186-14 . . . June 12, 2014

RIGHT-OF-WAY VACATION
TOLEDO CITY PLAN COMMISSION
REF: V-186-14
DATE: June 12, 2014
TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: July 16, 2014
TIME: 4:00 P.M.

BH/bp
Two (2) sketches follow

GENERAL INFORMATION

Subject

- Request - Amendment to Special Use Permit for a gas station, originally approved via ordinance 200-06, to add an additional gas pump
- Location - 3405 W. Central Avenue
- Applicant - Costco Wholesale Corporation
999 Lake Drive
Issaquah, WA 98027
- Consultant - Theodore R. Johnson
Suite 208
2311 W. 22nd Street
Oak Brook, IL 60523

Site Description

- Zoning - Regional Commercial with Sign Overlay / CR-SO
- Area - 13.3 acres
- Frontage - 200' along Central Avenue (approximate)
- Existing Use - Gas station
- Proposed Use - Gas station
- Required Parking - 17 spaces (1 per pump, at pump, and 1 for enclosure)
- Proposed Parking - 17 spaces (including 16 at pumps and 1 in adjacent parking area)

Area Description

- North - Central Avenue, Commercial / CR
- South - Single Family Residential / RS9
- West - Single Family Residential / RS9
- East - Secor Road, Commercial, Church / CR, RM36, RS6

Parcel History

- S-71-55 - Request for preliminary drawing review, approved by Plan Commission on 12/29/55, final plat approved on 1/31/56, recorded on 2/1/56.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- M-24-59 - Request to annex area from Washington Township, known as the Westgate annexation area, approved by Plan Commission on 3/11/60, City Council approved on 4/14/60, Ord. 247-60. Establishment of interim zoning for same area, approved by Plan Commission on 3/11/60, City Council approved on 4/14/60, Ord. 248-60.

- Z-95-60 - Request to establish permanent zoning for Westgate annexation area, approved by Plan Commission on 6/2/60, City Council approved on 6/13/60, Ord. 406-60.

- Z-95-60 - Request for minor change to approved C-4 site plan, originally approved by Ord. 406-60, disapproved by Plan Commission on 6/15/89, City Council approved on 8/1/89, Ord. 773-89.

- Z-95-60 - Request for minor change to approved C-4 site plan, originally approved by Ord. 406-60 and amended by Ord. 773-89, approved by Plan Commission on 5/9/96, City Council approved on 5/29/96, Ord, 382-96.

- D-5-96 - Request for drive-thru review for automated teller machine, approved by Plan Commission on 5/9/96.

- SPR-73-05 - Request for major site plan review, companion case. PC approved 2/9/06.

- S-36-05 - Request for preliminary drawing review, companion case. PC approved 2/2/06

- SUP-12002-05 - Special Use Permit for a gas station approved by Plan Commission on 2/9/06, Ordinance 200-06, 3/28/06.

Applicable Plans and Regulations

Toledo Municipal Code (TMC), Chapter Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

This is an amendment to an existing Special Use Permit to add an additional gas pump for the existing Costco fuel facility located north of the Costco retail building on Central Avenue. The fuel facility is part of the larger Costco development approved in 2006. Currently this facility has 3 islands with a total of 6 pumps (12 pumping stations). Costco is seeking to expand this to 4 islands with a total of 8 pumps (16 pumping stations). This addition will result in the elimination of 12 parking spaces currently dedicated for the Costco retail building. However a total of 656 spaces for the retail establishment remains available.

The most significant impact for this site is the western entrance on Central Avenue. Recently, Costco installed a “pork chop” traffic diverter to deter drivers from turning left onto west bound Central Avenue. This was to alleviate traffic congestion on the Costco site as vehicular traffic backed up onto the site and address safety concerns for the traveling public on Central Avenue. An additional concern has been the east bound traffic on Central Avenue that backs up on Central Avenue while vehicles are attempting to enter the gasoline fueling facility. To alleviate this congestion on the public right-of-way the Division of Transportation is requiring that a median be constructed for a minimum of 120’ from the right of way line on Central Avenue back into the Costco parking lot. This will require that vehicles utilize more of the drive aisle to access the fueling station.

An elevation has been submitted indicating compliance with TMC 1104.0903. A Gasoline and Fuel Sales – General Requirements. The expanded canopy meets setbacks and design standards. The canopy will be similar to the existing facility and will consist of metal fascia and brick pillars.

A landscape plan has been submitted as part of the Special Use Permit amendment. This expansion is interior to the site and will result in a 5’6” median separating the fuel facility from the parking lot. Additionally, the site is in compliance with regional commercial standards for frontage greenbelts.

The Toledo 20/20 Comprehensive Plan targets this site for regional and general commercial uses. Regional and General Commercial is predominantly large-scale commercial uses intended to accommodate auto-oriented development such as big box retail. The fueling station is considered an ancillary use to the retail development that serves the region and the neighborhood.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4005-14, an amendment to a Special Use Permit, originally granted via ordinance 200-06, to add an additional pump to an existing gas station located at 3405 W. Central Avenue to Toledo City Council, for the following two reasons:

STAFF RECOMMENDATION (cont'd)

1. The proposal complies with all applicable provisions of the zoning code. TMC 1111.0706 (B).
2. The proposal is compatible with adjacent uses in terms of scale, site design, and operating characteristics, TMC 1111.0706 (C).

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4005-14, an amendment to a Special Use Permit to, originally granted via ordinance 200-06, to add an additional pump to an existing gas station located at 3405 W. Central Avenue to Toledo City Council, subject to the following seventeen (17) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **existing substandard** sidewalk and drive approaches within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.
3. Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.
4. Plans submitted for review do not detail any revisions to the existing site that will require earth-disturbing activity of 2,500 or more square feet, nor are any changes shown to the existing storm sewer system. Therefore, it appears that there are no items requiring a major storm water plan review. If revisions are made to the site plan that will result in earth-disturbing activity of 2,500 or more square feet or cause changes to the existing storm sewer, they will be subject to the rules and regulations of the City of Toledo, Storm Water Utility, including stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities.

Division of Transportation

5. Field observations show that vehicles entering off the drive to the west of the pumps frequently back up onto W. Central Avenue because of vehicles stopping to make a left into the pumps and waiting for exiting vehicles to W. Central. To alleviate this situation a median shall be constructed a minimum of 120' from the right of way line.

STAFF RECOMMENDATION (cont'd)

Division of Building Inspection

6. Construction of a new or alterations to an existing canopied gas pumping island will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for review and approval showing the construction to be in compliance with the city of Toledo's building, mechanical, and fire codes and, referenced standards, those of the State of Ohio.

Plan Commission

7. If applicable, dumpster location(s) shall be noted on a revised plan and have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
8. All conditions from Ordinance 200-06 remain in effect.
9. The canopy and columns shall be designed to meet the criteria of TMC 1104.0903 Gasoline and Fuel Sales – General Requirements. **Acceptable as depicted on elevation.**
10. Free air (with the capability of filling standard automobile tires), water and restrooms shall be provided and maintained during operating hours of the station per TMC 1104.0903 (D)
11. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping areas.
12. Flat lens lighting shall be used for all outside lighting, including canopies.
13. Non-petroleum displays must be within twenty-five (25) feet of the building but not within twenty-five (25) feet of any right-of-way. The maximum height of such display shall not exceed five (5) feet.
14. A detailed site, lighting, sign, fencing and landscaping plan, for the modified landscape area only, shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; shall be noted on landscape plan;
 - b. Topsoil must be back filled to provide positive drainage of the landscape area; shall be noted on landscape plan;

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- c. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground cover; shall be noted on landscape plan;
 - d. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot (existing trees may be used for credits; shall be noted on landscape plan;
 - e. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot (existing trees may be used for credits; shall be noted on landscape plan;
 - f. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; shall be noted on landscape plan;
 - g. The location, height and materials for any fencing to be installed and maintained, shall be noted on landscape plan;
 - h. The location, lighting and size of any signs.
15. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
16. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
17. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

REF: SUP-4005-14. . .June 12, 2014

SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-4005-14
DATE: June 12, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: July 16, 2014
TIME: 4:00 P.M.

TCG/bp
Seven (7) sketches follow

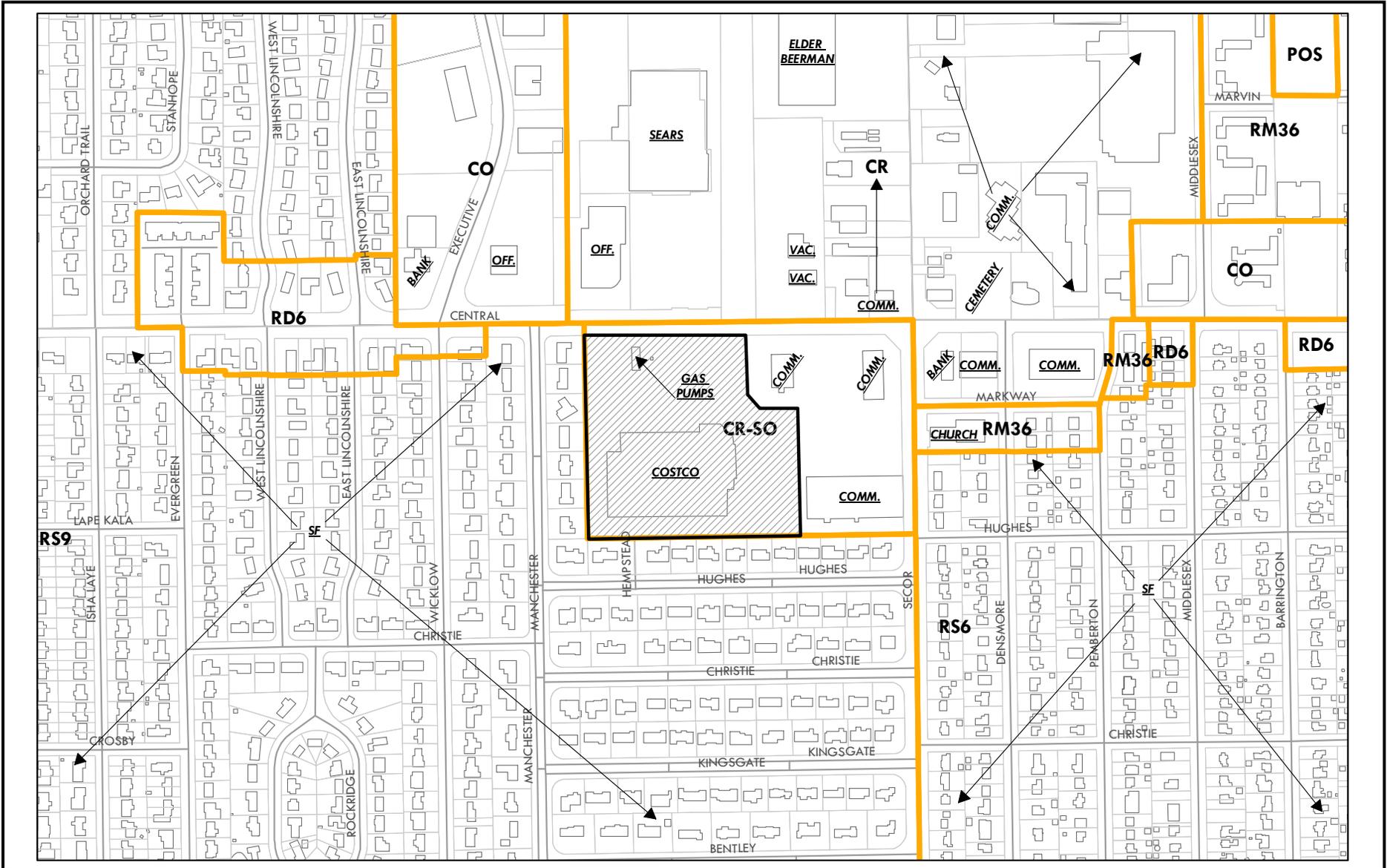
GENERAL LOCATION

SUP-4005-14
ID 79



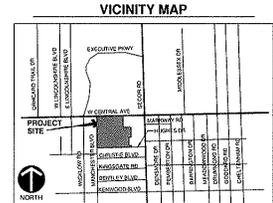
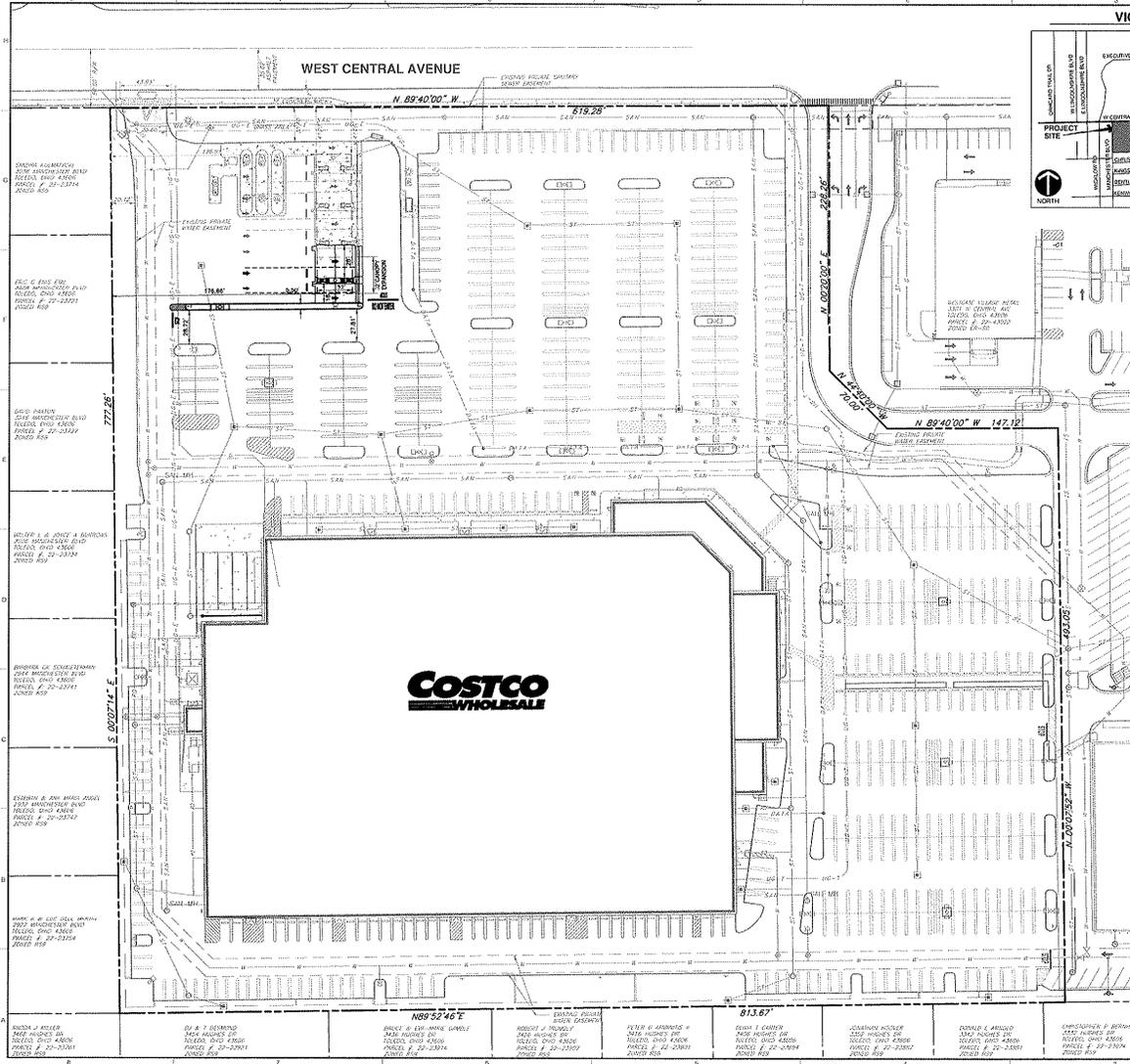
ZONING & LAND USE

SUP-4005-14
ID 79



SITE PLAN

SUP-4005-14
ID 79



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING WATERLINE
---	EXISTING SANITARY SEWER
---	EXISTING U/G ELECTRIC
---	EXISTING STORM SEWER
---	EXISTING GAS LINE
---	EXISTING U/G TELEPHONE LINE
---	EXISTING CONCRETE PAVEMENT
---	EXISTING STORM SEWER STRUCTURE
---	EXISTING UTILITY MANHOLE
---	EXISTING LIGHT POLE
---	EXISTING TRANSFORMER
---	EXISTING FIRE HYDRANT
---	EXISTING BOLLARD
---	PROPOSED LIGHT POLE
---	PROPOSED SIGN
---	PROPOSED CONCRETE PAVEMENT

LEGAL DESCRIPTION
PARCEL OF LAND ON PART OF THE NORTHEAST 1/4 OF SECTION 20, T9S, R1E, WASHINGTON TOWNSHIP, LUCAS COUNTY, OHIO BEING ALL OF LOT THREE (3) AND LOT FOUR (4) AND PART OF LOT ONE (1) AND LOT TWO (2) OF THE RECORDED PLAT OF WESTGATE VILLAGE, AS RECORDED IN VOLUME 51, PAGE 6 BOOK OF PLATS, LUCAS COUNTY RECORDER'S OFFICE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 20;
THENCE NORTH 89°47'00" WEST 640.00 FEET ALONG THE NORTH LINE OF SAID SECTION 20;
THENCE SOUTH 90°00'00" WEST 50.00 FEET TO A 1/2 INCH IRON ROD AT POINT ON THE NORTH LINE OF SAID LOT ONE (1) OF WESTGATE VILLAGE AND THE POINT OF BEGINNING;
THENCE CONTINUING SOUTH 90°29'00" WEST 228.25 FEET TO A 1/2 INCH IRON ROD;
THENCE SOUTH 44°40'00" EAST 70.00 FEET TO A 1/2 INCH IRON ROD;
THENCE SOUTH 88°40'00" EAST 147.12 FEET TO A 1/2 INCH IRON ROD;
THENCE SOUTH 00°00'00" EAST 493.45 FEET TO A 1/2 INCH IRON ROD AT POINT ON THE SOUTH LINE OF SAID LOT TWO (2) OF WESTGATE VILLAGE;
THENCE SOUTH 88°52'44" WEST 813.76 FEET ALONG THE SOUTH LINE OF LOT TWO (2) AND LOT THREE (3) OF SAID WESTGATE VILLAGE TO A 1/2 INCH STEEL PIPE AT THE SOUTHWEST CORNER OF SAID LOT THREE (3);
THENCE NORTH 00°00'14" WEST 777.26 FEET ALONG THE WEST LINE OF LOT THREE (3) AND LOT FOUR (4) OF SAID WESTGATE VILLAGE TO A 1/2 INCH IRON ROD AT THE NORTHWEST CORNER OF SAID LOT FOUR (4);
THENCE SOUTH 89°40'00" EAST 618.28 FEET ALONG THE NORTH LINE OF LOT FOUR (4) AND LOT ONE (1) OF SAID WESTGATE VILLAGE TO THE POINT OF BEGINNING, CONTAINING 13.14 ACRES.

PROJECT DATA

SITE AREA: 13.34 ACRES
JURISDICTION: CITY OF TOLEDO, OH

EXISTING BUILDING DATA:

MAIN WAREHOUSE	145,704 S.F.
TREE CENTER	2,500 S.F.
FOOD SERVICE	1,201 S.F.
SHOP/DELIVERY ROOM #2	1,200 S.F.
TOTAL BUILDING	153,605 S.F.
FUEL CANOPY	2,816 S.F.
CONTROLLER ENCLOSURE	78 S.F.

PROPOSED BUILDING DATA:

FUEL CANOPY	2,816 S.F.
FUEL CANOPY EXP ANCHOR	1,000 S.F.
TOTAL FUEL CANOPY	3,816 S.F.

COSTCO PARKING DATA:

EXISTING PARKING PROVIDED:	
10' WIDE STALLS	566 STALLS
9' WIDE STALLS	85 STALLS
ACCESSIBLE STALLS	18 STALLS
TOTAL EXISTING PARKINGS	669 STALLS
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA:	4.35 STALLS

PROPOSED PARKING:

10' WIDE STALLS	356 STALLS
9' WIDE STALLS	85 STALLS
ACCESSIBLE STALLS	18 STALLS
TOTAL PARKING	657 STALLS
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA:	4.27 STALLS
TOTAL PARKING REMOVED	12 STALLS

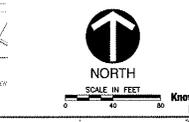
SITE ADDRESS
3403 WEST CENTRAL AVENUE
TOLEDO, OHIO 43606

ZONING
CR500, REGIONAL - SHOPPING CENTER,
SIGN OVERLAY

OWNER:
COSTCO WHOLESALE CORPORATION
999 LAKE DRIVE
ISSAQUAH, WASHINGTON 98027
(425) 313-9100

ARCHITECT:
MULVANNY G2 ARCHITECTURE
1150-112TH AVENUE, NE #300
BELLEVUE, WASHINGTON 98008
CONTACT: REBA TUCKER
(425) 482-2000
(425) 482-2002 (FAX)

ENGINEER:
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
880 WOODLAND BLVD
CINCINNATI, OHIO 45190
CONTACT: MICHAEL KADY, P.E.
(513) 965-0025
(513) 965-0028 (FAX)



REVISION RECORD

NO.	DATE	DESCRIPTION

LEE
Civil & Environmental Consultants, Inc.
5899 Kemble Blvd. - Cincinnati, OH 45190
(513) 965-0025
www.leece.com

COSTCO WHOLESALE
Toledo, Ohio

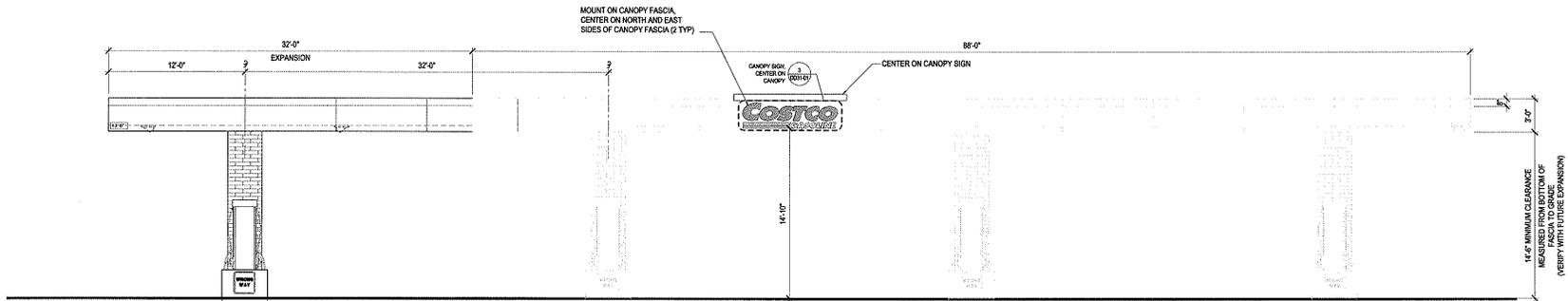
AMENDMENT TO SPECIAL USE PERMIT
DATE: APRIL 23, 2024 (DRAWN BY: [blank])
PROJECT NO: SUP-4005-14 (CHECKED BY: [blank])
SCALE: AS SHOWN (PROJECTED)

C1

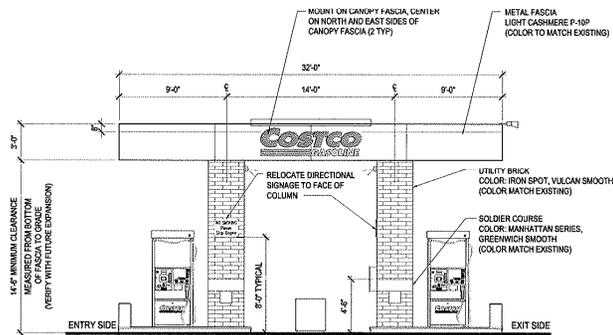
3 - 10

ELEVATION

SUP-4005-14
ID 79



1 EAST CANOPY & DISPENSER ISLAND ELEVATION (WEST SIMILAR, NO SIGN)
SCALE: 1/4" = 1'-0"



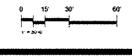
2 SOUTH CANOPY & DISPENSER ISLAND ELEVATION, NO SIGN (NORTH SIMILAR, WITH SIGN)
SCALE: 1/4" = 1'-0"

FUEL STATION SIGNAGE AREA				
QTY.	SIGN	SIZE	AREA	TOTAL AREA
2	COSTCO GASOLINE	8'-5 3/8" x 2'-4"	20 S.F.	40 S.F.
	TOTAL SIGNAGE AREA			40 S.F.



3 CANOPY SIGN
SCALE: 1/2" = 1'-0"

AMENDMENT TO
SPECIAL USE PERMIT



COSTCO
WHOLESALE

TOLEDO, OH
#1007
3405 WEST CENTRAL AVE.
TOLEDO, OH 43606

MULVANNY GROUP

1110 112TH AVE. NE | SUITE 600
BELLEVUE, WA | 98004
1 425 483 2000 | 1 425 483 2002

MulvannyG2.com

05-0030-05
APRIL 24, 2014
CONCEPT
ELEVATIONS

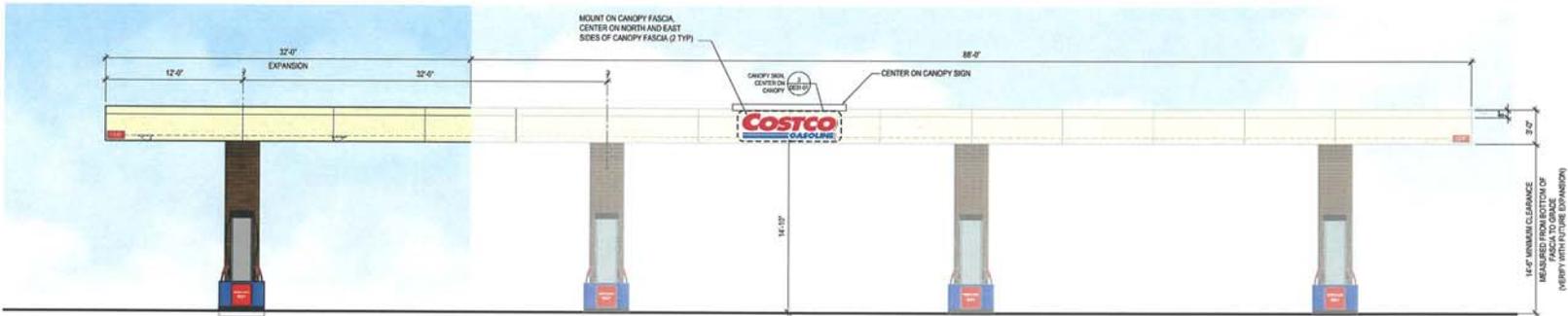
DD31-01

COSTCO WHOLESALE
TOLEDO, OHIO

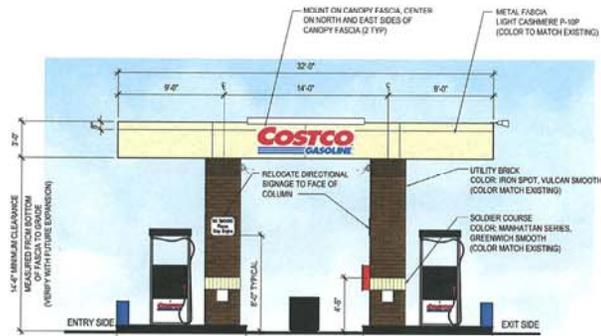
CONCEPT ELEVATIONS
APRIL 24, 2014

ELEVATION

SUP-4005-14
ID 79



1 EAST CANOPY & DISPENSER ISLAND ELEVATION (WEST SIMILAR, NO SIGN)
SCALE: 1/4" = 1'-0"



2 SOUTH CANOPY & DISPENSER ISLAND ELEVATION, NO SIGN (NORTH SIMILAR, WITH SIGN)
SCALE: 1/4" = 1'-0"

FUEL STATION SIGNAGE AREA			
QTY.	SIGN	SIZE	AREA
2	COSTCO GASOLINE	8'-5 3/8" x 2'-4"	20 S.F.
	TOTAL SIGNAGE AREA		40 S.F.



3 CANOPY SIGN
SCALE: 1/2" = 1'-0"

AMENDMENT TO
SPECIAL USE PERMIT



COSTCO
WHOLESALE
TOLEDO, OH
#1007
3405 WEST CENTRAL AVE.
TOLEDO, OH 43606

MULVANNY G2
1110 117TH AVE, NE | SUITE 000
BELLEVUE, WA | 98004
425.483.2000 | 425.483.2000
MulvannyG2.com

05-0030-05
APRIL 24, 2014
CONCEPT
ELEVATIONS

DD31-01

COSTCO WHOLESALE
TOLEDO, OHIO

CONCEPT ELEVATIONS
APRIL 24, 2014

GENERAL INFORMATION

Subject

- Request - Major Site Plan Review for new Ronald McDonald House
- Location - 3883 Monroe Street (2142 N. Cove Boulevard)
- Applicant - Chad Bringman
Home Away from Home Inc.
3883 Monroe Street
Toledo, OH 43606
- Architect - Mike Duket
Duket Architects Planners
830 N. Summit Street
Toledo, Ohio 43604

Site Description

- Zoning - IC Institutional Campus District
- Area - 2.46 ± acres
- Frontage - 610' on Monroe Street
- Existing Use - Helipad
- Proposed Use - Ronald McDonald House
- Proposed Parking - 75 spaces
- Required parking - 75 spaces

Area Description

- North - Central Avenue & Vacant land / CR
- South - Promedica Office Complex / IC
- East - Promedica Parkway & Mixed Residential / RD6 & RM36
- West - Midwood Avenue & Single Family Residential / CR, CO & RS6

Parcel History

- Z-48-41 - Request for zone change from "A" district to "B" district, approved by Plan Commission on 3/13/41.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- P-5-59 - Request for off-street parking review for Toledo Hospital parking lot, approved by Plan Commission 6/4/59
- P-8-62 - Request for off-street parking review for Toledo Hospital parking lot, approved by Plan Commission 8/9/62
- Z-126-66 - Request for special use permit for addition to Toledo Hospital, approved by Plan Commission 5/26/66
- Z-314-70 - Request for amendment to special use permit for building expansion and parking lot, approved by Plan Commission 12/3/70, City Council Ord. 1149-70 on 12/14/70
- Z-148-72 - Request for amendment to special use permit, approved by Plan Commission 8/3/72
- Z-192-74 - Request for amendment to special use permit to add additional lots to the hospital property, approved by Plan Commission 8/15/74, City Council Ord. 728-74 on 8-27-74
- Z-308-75 - Request for amendment to special use permit to allow for re-designation of hospital traffic circulation approved by Plan Commission 6/30/77, City Council Ord. 511-77 on 12/21/77
- T-150-76 - Request for deed transfer, approved administratively on 6/30/76
- SUP-6-78 - Request for amendment to special use permit to add additional property for parking lots, approved by Plan Commission 5/4/78, City Council Ord. 368-78 on 7/26/78
- V-77-78 - Request for the vacation of a portion of Christie Street east of Midwood Avenue, approved by Plan Commission 6/15/78, City Council Ord. 534-78 on 7/2/78

GENERAL INFORMATION (cont'd)

Parcel History

- SUP-216-81 - Request for amendment to special use permit for review and approval of Toledo Hospital Master Plan, approved by Plan Commission 11/5/81, City Council Ord. 730-81 on 3/3/82
- SUP-162-84 - Request for amendment to special use permit, approved by Plan Commission 11/1/84, City Council Ord. 829-84 on 11/7/84
- SUP-136-86 - Request for amendment to special use permit, approved by Plan Commission 7/10/86, City Council Ord. 617-86 on 7/23/86
- Z-40-86 - Request for comprehensive zone change in the Colony Neighborhood, approved by Plan Commission 3/20/86, City Council Ord. 280-86 and 399-86
- Z-12007-93 - Request for zone change from R-3 to C-3, for 3 small parcels, approved by Plan Commission 1/6/94, City Council Ord. 53-94 on 6/22/94
- Z-8001-00 - Approved by PC on 12/7/00. City Council approved ordinance 84-01 on 1/23/01
- Z-3003-05 - Zone change from RM36, RS6, CO, RD6 to IC and Master Plan for Toledo Hospital. Plan Commission approved 4/14/05. Ord. 393-05, 5/31/05
- Z-4001-14 - Amendment to IC Master Plan to add a helipad and relocate the Ronald McDonald House. Plan Commission approved 5/8/14.

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning Code
Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is proposing to construct a new 44,024 s.f. Ronald McDonald House with 28 guest rooms on the opposite corner of Promedica Parkway to the west of the existing Ronald McDonald House. This case is companion to the Institutional Master Plan amendment that was approved at the May 8th Plan Commission meeting. The site currently contains the back-up helipad for Promedica. The helipad will be relocated to a property north of this site near I-475.

Primary vehicular access to the site will be via Hughes Drive. This entry will be gated and the lot will provide 75 parking spaces. The main entrance to the building will be located in the center of the south building elevation. A secondary gated vehicular access is proposed via a new entrance from Monroe Street for service vehicles. An entrance/exit door for the administrative area and community meeting room is located at the east end for the building. This will provide an additional prominent entrance access at the corner of Promedica and Monroe Street. Partial security fencing will be provided around the site; however none will be located along Monroe Street. Pedestrian gates will be provided for access to Hughes and Monroe Street.

The new house has been sited along Monroe Street to conform as closely as possible to the Design Standards for the Monroe Street Corridor Urban Overlay District. The main entrance is oriented facing Promedica to provide convenient access for vehicle and direct pedestrian access along Promedica Parkway to the Children's Hospital. With the exception of the one story portion of the building, service areas within the first floor are generally located on the Monroe Street side of the building. For this reason large areas of glass along the street level are somewhat impractical. Where possible the façade has been enhanced to provide interest and pedestrian scale along the street with landscaping, cable trellising, and brick detailing. The building service area is located to the west end of the building and is screened with an eight foot high brick masonry wall and landscape buffering.

While staff agrees with the need to reorient the main entrance towards the campus, there should be some architectural element that gives the appearance of a main entrance onto Monroe Street even though the main entrance may not function as an entrance. Primarily this would be located in the middle of the facility where the glass storefront is proposed. A revised elevation shall be submitted showing a primary entrance onto Monroe Street.

The building is setback further than the required 10' maximum setback because of a sewer easement located midway along the north façade. This also helps in regards to site visibility for traffic and pedestrians. The applicant has applied to the Board of Zoning Appeals to have this setback waived. Staff does not object to this request given the issue with the sewer easement.

STAFF ANALYSIS (cont'd)

The applicant's design goal is to create a "warm-hearted" building façade and interior, which will have a welcoming residential feel for Ronald McDonald House guests for families with children who have been hospitalized. The intent is to provide an active façade with colorful element representative of the Ronald McDonald House brand, as a playful design is utilized in many of its newer homes throughout the country. The exterior of the building is scaled to represent its use; upper level residential units and lower level common area and administrative support are each represented separately. The façade is compromised of a combination for elements including prefinished metal panels, brick, and cast stone products. Pitched roof area will be covered with asphalt shingles for the lower roof area and sloped perforated metal screening atop the three story roof.

Staff appreciates the effort of the design goal, however metal panels do not meet the requirements of the Monroe Street Corridor Urban Overlay District. The metal panels will need to be replaced with required elements as required by TMC 1103.0906 (D) *Design Criteria Used to Evaluate Site Plans and Projects*. Staff has met with architect and acceptable alternative material will be replacing the metal panels along Monroe Street. Staff is willing to concede on the metal panels on the south elevation facing the Promedica campus as long as the colors of the metal panels are low-reflectance, subtle, neutral or earth tone colors per TMC 1109.0502 *Façade Colors*. The building mass is divided into smaller components via the variation in height and banding.

The Toledo 20/20 Comprehensive Plan targets this site for Institutional Campus District. This land use accommodates large institutional uses in campus-like settings, such as hospitals, schools and colleges. The Institutional Campus District is intended to promote and enhance the development and expansion of medical, educational and other large institutional uses. The proposed Ronald McDonald house is permitted within this land use category.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve S-21-14, Major Site Plan Review for new Ronald McDonald House located at 3883 Monroe Street (2142 N. Cove Boulevard), for the following four (4) reasons:

1. The plan complies with all standards of the Toledo Municipal Code, this Zoning Code and other adopted City policies (TMC 1111.0809 A);
2. The proposed use is allowed in the district in which it is located (TMC 1111.0809 B);
3. Vehicular ingress and egress to and from the site and circulation within the site provides safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well (TMC 1111.0809 C); and
4. The plan provides safe, efficient and convenient movement of pedestrians on the subject site (TMC 1111.0809 D).

STAFF RECOMMENDATION (cont'd)

The staff further recommends that the Toledo City Plan Commission approve S-21-14, Major Site Plan Review for new Ronald McDonald House located at 3883 Monroe Street to Toledo City Council, subject to the following fifty (50) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **existing standard** sidewalk and drive approaches within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All **proposed** sidewalk and drive approaches within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.
5. Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.
6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. Existing water services that are not to be reused shall be abandoned by the City of Toledo at the developer's expense.
8. Plans for water services 4-inch diameter and larger shall be submitted to the Division of Engineering Services for review and approval.
9. Maintain 10 feet of horizontal clearance between proposed water service and sanitary or storm sewers. Maintain 4 feet of horizontal clearance between proposed water service and any other underground utility. Maintain 18 inches of vertical clearance between proposed water service and any underground utility.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

10. Contact the Division of Water Distribution for installation requirements for backflow preventers.
11. New fire, domestic, and irrigation taps will be installed by City of Toledo at the owner's/developer's expense.
12. Plans for the water service shall be submitted to and approved by the Ohio EPA prior to starting construction of the water service.
13. If existing public water facilities are in conflict and must be relocated, they will be relocated by the City of Toledo at the owner's cost.
14. Proposed hydrants shall be located a minimum of 10 feet away from storm and sanitary sewers or, per the Ohio EPA, drain holes on hydrants shall be plugged. Maintenance of the privately-owned waterline, valves, and hydrants will be the responsibility of the owner, including pumping of hydrants having plugged drain holes.
15. Storm drainage service for this site is available subject to: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
16. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
17. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo requirements for the sanitary, storm, water and roadway utilities. This understanding will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews, and speed-up the plan approval process.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Sanitary Sewers: Mike Elling, ph. 419-936-2276

Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221

Water: Andrea Kroma, ph. 419-936-2163

Roadway: Tim Grosjean, ph. 419-245-1344

18. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
19. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions such as grassy swales, and bio-retention areas in lieu of curb, storm sewers and underground detention are encouraged. Designs incorporating green infrastructure such as wet ponds, extended detention, bio-retention, or grassy swales, etc. may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
20. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
21. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
22. No construction work, including grading will be permitted without approved plans and inspection.
23. The outlet for the proposed detention pond is shown to flow to an existing private catch basin which is then shown to flow towards Promedica parkway. The City of Toledo does not have a record of an outlet from this catch basin. The location of this outlet shall be investigated and shown on the plans where the private line ties into the City of Toledo Storm system.
24. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

25. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
26. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developer's cost.
27. Any existing sewers under proposed buildings shall be relocated or abandoned. Developer shall verify any sewers to be abandoned are no longer in service.
28. Any previous kills that were not done at the right-of-way line shall be re-killed at the right-of-way to eliminate any active pipes on the property.

Division of Transportation

29. The site plan shall include parking lot dimensions including parking stall, drive aisle, and drive approach dimensions.

Division of Sewer and Drainage

30. If Engineering Services requires a metered pipe connection to the City storm, a manhole should be installed with a four (4') foot deep sump and a ninety (90) degree bend on the metered outlet, this manhole should be on private property and privately maintained.
31. Before connecting a new service line into an existing lateral, the lateral should be televised and any deficiencies corrected before the new sanitary service line is tied into it.

Fire Prevention

32. Where a new facility is constructed and is more than 350' from a hydrant on a fire apparatus access road, as measured by an approved route, on site hydrants and mains shall be provided.
33. Where provided on site hydrants subject to vehicular damage shall be protected by approved means. (OFC 507.5.6)
34. New and existing buildings shall have approved address numbers. (OFC 505.1)
35. A fire department key box may be required. (OFC.506.1)

STAFF RECOMMENDATION (cont'd)

Building Inspection

36. Construction of new buildings will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for review and approval showing the construction to be in compliance with the City of Toledo's building, mechanical and fire codes and by referenced standards, those of the State of Ohio. Plans must identify the correct building type, use group, occupancy load, plumbing fixture count, egress and emergency egress locations, emergency evacuation routes and other life-safety and ADA compliancy facilities, in accordance with the Administrative Code of the Ohio Building code Chapter 106.
37. New fencing and new signs will require separate plan reviews and permits.

Plan Commission

38. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscape areas.
39. The building materials shall meet the requirements of TMC 1109.0500 Building Façade Materials and Color. Elevations shall be submitted to meet the approval of the Plan Director. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors.
40. The metal panels along Monroe Street shall be replaced with required elements as required by TMC 1103.0906 (D) *Design Criteria Used to Evaluate Site Plans and Projects*.
41. An architectural element that gives the appearance of a main entrance onto Monroe Street shall be provided. Preferably this would be located in the middle of the facility where the glass storefront is proposed. A revised elevation shall be submitted showing a primary entrance onto Monroe Street.
42. Dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
43. Where deemed necessary by the Planning Director, any of the following may be required to ensure effective buffering and screening: a masonry wall or fence with a minimum height of 6 feet, with no openings. **acceptable as depicted on site plan;**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

44. Board of Zoning Appeals Waiver is required for the proposed front yard setback (waiver is in process).
45. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place, or driveway. Perimeter landscaping will consist of one of the following, located between the parking lot and the property line: **acceptable as depicted on site plan**;
 - a. landscaped area at least 5 feet wide, exclusive of easements, sidewalks, or rights-of-way, planted with at least one shrub for every 3 to 5 feet of property line, as determined by growth characteristics;
 - b. 3½ feet high metal tube or solid bar fence, with at least one shrub for every 3 feet of property line planted on the outside of the fence; or
 - c. solid 3½ foot high brick or stone wall.
 - d. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground cover; **acceptable as depicted with landscape materials**;
46. Any part of a lot area not used for buildings, other structures, or for roads, walks, parking, service areas or accessways must be landscaped with a combination of groundcover, trees and shrubs. Grass may be used in conjunction with other plant material.
47. Landscape improvements must be provided in the sidewalk or other paved area in front of a building with tree grates, or other walkable surface material treatment for open tree pits, in the form of one shrub or understory tree for every 30 feet of lot frontage. The minimum tree pit size will be 4 feet by 4 feet unless otherwise approved by the Planning Director.
48. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
49. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

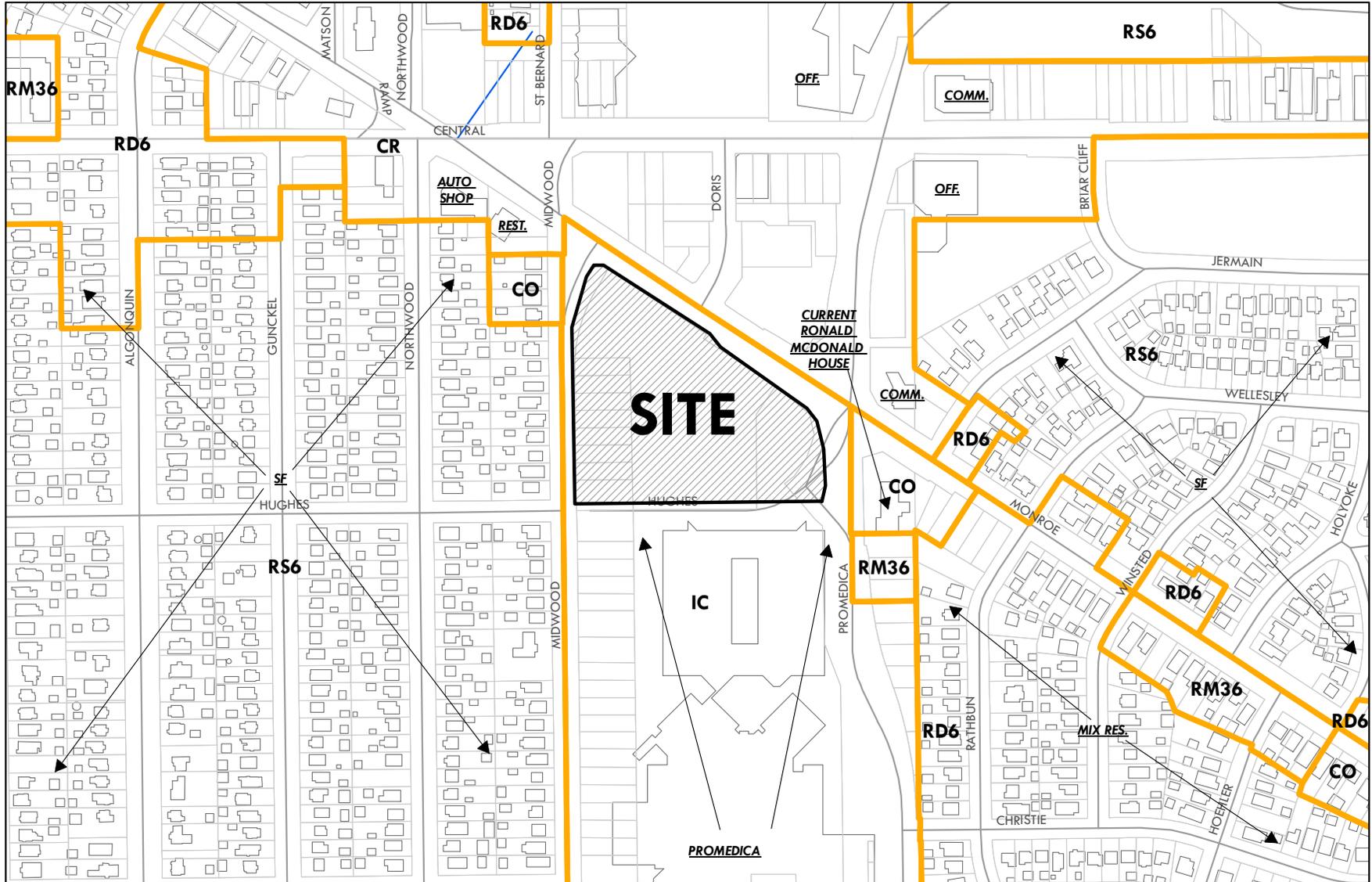
50. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one year. Landscaping shall be installed and maintained indefinitely.

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-21-14
DATE: June 12, 2014
TIME: 2:00 P.M.

TG/bp
Seven (7) sketches follow

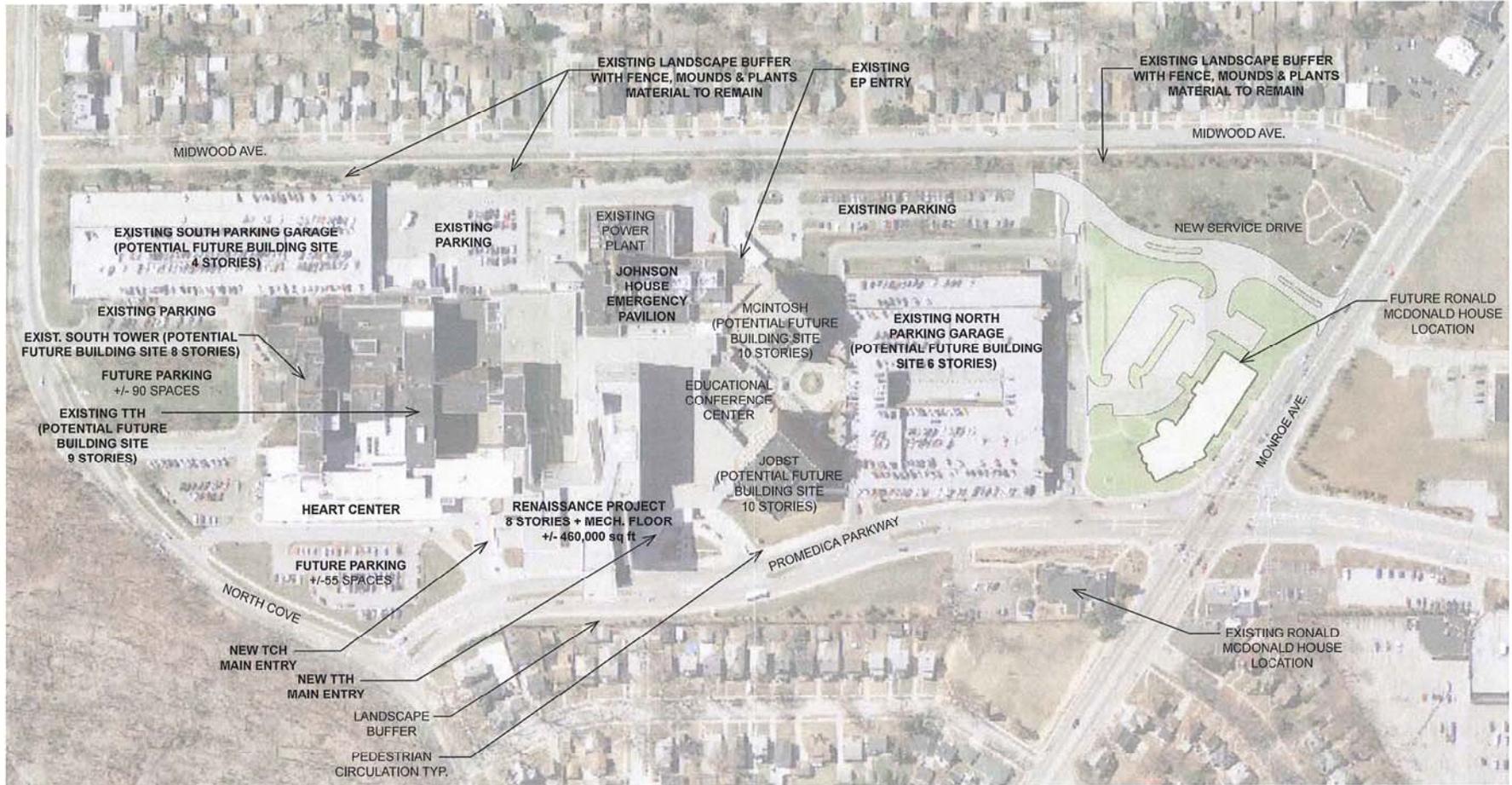
ZONING & LAND USE

SPR-21-14
ID 41



SITE MASTERPLAN

SPR-21-14
ID 41



PROPOSED MASTERPLAN



4 - 16

SOUTH WEST PERSPECTIVE ELEVATION

SPR-21-14
ID 41



Ronald McDonald House Charities of Northwest Ohio
Planning Submittal

Southwest Perspective

SOUTH EAST PERSPECTIVE ELEVATION

SPR-21-14
ID 41



Ronald McDonald House Charities of Northwest Ohio
Planning Submittal
04.29.14

Southeast Perspective

VIEW FROM MONROE STREET ELEVATION

SPR-21-14
ID 41



Ronald McDonald House Charities of Northwest Ohio
Planning Submittal
04.29.14

View from Monroe Street

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GENERAL INFORMATION

Subject

- Request - Special Use Permit to expand an existing school
- Location - 1878 Genesee Street & 2014 Consaul Street
- Applicant - Eagle Academy and the Leona Group
2740 W Central Ave
Toledo, OH 43606
- Owner - Roman Catholic Diocese of Toledo
St. Stephen Parish
1880 Genesee Street
Toledo, Ohio 43605
- Architect - Paul Sullivan Jr., AIA
23 S St. Clair Street
Toledo, OH 43604

Site Description

- Zoning - RS6 Single-Dwelling Residential & CR Regional Commercial
- Area - ± 1.73 acres
- Frontage - ± 311.5 feet on Consaul Street
± 302.5 feet on Genesee Street
+ 317.5 feet on Magyar Street
- Existing Use - K-5 Grade School

Area Description

- North - Mixture of Single-family & Commercial Uses/ RD6, CR & CN
- East - Single-family and Multi-family Residential / RD6, RM36 & CR
- South - Single-family Residential / RD6
- West - Single-family Residential & Commercial Uses / RD6 & CR

GENERAL INFORMATION (cont'd)

Parcel History

V-191-37 - Vacation of a portion of alley (Approved 11/29/37)

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit for the expansion of an existing school. The existing school (Eagle Academy) is located on the St. Stephen Parish Catholic Church site. The 1.73-acre property fronts onto Consaul Street and is bounded by Genesee and Magyar Streets. The school is currently operating as a 293 student Kindergarten through 5th grade school. No change to the student population or grades served is proposed. Schools are permitted uses in all residential and commercial districts, subject to special use approval.

The existing building (Convent Building) will be retrofitted for the school and no exterior façade changes are anticipated. The building will serve as a library and an area to conduct special services, such as speech therapy and tutoring. In the future this area may serve as a preschool classroom or additional area for office personnel.

The site plan as submitted indicates that 37 total parking spaces are currently available in the existing parking lot across Genesee Street. An elementary/middle school of 293 students and 35 faculty and staff members has a parking requirement of 35 spaces. No changes to the parking lot are anticipated at this time. In addition, bicycle parking is currently provided between the church and the existing school building.

The site is existing and per TMC§1114.0500 Appearance Upgrade for Nonconforming Development, the applicant is only required to bring the landscaping closer into compliance with the 2004 zoning code. However, the site is urban in nature and is currently landscaped with mature landscaping along the Genesee Street frontage and around the building entrances. Based on the existing landscaping and the urban nature of the site, no additional landscaping is required.

Surrounding land uses include a mixture of single-family residences and commercial uses to the North, single and multi-family uses to the East, single-family uses to the South and single-family uses and commercial uses to the West.

STAFF ANALYSIS (cont'd)

The Toledo 20/20 Comprehensive Plan targets this area for neighborhood commercial and single-family residential land uses. Schools are permitted in both commercial and residential districts. Based on the current and future land use designations, the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 *Review and Decision-making Criteria*.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4006-14, a Special Use Permit to expand an existing school located at 1878 Genesee Street & 2014 Consaul Street, to Toledo City Council for the following two (2) reasons:

1. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan;
2. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4006-14, a Special Use Permit to expand an existing school located at 1878 Genesee Street & 2014 Consaul Street, to the Toledo City Council, subject to the following fifteen (15) conditions:

Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.

3. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
4. Plans for new water service or modifications to existing water service shall be submitted to the Division of Engineering Services for review and approval.
5. Contact the Division of Water Distribution for installation requirements for backflow preventers.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

6. Plans submitted for review do not detail any revisions to the existing site that will require earth-disturbing activity of 2,500 or more square feet, nor are any changes shown to the existing storm sewer system. Therefore, it appears that there are no items requiring a major storm water plan review. If revisions are made to the site plan that will result in earth-disturbing activity of 2,500 or more square feet or cause changes to the existing storm sewer, they will be subject to the rules and regulations of the City of Toledo Storm Water Utility, including stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities.

Sewer & Drainage Services

No Comments or objections.

Fire Prevention

No Comments or objections.

Building Inspection

7. Demolition of the existing building(s) will require a demolition permit issued from the City of Toledo through its Division of Building Inspection requiring termination of all utilities. Documentation from Columbia Gas and Toledo Edison/Energy One must be provided to Building Inspection that this has occurred. If the existing water and sewer taps are to be re-used, the applicant/contractor must identify this to the Department of Public Utilities and secure their release from the demolition permit to processed and issued. Otherwise, water and sewer service must be terminated as well.
8. Construction of the new structure, addition, or alterations to any existing building will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for review and approval. Construction documents must show that the new structure and/or interior alterations will be in compliance with the City of Toledo's building, mechanical and fire codes and, by referenced standards, those of the State of Ohio. Construction must also comply with the federal ADA regulations.
9. Any signs on the property will require a separate plan review and permit(s) in accordance with the City of Toledo's sign codes (Toledo Municipal Code §1113 and §1377 - §1397).

STAFF RECOMMENDATION (cont'd)

Building Inspection (cont'd)

10. Any fence screening will require a Certificate of Zoning Compliance, issued by the Division of Building Inspection.

Division of Transportation

11. The dimensions of the parking lot shall be provided, including drive aisles, stall dimensions (including angle) and drive approaches.
12. The proposed pick-up / drop-off vehicle pattern shall be noted for review and approval by the Division of Transportation.

Plan Commission

13. A dumpster location(s) shall have a concrete pad surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
14. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
15. No permits shall be issued until arrangements satisfactory to the Director of the Toledo City Plan Commission have been made for compliance with the conditions as set forth above.

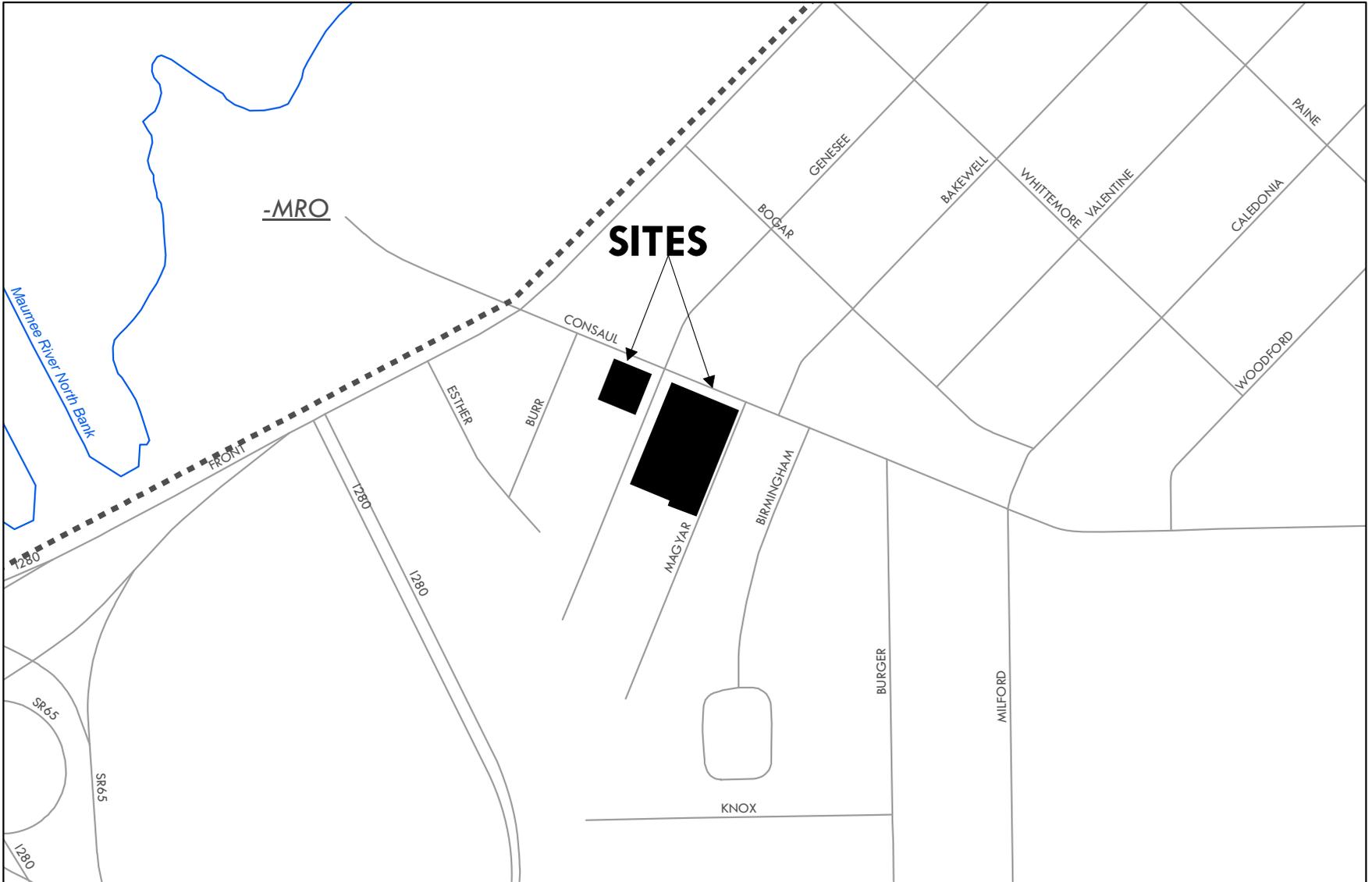
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-4006-14
DATE: June 12, 2014
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: July 16, 2014
TIME: 4:00 p.m.

WH/bp
Three (3) sketches to follow

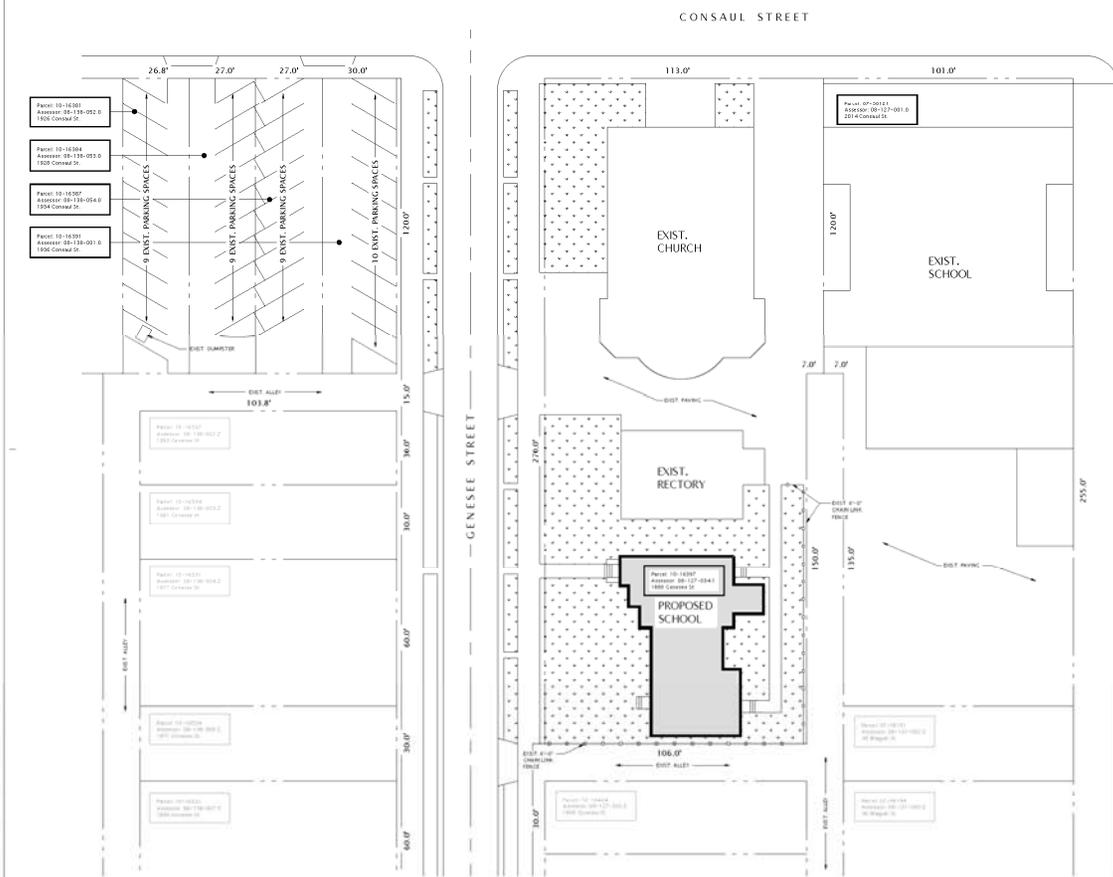
GENERAL LOCATION

SUP-4006-14
ID 25



SITE PLAN

SUP-4006-14
ID 25



- Parcel 10-16280
Assessor: 08-138-052.0
1993 Corner St.
- Parcel 10-16284
Assessor: 08-138-053.0
1993 Corner St.
- Parcel 10-16287
Assessor: 08-138-054.0
1994 Corner St.
- Parcel 10-16291
Assessor: 08-138-051.0
1996 Corner St.

- Parcel 10-16287
Assessor: 08-138-052.0
1993 Corner St.
- Parcel 10-16284
Assessor: 08-138-053.0
1993 Corner St.
- Parcel 10-16281
Assessor: 08-138-054.0
1997 Corner St.
- Parcel 10-16279
Assessor: 08-138-055.0
1997 Corner St.
- Parcel 10-16282
Assessor: 08-138-057.0
1998 Corner St.

SITE PLAN
SCALE 1" = 20'-0"

LEGAL DESCRIPTIONS

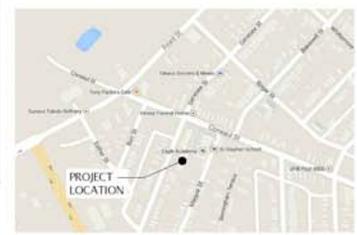
Parcel 10-16287
Assessor: 08-138-052.0
Address: 1993 Corner St., Toledo, Ohio 43605
Class/Use: C 119
Zoning: M-44
Legal Desc: M-44 Section 5 to 13.6 14 DIC OR 1ST & 10 Alley VAC 43

Parcel 10-16280
Assessor: 08-138-051.0
Address: 1993 Corner St., Toledo, Ohio 43605
Class/Use: C 119
Zoning: M-44
Legal Desc: M-44 Section 1 1P 4000-0

Parcel 10-16284
Assessor: 08-138-053.0
Address: 1993 Corner St., Toledo, Ohio 43605
Class/Use: C 119
Zoning: M-44
Legal Desc: M-44 Section 2 1P 4000-0

Parcel 10-16281
Assessor: 08-138-054.0
Address: 1994 Corner St., Toledo, Ohio 43605
Class/Use: C 119
Zoning: M-44
Legal Desc: M-44 Section 3 1P 4000-10

Parcel 10-16279
Assessor: 08-138-055.0
Address: 1994 Corner St., Toledo, Ohio 43605
Class/Use: C 119
Zoning: M-44
Legal Desc: M-44 Section 4 1P 4000-11



PAUL R. SULLIVAN JR., A.I.A., LLC
ARCHITECTURE, PRESERVATION, & PLANNING
23 SOUTH SAINT CLAIR STREET
TOLEDO, OHIO 43604 | psullivan@pbw.net

SITE PLAN FOR SPECIAL USE PERMIT SUBMITTAL

EAGLE ACADEMY – SPECIAL USE PERMIT
1880 GENESEE STREET
TOLEDO, OHIO 43604

PROJECT NO: 1405-PS
REVISION: 05.06.14

SHEET NO: 05.06.14
FILE NAME: 1404-PS_project.dwg

A0.1

*NOTE: CONTRACTOR TO SECURE AND VERIFY ALL MEASUREMENTS AND CONDITIONS AT JOB BEFORE PROCEEDING WITH THE WORK.

8 - 5

GENERAL INFORMATION

Subject

- Request - Amendment to Special Use Permit to raze and rebuild an existing convenience store, originally granted by Ord. 496-13, with landscape waivers.
- Location - 2441 S. Reynolds Road
- Applicant - NZR Realty
4820 Monroe Street
Toledo, Ohio 43623
- Engineer - Glass City Engineering & Surveying, LLC
Bryan D. Ellis
7057 Barendt Road
Toledo, OH 43617
- Architect - Rossi & Associates, LLC
Scott Rossi
970 S Byrne Road
Toledo, OH 43609

Site Description

- Zoning - CR Regional Commercial District
- Area - ± 0.548 acres
- Frontage - ± 150' on Reynolds Road
± 160' on Heatherdowns Blvd
- Existing Use - Gas Station with 576 sq. ft. Convenience Store
- Proposed use - Gas Station with 3,400 sq. ft. Convenience Store
- Required Parking - 20 spaces (includes spaces at dispensers)
- Proposed Parking - 21 spaces (includes spaces at dispensers)

Area Description

- North - Restaurant / CR
- East - Commercial Strip Center / CR
- South - Commercial Strip Center / CR
- West - Restaurant / CR

GENERAL INFORMATION (cont'd)

Parcel History

- Z-322-75 - Special Use Permit Request to raze and rebuild an existing gas station. (PC approved 1/9/76, Ord. 58-76, 1/27/76)
- Z-115-76 - Special Use Permit to construct an illuminated canopy fascia & a two-pole sign (PC approved 8/10/78, Ord.612-78 approved 8/29/78)
- SUP-103-87 - Special Use Permit to construct a new kiosk, pumps and fuel islands (PC approved 7/26/90, Ord. 896-90 approved 9/4/90)
- SUP-103-87 - Minor change to Special Use Permit to allow neon accent strip on canopy (PC approved 3/21/91, Ord. 317-91 approved 4/23/91)
- SUP-8004-13 - Special Use Permit request to raze and rebuild and existing gas station. (PC approved 9/12/13, Ord. 496-13, 10/29/13)

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting an amendment to a special use permit with landscape waivers to raze and rebuild a convenience store on the site located at 2441 S. Reynolds Road. The .548-acre site is zoned CR Regional Commercial and is developed with a 672 square foot convenience store, 235 square foot bathroom building and 9 fuel dispensers with canopy (5 fuel islands).

The applicant intends to demolish the convenience store and bathroom building and build a new 3,400 square foot building that will house the convenience store and one (1) retail unit for a future tenant. Staff has requested revised elevations and floor plans that outline the future tenant space and use. This will allow an accurate calculation of the required parking ensuring that code compliant parking is being provided. The applicant is proposing to remove the northern most pump and replace the canopy.

STAFF ANALYSIS (cont'd)

Parking and Circulation

Pursuant to TMC§1107.0304 *Parking, Loading and Access* – Schedule A, a convenience store with fuel sales is required to have one (1) parking space per pump (counted as if parked at the pump) plus one (1) parking space per 300 square feet of customer area. The total number of parking spaces required (based on convenience store with fuel sales and general retail sales tenant space) equals twenty (20) spaces. The site plan depicts twenty-one (21) spaces; therefore the site is compliant in terms of parking. It should be noted that in the event the tenant space is to be used by a development with a parking requirement different than one (1) space per 300 square feet of floor area, than that overall site parking should be recalculated. The Division of Transportation has agreed to a reduction of the drive aisle to twenty-three (23) feet along Heatherdowns Blvd to allow for additional landscaping in the Heatherdowns Blvd frontage greenbelt.

Landscaping

The site is existing and per TMC§1114.0500 *Appearance Upgrade for Nonconforming Development*, the applicant is only required to bring the landscaping closer into compliance with the 2004 zoning code. If the site were to be completely redeveloped, fifteen (15) foot greenbelts would be required along all street frontages. However, portions of the pump islands are not being modified, resulting in limited ability to alter the site plan. The Division of Transportation requires certain minimum drive-aisle widths and circulation patterns. As a result, the applicant is requesting a waiver of ten (10) feet for the fifteen (15) foot greenbelt along the Heatherdowns Boulevard frontage. Staff supports this waiver for the purpose of meeting the Division of Transportation's requirements and because the site is existing. Staff will require one (1) tree for every thirty (30) feet of linear frontage and a solid hedge be applied to both the Reynolds Road and Heatherdowns Blvd. frontage greenbelts. A landscape plan detailing the landscape materials, quantities and design will be required before final permits are granted.

Building Design

Pursuant to TMC§1109.0501(A) *Building Design Standards* – Predominant exterior building materials shall be high-quality materials. Façades visible from the public right-of-way must be comprised of at least seventy-five percent (75%) “High-quality” exterior building materials as listed in TMC§1109.0501 - *Façade Materials*. In addition to the use of high-quality materials, EIFS products may not cover more than fifteen (15) percent of any right-of-way facing façade. The elevations submitted indicate “face brick” as the primary façade material and the utilization of EIFS around the entryway. The percentage of EIFS being used is shown as nineteen (19) percent of the façade. Staff has required the applicant to submit revised elevations that indicate a reduction in the amount of EIFS being used on this façade to less than fifteen (15) percent.

STAFF ANALYSIS (cont'd)

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for regional commercial uses. The intent of the regional commercial designation is to accommodate auto-oriented commercial development in areas already built in this manner and to accommodate community and regional-oriented commercial uses. Based on the nature of the proposed use and its location, the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 *Review and Decision-making Criteria*.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4008-14, an amendment to a Special Use Permit to raze and rebuild an existing convenience store, originally granted by Ord. 496-13, located at 2441 S. Reynolds Road, to Toledo City Council for the following three (3) reasons:

1. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan;
2. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC 1111.0706.C Review & Decision-Making Criteria);
3. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

The staff recommends that the Toledo City Plan Commission make the following recommendations to the Toledo City Council on the waiver requested for an amendment to a Special Use Permit to raze and rebuild an existing convenience store, originally granted by Ord. 496-13, located at 2441 S. Reynolds Road:

Chapter 1108 Landscaping and Screening

Sec. 1108.0202 Frontage Greenbelt – B. Requirements

Approve a waiver of ten (10) feet of the fifteen (15) foot frontage greenbelt landscape requirement along the Heatherdowns Road frontage; as a result the Heatherdowns Blvd frontage greenbelt would be reduced to five (5) feet.

STAFF RECOMMENDATION (cont'd)

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP-4008-14, an amendment to a Special Use Permit to raze and rebuild an existing convenience store, originally granted by Ord. 496-13, located at 2441 S. Reynolds Road, to Toledo City Council subject to the following forty-five (45) conditions:

The conditions of approval are as follows and are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines. The drive approach to remain along Heatherdowns Blvd. has an existing cross-slope that exceeds the maximum slope and, therefore, does not meet the current standards listed above. It shall be removed and replaced in order to be brought into compliance.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
3. All commercial drive approaches, (along with the sidewalk through the drive) shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.

5. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
6. Proposed dumpster enclosure is located on top of an existing 1-inch water service. Existing water service shall be relocated or a new service shall be constructed. If existing service is not to be reused, it shall be abandoned by the City of Toledo at the developer's expense.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

7. Contact the Division of Water Distribution for installation requirements for backflow preventers.
8. New water service taps will be installed by City of Toledo at the owner's/developer's expense.
9. Storm drainage service for this site is available subject to: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
10. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
11. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo requirements for the sanitary, storm, water and roadway utilities. This understanding will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews, and speed-up the plan approval process.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Tim Grosjean, ph. 419-245-1344

12. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

13. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged. Designs incorporating green infrastructure, such as wet ponds, extended detention, bio-retention, or grassy swales, etc., may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
14. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
15. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
16. No construction work, including grading, will be permitted without approved plans and inspection.
17. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
18. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
19. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developer's cost.
20. Any previous kills that were not done at the right-of-way line shall be re-killed at the right-of-way to eliminate any active pipes on the property.

Sewer & Drainage Services

21. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services (cont'd)

22. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Environmental Services

23. The applicant shall maintain compliance with the City of Toledo's Sanitary Sewer Use Regulations specified in the Toledo Municipal Code.
24. The applicant shall maintain compliance with the City of Toledo's Stormwater Regulations specified in the Toledo Municipal Code.
25. The applicant shall maintain compliance with the City of Toledo's Air Quality Regulations specified in the Toledo Municipal Code.
26. The applicant shall maintain compliance with the City of Toledo's Underground Storage Tank Requirements specified in the Toledo Municipal Code.

Fire Prevention

No concerns or objections.

Building Inspection

27. Demolition of the existing building will require a demolition permit issued from the City of Toledo through its Division of Building Inspection requiring termination of all utilities. Documentation from Columbia Gas and Toledo Edison/Energy One must be provided to Building Inspection that this has occurred. If the existing water and sewer taps are to be re-used, the applicant/contractor must identify this to the Department of Public Utilities and secure their release from the demolition permit to processed and issued.
28. Construction of the new gas station and convenience store will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for review and approval showing the construction to be in compliance with the City of Toledo's building, mechanical and fire codes and, by referenced standards, those of the State of Ohio. Plans must identify the correct building type, use group, occupancy load, plumbing fixture count, egress and emergency egress location, emergency evacuation routes and other life-safety and ADA compliancy facilities, in accordance with the Administrative Code of the Ohio Building Code Chapter 106.

STAFF RECOMMENDATION (cont'd)

Building Inspection (cont'd)

29. In concert with the landscaping requirements of the Plan Commission, a two-foot drive aisle width waiver shall be permitted for the landscaping facing Heatherdowns Blvd. All remaining drive aisles on this site shall meet the 25' minimum drive aisle width requirement.
30. In accordance with the Toledo Municipal Code, the stacking requirements shall be maintained on both the east and west sides of the gasoline pumps.
31. The west drive approach on Heatherdowns Blvd. shall be removed.
32. The east drive approach on Heatherdowns Blvd shall be narrowed to prevent conflict with the parking stalls located on the eastern edge of the property. The drive approach shall not be narrowed to a width less than 25'.
33. All existing unused drive approaches shall be completely removed and new curbs and sidewalks shall be installed in accordance with City of Toledo Construction Standards

Plan Commission

34. The applicant shall submit revised elevations that indicate a reduction in the amount of EIFS being used on the south façade to less than fifteen (15) percent; these elevations shall also indicate the tenant space use classification and the percentages and colors of materials to be used on all buildings and canopies.
35. A dumpster location(s) shall be noted on a revised site plan and have a concrete pad surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
36. Hours of operation are limited to 5:30 a.m. to 1 a.m., or other hours that are consistent with a liquor permit by the State of Ohio, per TMC§1104.0901(H) *Hours of Operation*.
37. Free air (with the capability of filling standard automobile tires), water, and restrooms shall be provided and maintained during operating hours of the station, per TMC§1104.0903(D).
38. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping areas.
39. Flat lens lighting shall be used for all outside lighting, including canopies.
40. Non-petroleum displays must be within twenty-five (25) feet of the building but not within twenty-five (25) feet of any right-of-way. The maximum height of such displays shall not exceed five (5) feet.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

41. The canopy and/or pump islands shall be subject to the setback and design standards as outlined in TMC§1104.0903. Canopy shall be setback a minimum of ten (10) feet from the property line. Canopy support columns shall be brick or brick base or other durable material compatible with the principal building
42. A detailed site, lighting, sign, fencing and landscaping plan, for the new parking lot, shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Topsoil must be back filled to provide positive drainage of the landscape area; shall be noted on revised landscape plan; **shall be noted on revised landscape plan.**
 - b. Total interior landscaping shall be 20 square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing; **shall be noted on revised landscape plan;**
 - c. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; **shall be noted on revised landscape plan;**
 - d. Landscape terminal islands must be provided at the end of each parking row; **shall be noted on revised landscape plan;**
 - e. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot (existing trees may be used for credits; **shall be noted on revised landscape plan;**
 - f. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; shall be noted on revised landscape plan; **shall be noted on revised landscape plan.**
 - g. A 15' frontage greenbelt is required along the Reynolds Road frontage; the greenbelt shall include one (1) tree for every thirty feet (30') of lot frontage and a solid evergreen hedge to screen the parking lot; **shall be noted on revised landscape plan.**
 - h. A 5' frontage greenbelt is required along the Heatherdowns Blvd frontage; the greenbelt shall include one (1) tree for every thirty feet (30') of lot frontage and a solid evergreen hedge to screen the parking lot; **shall be noted on revised landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- i. Foundation plantings are required along all main and secondary entrances of the building that are visible from the public right of way, and landscaping at all major building entrances. TMC 1108.0205.B Landscaping and Screening; **Specifically, landscaping shall be installed at the main entrance points to the building.**
 - j. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; shall be noted on revised landscape plan; **shall be noted on revised landscape plan.**
 - k. The location, height and materials for any fencing to be installed and maintained; **acceptable as depicted on plan.**
 - l. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); **shall be noted on revised landscape plan.**
 - m. The location, lighting and size of any signs; **acceptable as depicted on plan.**
43. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.
44. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
45. No permits shall be issued until arrangements satisfactory to the Director of the Toledo City Plan Commission have been made for compliance with the conditions as set forth above.

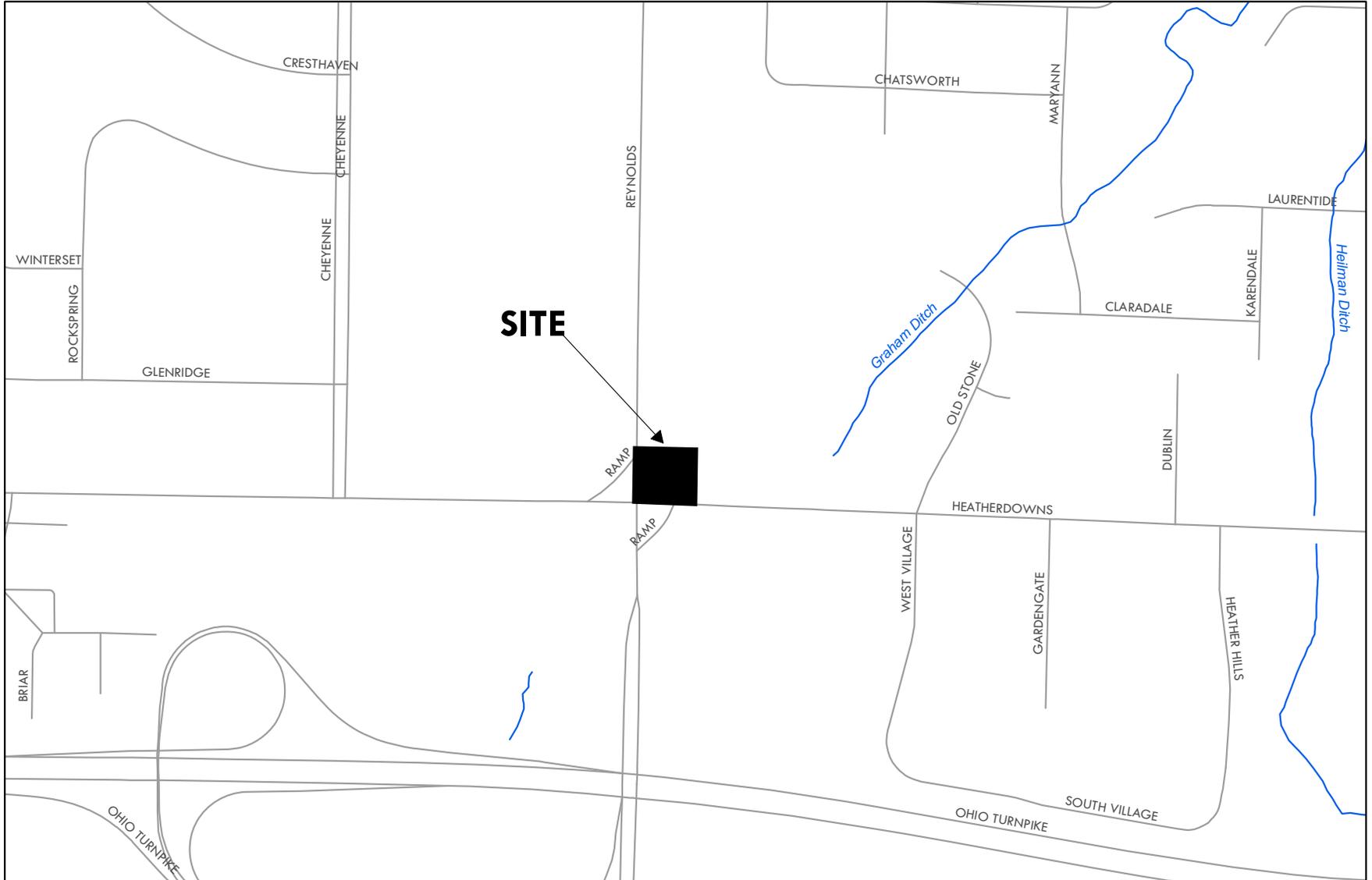
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-4008-14
DATE: June 12, 2014
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: July 16, 2014
TIME: 4:00 p.m.

BH/bp
Four (4) sketches to follow

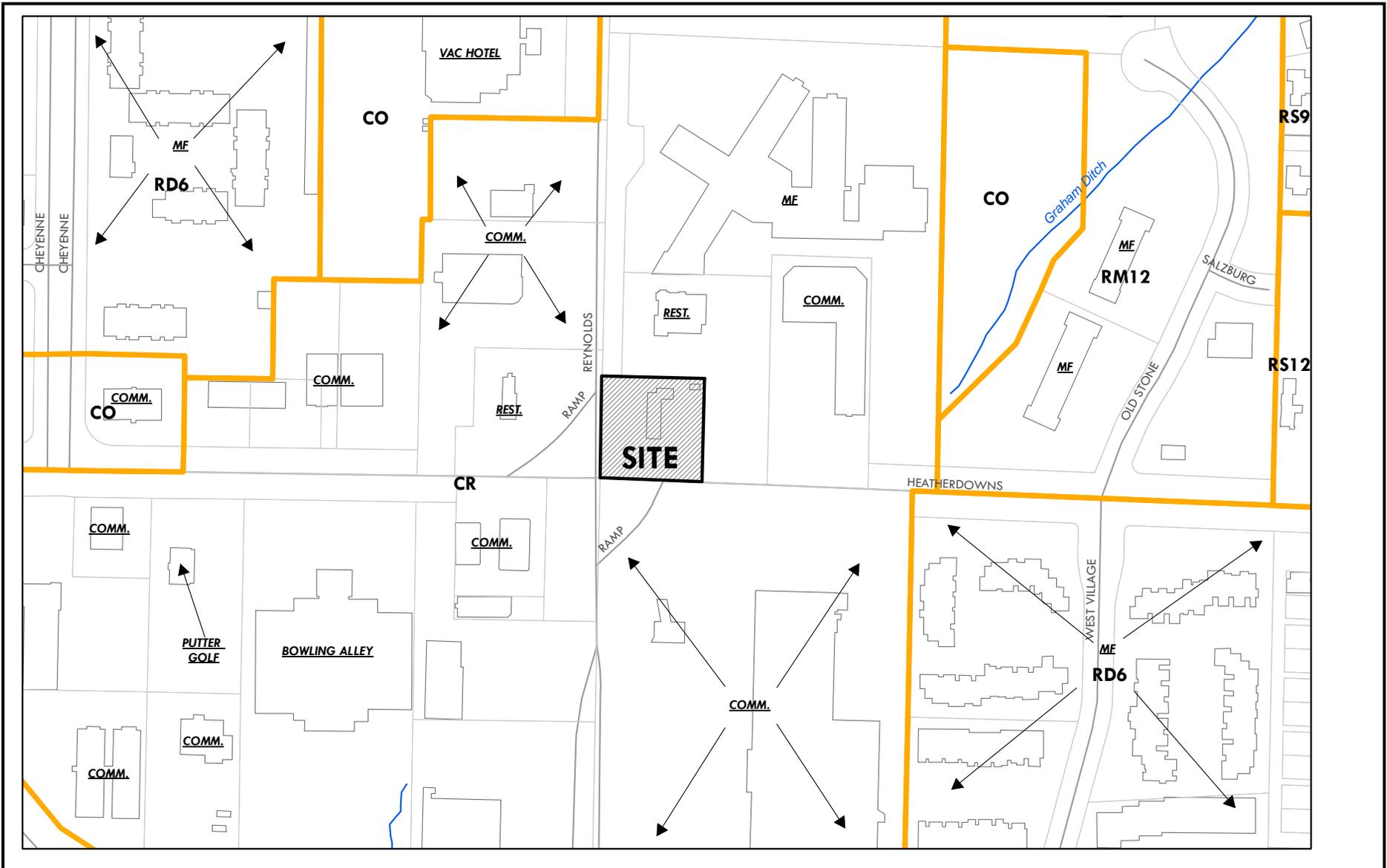
GENERAL LOCATION

SUP-4008-14
ID 141



ZONING & LAND USE

SUP-4008-14
ID 141



SITE PLAN

SUP-4008-14
ID 141



PROPOSED SITE CONDITIONS:

ZONING: CR COMMERCIAL
AREA: 0.56 AC ±
PROPOSED USE: GAS STATION CONVENIENCE STORE AND GENERAL RETAIL
SITE WORK WILL BE TO REMOVE EXISTING SITE FEATURES AS NOTED, CONSTRUCT NEW CONVENIENCE BUILDING AND ADD ADDITIONAL PARKING SPACES. EXISTING UTILITIES WILL BE MODIFIED TO ACCOMMODATE NEW BUILDING. EXISTING CANOPY WILL REMAIN.

BUILDINGS PROPOSED
BUILDING TOTAL AREA = 3,400 SF
COOLER AND STORAGE AREA = 400 SF
TOTAL CUSTOMER AREA = 3,000 SF
USE: GENERAL RETAIL

BUILDINGS SETBACKS:

BUILDING SETBACKS PER ZONING CODE IN CR ZONE (CODE 1106.0102)
FRONT BUILDING LINE: 20'
SIDE: 0' ADJACENT C OR I ZONING, HOWEVER 10' ADJACENT TO RESIDENTIAL
REAR: 0' ADJACENT C OR I ZONING, HOWEVER 15' ADJACENT TO RESIDENTIAL
MAX. DWELLING HEIGHT: 45'
MAX. DWELLING LOT COVERAGE: 85%

EXISTING PARKING (CR ZONING)

REQUIRED PARKING - GAS STATION
GAS SALES: 1 PER PUMP (CODE 1107.0304 SCHEDULE "A")
FLOOR AREA: 1 PER 300 SF (CODE 1107.0304 SCHEDULE "A")
8 EXISTING PUMPS

GAS PUMPS:
8 PUMPS = 8 SPACES
OPEN SALES AREA TOTAL: 3,000 SF

3,000 SF / 300 SF = USE 10 SPACES

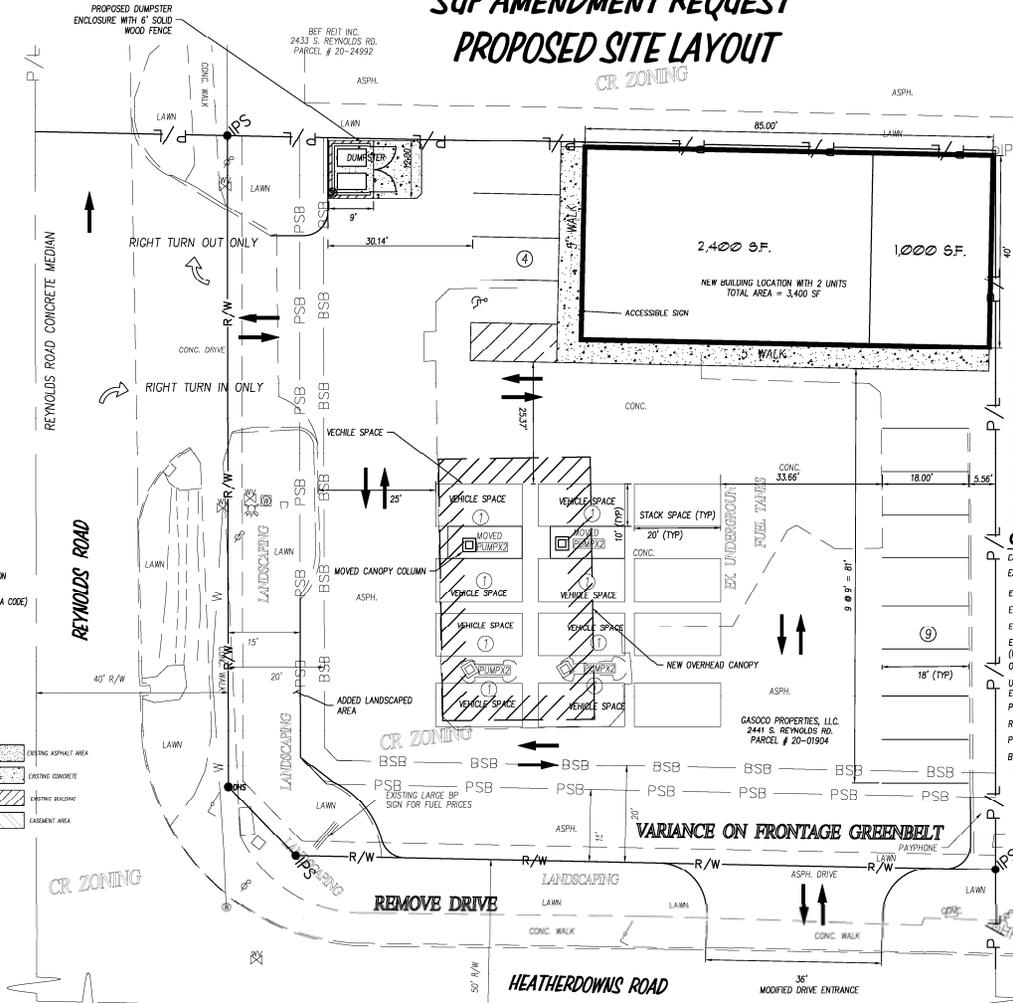
REQUIRED ACCESSIBLE PARKING BY ADA (CODE 208 OF ADA) WITH BUILDING ADDITION
TOTAL PARKING 1 TO 25 = 1 ACCESSIBLE SPACE (10%/20% PER TABLE 208.2
MINIMUM 1 IN 6 ACCESSIBLE SPACES MUST BE VAN ACCESSIBLE (9/18) 208.2.4 ADA CODE
TOTAL = 1 VAN ACCESSIBLE SPACE

PARKING REQUIRED:
17 STANDARD SPACES + 1 VAN ACCESSIBLE = 18 TOTAL SPACES REQUIRED

PARKING PROVIDED:
20 STANDARD SPACES + 1 VAN ACCESSIBLE = 21 TOTAL SPACES



SUP AMENDMENT REQUEST PROPOSED SITE LAYOUT



- LEGEND**
- x.654.23 EXISTING ELEVATION
 - 68.00' PROPOSED ELEVATION
 - ASSESSOR'S FLOOD HAZARD ZONE
 - FLOOD LIGHT
 - TRANSFORMER
 - STEEL POST
 - SANITARY CLEAN OUT
 - SANITARY MANHOLE
 - CATCH BASIN ROUND
 - CURB INLET
 - CATCH BASIN SQUARE
 - ELECTRIC OUTLET
 - STORM MANHOLE
 - FIRE HYDRANT
 - WATER MANHOLE
 - WATER VALVE
 - ELECTRIC MANHOLE
 - POWER POLE
 - LIGHT POLE
 - OUTY WIRE
 - SIGN
 - MANHOLE
 - GAS TEST
 - GAS METER
 - GAS VALVE
 - PINE
 - TRIE
 - MONITORING WELL
 - TRAFFIC MOVEMENT

- CONVENTIONAL SIGNS**
- EXISTING NATURAL GAS
 - EXISTING FENCE
 - EK SANITARY
 - EK STORM
 - EK WATERLINE
 - EK TELEPHONE LINE (UNDERGROUND)
 - OVERHEAD LINES
 - OHE
 - UNDERGROUND ELECTRIC
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - PARKING SETBACK
 - BUILDING SETBACK

GRAPHIC SCALE
0 5 10 20
(IN FEET)
1 inch = 10 ft.

NO.	ISSUED FOR	DATE
1	2ND SUBMISSION	8-4-13
2	REVISED PARKING LAYOUT	8-21-13
3	REVISED BUILDING AND PARKING	9-23-13
4		11-22-13
5		1-22-14

GLASS CITY ENGINEERING & SURVEYING, LLC
7057 BARNETT RD.
TOLEDO, OHIO 43617
419-286-9366 FAX 419-539-8987
EMAIL: BLACKBIRD_1@GMAIL.COM

BP GAS STATION
241 S. REYNOLDS ROAD
CITY OF TOLEDO, LUCAS CO. OH
PROPOSED SITE CONDITIONS

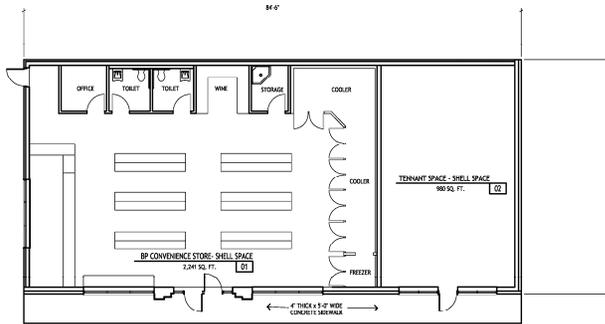
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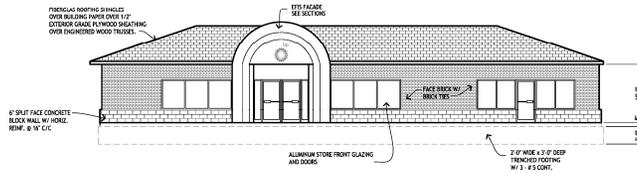
ELEVATION

SUP-4008-14
ID 141



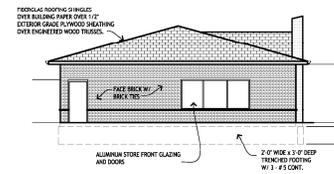
FLOOR PLAN

SCALE: 1/8" = 1'-0"



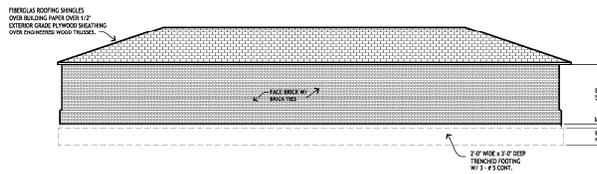
SOUTH ELEVATION (FRONT HEATHERDOWNS RD.)

SCALE: 1/8" = 1'-0"



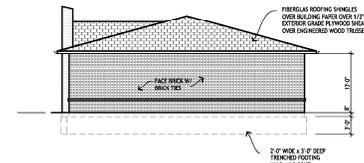
WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

ROSSI & ASSOCIATES, LLC
ARCHITECTURE ENGINEERING PLANNING



**PROPOSED NEW
RETAIL CENTER**
2441 S. REYNOLDS ROAD
TOLEDO

FLOOR PLAN AND ELEVATION



DATE

8-13 PLAN CORR. REVIEW

MAY 13, 2014

DRAWN BY

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GENERAL INFORMATION

Subject

- Request - Amendment to a Special Use Permit for a gas station and convenience store, originally applied via Ordinance 10-14, to raze and rebuild with landscape waivers
- Location - 1872-1896 Front Street, 1985 Consaul Street, and 1983 Burr Street
- Applicant - Toledo 76 Inc
203 West Main St
Homer, MI 49245

Site Description

- Zoning - CR / Regional Commercial
- Area - ±0.94 acres
- Frontage - ±260' along Front Street
- Frontage - ±121' along Esther Street
- Frontage - ±114' along Consaul Street
- Frontage - ±120' along Burr Street
- Existing Use - Convenience Store and Gas Station
- Proposed Use - Convenience Store and Gas Station

Area Description

- North - Tony Packo's / CR
- South - Single family dwelling / RD6
- East - Parking Lot / CR
- West - Fire Station / IG, MRO

Parcel History

- SUP-64-81 - Request for a special use permit for the addition of a carry-out to an existing gasoline station located on the northwest corner of Front Street and Consaul Street. Res. 64-81 approved by Plan Commission on 6/4/81, City Council approved on 6/17/81, Ord. 385-81.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- | | | |
|-------------|---|--|
| Z-9001-14 | - | Request for a zone change from RD6 Duplex Residential to CR Regional Commercial located at 1983 Burr Street. Approved by Plan Commission on 10/10/13, City Council approved on 11/26/13, Ord. 554-13. |
| SUP-9002-14 | - | Request for a special use permit for the addition of a carry-out to and existing gasoline station located on the northwest corner of Front Street and Consaul Street. Conditionally approved by Plan Commission on 11/7/13, City Council approved on 1/2/14, Ord. 10-14. |

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is requesting an amendment to an existing special use permit for a site located at 1872-1896 Front Street, 1985 Consaul Street, and 1983 Burr Street, to facilitate the demolition and rebuild of a convenience store and gas station. The site consists of ten (10) parcels that comprise ±0.94 acres of total land area. The parcel at 1983 Burr Street has been rezoned from RD6 Duplex Residential to CR Regional Commercial.

The applicant intends to demolish the existing buildings, canopy and pumps on the site. The underground tanks will remain in the current location. The existing 1,930 square feet convenience store will be replaced by a new 4,320 square foot store that will be constructed along the southerly portion of the property. The new building will contain one central convenience store and one retail unit for future tenants. The new canopy will be ±2,640 square feet (30' X 88') in total area and will cover three (3) fueling stations (6 pumps).

Parking and Circulation

The site plan indicates the new fuel pumps and canopy will be located on the east side of the convenience store and will be accessed via curb cuts on Front Street, Consaul Street, Ester Street, and Burr Street. One-way egress from the site onto Ester Street and Burr Street prevents vehicular traffic from intruding into the adjacent neighborhood.

STAFF ANALYSIS (cont'd)

Parking and Circulation (cont'd)

Pursuant to TMC§1107.0304 *Parking, Loading, and Access* – Schedule A, a convenience store with fuel sales is required to have one (1) parking space per pump (count as if parked at pump) plus one (1) parking space per 300 square feet of retail area. Fast food order sales require one (1) parking spot per 75 square feet customer area (TMC§1107.0304 – Schedule B). The total number of parking spaces that are required is 28. The site plan submitted depicts 24 parking spaces and is not in compliance with the zoning code. Applicant must submit and secure approval of an Alternative Access and Parking Plan.

Landscaping

This site is unique in that it has four (4) frontages and therefore must provide four (4) greenbelt frontages. The applicant is requesting a landscape waiver that will allow urban commercial landscape standards in place of regional commercial landscape standards. The intent of urban commercial landscape standards is to provide more flexible landscape standards for redevelopment of existing structures and infill development, where required landscaping may be difficult or impossible to be met.

The urban commercial landscape standards allow for a five (5) foot perimeter landscape buffer with solid decorative brick or stone wall/decorative fence along all street frontages in lieu of the fifteen (15) foot buffer typically required for commercial development. Staff recommends this buffer and wall/fence to be placed along all street frontages (the wall/fence requirement will not be required along Burr Street).

A Type A landscape buffer is required along the south side of the property where the site abuts residential zoning. This buffer shall include ten (10) feet of landscaping with a solid board-on-board fence. Additionally, a Type A landscape buffer requires four (4) canopy trees and fifteen (15) shrubs per every 100 linear feet. The applicant is requesting a waiver of the number of plantings required in the area behind the proposed new building. Staff supports this waiver provided the remainder of the Type A landscape buffer be adequately planted.

Additionally, per TMC§1108.0407.B *Existing Landscape Material Credits* existing mature trees that are to be maintained can be applied to current landscape standards. A reduction in the number of interior and greenbelt trees is allowed in exchange for the preservation of such trees. The existing site offers at least one (1) mature tree that will be preserved. A landscape plan documenting the caliper of this tree and number of requested tree credits is a condition of approval. Staff will support the proposed tree credits.

STAFF ANALYSIS (cont'd)

Building Design

A building elevation has been submitted indicating cement board siding as the predominant exterior building material. The roof will be shingled and the building mass will be broken down via the use of a concrete block base. While these materials are acceptable, the elevation does not list colors of materials or indicate percentages of each proposed material. A revised elevation shall be submitted adding this detail. Additional façade treatments or variation in massing, as detailed in TMC§1109.0205 A and C must be incorporated into the building design that is compliant with TMC§1109 *Design Standards*.

Pursuant to TMC§1104.0903 *Use Regulations* – Canopies shall be set back a minimum of 10 feet from the property line, and shall be designed to be consistent with the building materials and colors of the principle building. Support columns shall be brick, brick base, or other durable materials compatible with the principle building. The proposed canopy meets the required setback of ten (10') feet from the property line and is in compliance with the Toledo Municipal Code. An elevation indicating compliance with this condition will be required if the SUP is approved. The Planning Director may require a peaked roof to complement the principal building.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for neighborhood commercial uses. The intent of the CN Neighborhood Commercial designation is to accommodate auto-oriented commercial development in areas already built in this manner and to accommodate community and regional-oriented commercial uses. The proposed development conforms to this land use designation.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4009-14, a request for an amendment to a Special Use Permit, originally granted via Ordinance 10-14, for a gas station raze and rebuild with landscape waivers located at 1872-1896 Front Street, 1985 Consaul Street, and 1983 Burr Street, to the Toledo City Council, for the following three (3) reasons:

1. The proposed use complies with all applicable provisions of this Zoning Code (TMC§1111.0706.B);
2. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (TMC§1111.0706.C);
3. The proposed use complies with the Toledo 20/20 Comprehensive Plan.

STAFF RECOMMENDATION (cont'd)

The staff recommends that the Toledo City Plan Commission make the following recommendations to the Toledo City Council on the landscape waiver requests an amendment to the Special Use Permit, originally granted via Ordinance 10-14, for a gas station and convenience store raze and rebuild at 1872-1896 Front Street, 1985 Consaul Street, and 1983 Burr Street:

Chapter 1108 Landscape and Screening

Sec. 1108.0800 Landscape and Screening Standards

Sec. 1108.0202.B.3 Frontage Greenbelt

Approve a waiver of Regional Commercial landscape standards to allow for Urban Commercial landscape standards along all street frontages.

Sec. 1108.0203.E Buffer and Screening Requirements

Approve a waiver of the number of plantings required in the Type A Buffer in that portion of site behind the proposed structure.

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP-4009-14, a request for an amendment to a Special Use Permit originally granted via ordinance 10-14 for a gas station raze and rebuild with landscape waivers located at 1872-1896 Front Street, 1985 Consaul Street, and 1983 Burr Street, to the Toledo City Council, subject to the following forty-eight (48) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced/upgraded to conform to current City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines. The drive approach that is to remain along Burr Street does not meet the current standards listed above and shall be removed and replaced in order to be brought into compliance. The pedestrian ramp at the southeast corner of Front Street and Esther Street shall be removed and replaced in order to conform to the standards listed above.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, The Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with eight-inch (8") thick concrete per City of Toledo Construction Standards and Specifications. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop/opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.
5. Contact Scott Bishop at (419) 936-2756 for inspection of above mentioned items.
6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. The existing $\frac{3}{4}$ inch water service cannot be reused and will be abandoned by the City of Toledo at the owner's/developer's expense.
8. Maintain 10 feet of horizontal clearance between proposed water service and sanitary or storm sewer. Maintain 4 feet of horizontal clearance between proposed water service and any other underground utility. Maintain 18 inches of vertical clearance between proposed water service and any underground utility.
9. Contact the Division of Water Distribution for installation requirements for backflow preventers.
10. New water tap(s) will be installed by City of Toledo at the owner's/developer's expense.
11. Storm drainage service for this site is available subject to: the Criteria and Regulations of the Departments of Public Utilities Service; the Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; the Toledo City Charter; the "Subdivision Rules and Regulations" of the Toledo-Lucas County Plan Commissions; the City of Toledo Infrastructure Design and Construction requirements; and the "Toledo Comprehensive Ditch Plan". All distributed land areas over one (1) acre must submit and NOI to and obtain a permit from the Ohio EPA. Storm water detention will be required in accordance with the above.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

12. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.

13. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at: www.ci.toledo.oh.us/Departments/PublicUtilities/DivisionofEngineeringServices/PlanReviewProcess/tabid/355/Default.aspx. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This is suggested so that there is a full understanding of the City of Toledo's requirements for the sanitary, storm, water, and roadway utilities. This in turn helps to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

Contact Information is:

Division of Engineering Services: ph. (419) 245-1351, fax (419) 936-2850
Sanitary Sewers: Mike Elling, ph. (419) 936-2276
Storm Water Drainage: Lorie Haslinger, ph. (419) 245-3221
Water: Andrea Kroma, ph. (419) 936-2163
Roadway: Doug Stephen, ph. (419) 936-2279

14. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit and NOI to and obtain a permit from the Ohio EPA.

15. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ storm water detention and post-construction storm water BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA MPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention are encouraged. Designs incorporating green infrastructure, such as wet ponds, extended detention, bio-retention, or grassy swales, etc., may be eligible for a percent reduction in the property's storm water utility fee through the Stormwater Credit Program.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

16. A site-specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
17. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
18. No construction work, including grading will be permitted without approved plans and inspection.
19. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
20. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use exiting sanitary tap, when available.
21. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developer's cost.
22. Any existing sewers under proposed buildings shall be relocated or abandoned. Developer shall verify and sewers to be abandoned are no longer in service.
23. Any kills that are not done at the right-of-way line shall be re-killed at the right-of-way to eliminate any active pipes on the property.

Sewer & Drainage Services

24. Require site utility plan showing storm retention, storm lines, and sanitary line for future review.

Environmental Services

25. Applicant shall maintain compliance with the City of Toledo's Sanitary Sewer Use Regulations specified in the Toledo Municipal Code.
26. Applicant shall maintain compliance with the City of Toledo's Stormwater regulations as specified in the Toledo Municipal Code.

STAFF RECOMMENDATION (cont'd)

Environmental Services (cont'd)

27. Applicant shall maintain compliance with the City of Toledo's Air Quality Regulations specified in the Toledo Municipal Code.
28. Applicant shall maintain compliance with the City of Toledo's Underground Storage Tank Requirements specified in the Toledo Municipal Code.

Fire Prevention

No comments and/or recommendations for the site plan review.

Transportation

29. The previous site plan was approved with the allowance for the Consaul St. drive approach. The Division of Transportation conceded to the allowance due to the reported need for the approach to accommodate access for fuel delivery trucks. The underground storage tanks have now been moved, therefore the Consaul St. access drive shall be closed. The location of the Consaul St. access is too close in proximity to the traffic signal on Consaul St. and Front St., creating unsafe turn conflicts onto and from Consaul St.
30. 25' of drive aisle is required to accommodate two-way traffic. The gas dispensing area does not allow for two-way traffic to be maintained in all directions.
31. Existing unused drive approaches shall be completely removed and new curbs and sidewalks shall be installed in accordance with City of Toledo Construction Standards.
32. Crumbling and deteriorating curbs and sidewalks should be rebuilt in accordance with City of Toledo Construction Standards.

Building Inspection

33. Demolition of the existing building(s) will require a demolition permit issued from the City of Toledo through its Division of Building Inspection requiring termination of all utilities. Documentation from Columbia Gas and Toledo Edison/Energy One must be provided to Building Inspection that this has occurred. If the existing water and sewer taps are to be used, the applicant/contractor must identify this to the Department of Public Utilities and secure their release for the demolition permit to be processed and issued. Otherwise, water and sewer service must be terminated as well. Demolition of structure of this vintage will require an asbestos survey recorded with the Environmental Protection Agency (EPA) as well as the City of Toledo.

STAFF RECOMMENDATION (cont'd)

Building Inspection (cont'd)

34. Any construction new and/or alterations of any existing building on this site will require stamped construction documents submitted to the Division of Building Inspection for plan review and approval showing the improvements to be in compliance with the Ohio Building Code and the associated mechanical, electrical and fire codes along with compliance of federal ADA standards.

Plan Commission

35. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping area.
36. All subject lots shall be combined so that the development occupies one parcel.
37. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
38. Intensity, location, and screening of outside lighting, including canopies, especially when abutting a residential district shall be considered. Flat lens lighting shall be used (TMC§1104.0901.D).
39. Hours of operation may be limited to 5:30 a.m. to 1 a.m., or other hours consistent with a liquor permit issued by the State of Ohio, to reduce detriment to the area (TMC§1104.0901.H).
40. Canopies shall be set back a minimum of 10 feet from the property line, and shall be designed to be consistent with the building materials and colors of the principal building. Support columns shall be brick, brick base, or other durable materials compatible with the principle building. The Planning Director may require a peaked roof to complement the principle building (TMC§1104.0903.A).
An elevation that shows compliance shall be submitted.
41. Non-petroleum displays must be within 25 feet of the building but not within 25 feet of any right-of-way. The maximum height of such displays shall not exceed 5 feet (TMC§1104.0903.C).
42. Free air (with the capability of filling standard automobile tires), water, and restrooms shall be provided and maintained during operating hours of the station (TMC§1104.0903.D).

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

43. Ingress and egress to a parking lot in a Commercial or Industrial zoning district must be from a major street or from a street located in a Commercial or Industrial district with Commercial or Industrial zoning on the opposite side of the street (TMC§1107.1203). **Acceptable as depicted on site plan.**
44. The building design shall meet the requirements of TMC§1109.0200 *Commercial, Mixed Use and Institutional Design Standards*. The building materials of the addition shall meet the requirements of TMC§1109.0500 *Building Façade Materials and Color*. Additional façade treatments or variation in massing as detailed in TMC§1109.0205 A and C shall be incorporated into the building design. **A building elevation shall be submitted indicating compliance with these criteria and shall detail percentage of each exterior building material and color.**
45. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Greenbelt frontage landscaping shall be a minimum width of 5 feet, with at least one (1) shrub for every 3-5 feet of frontage. A solid 3 ½ foot high decorative metal tube or solid fence shall be provided. **Fence is not required along Burr Street frontage.**
 - b. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing;
 - c. One 2 inch caliper tree is required for every 1,000 square feet of building coverage; foundation plantings are required along all main and secondary entrances of the building, and patio areas, that are visible from the public right of way, and landscaping at all major building entrances; **(existing trees may be used for tree credits);**
 - d. Two canopy trees and six shrub are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot **(existing trees may be used for credits);**
 - e. A Type A Landscape buffer is required along the property edge abutting residential zoning and shall be twenty-five feet (25') in width or ten feet (10') wide with a solid fence. **Plantings not required in area directly behind proposed building;**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- f. All parking spaces must be within 100 linear feet of a landscaped area;
 - g. Landscape terminal islands must be provided at the end of each parking row;
 - h. Foundation plantings for the full street facing building elevation; and landscape areas at major building entrances;
 - i. Topsoil must be back filled to provide positive drainage of the landscape area;
 - j. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage, **as pertaining to the foundation plantings;**
 - k. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards;
 - l. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties).
 - m. The location, lighting and size of any signs, all signage is subject to TMC§1387.
46. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.
47. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

48. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

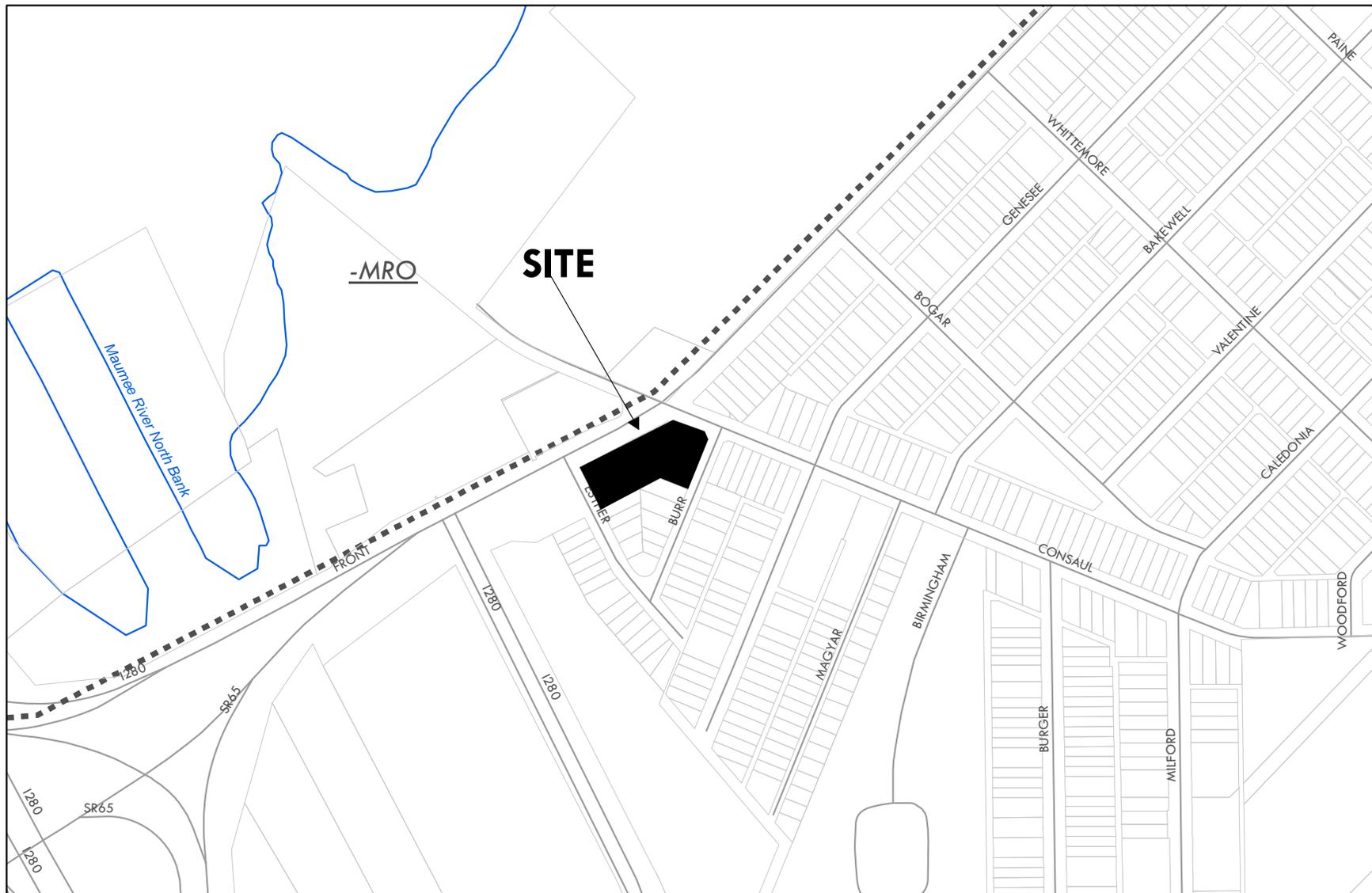
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-4009-14
DATE: June 12, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: July 16, 2014
TIME: 4:00 P.M.

GP/bp
Four (4) sketches follow

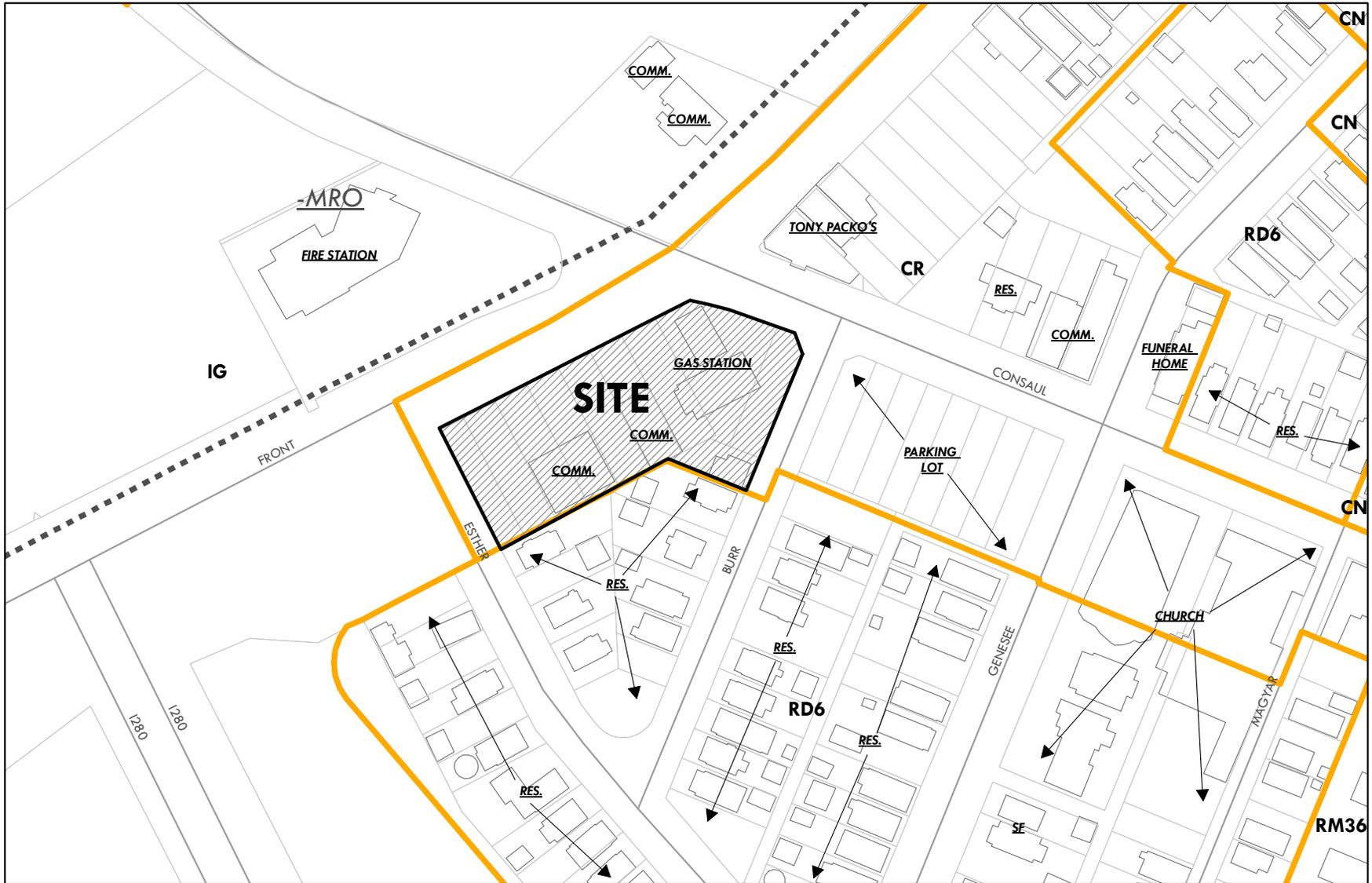
GENERAL LOCATION

SUP-4009-14
ID 25



ZONING & LAND USE

SUP-4009-14
ID 25



SITE PLAN

SUP-4009-14
ID 25



EXISTING SITE CONDITIONS:

ZONING: DC, COMMERCIAL + HIGH RESIDENTIAL
AREA: 0.929 AC ± 40,475 SF
CURRENT USE: GAS STATION AND CONVENIENCE STORE

BUILDINGS: PROPOSED
BUILDING TOTAL AREA = 4,320 SF

BUILDINGS SETBACKS:

BUILDING SETBACKS PER ZONING CODE IN DC ZONE (CODE 1106.0107)

FRONT BUILDING LINE: 20'
SIDE: 0' ADJACENT C OR I ZONING, HOWEVER 10' ADJACENT TO RESIDENTIAL
REAR: 0' ADJACENT C OR I ZONING, HOWEVER 15' ADJACENT TO RESIDENTIAL
MAX. DWELLING HEIGHT: 45'
MAX. DWELLING LOT COVERAGE: 85%

PARKING SETBACKS:

PARKING SETBACKS PER ZONING CODE (CODE 1107.0202.0)

PARKING SETBACK (FRONT): 15' (LESS THAN SAC)
PARKING SETBACK (FRONT): 25' MINUS 50% OF RESIDENTIAL (LESS THAN SAC)
10' FROM ALL ITS DISTRICTS

LANDSCAPING (1108)

FRONTAGE GREEN BELTS

ONE TREE PER 30'
SOLID EVERGREEN FRONT PARKING SCREENING
FRONTAGE GREENBELT WIDTH: 15'
LANDSCAPE BUFFER: TYPE A (10' WIDE WITH SOLID FENCE-4 TREES AND 15 SHRUBS IN 100')

DUMPSTER SCREENED BY SOLID FENCE 4' HIGH

REQUIRED PARKING (CR ZONING)

REQUIRED - GAS STATION
GAS SALES: 1 PER PUMP (CODE 1107.0304 SCHEDULE "A")
FLOOR AREA: 1 PER 300 SF (CODE 1107.0304 SCHEDULE "A")

REQUIRED - GAS PUMPS

4 PUMPS

IF SPACES REQUIRED

REQUIRED - RESTAURANT

RESTAURANT AREA: 1 PER 75 SF (CODE 1107.0304 SCHEDULE "A")
1 PER 3 EMPLOYEES / 3 EMPLOYEES PER SHIFT
RETAIL AREA = 3,140 SF

MECHANICAL AREA = 80 SF

2,960 / 300 = 10 SPACES REQUIRED

RESTAURANT AREA (FAST FOOD) = 1,280 SF

NON CUSTOMER AREA = 435 SF

TOTAL CUSTOMER AREA = 825 SF

825 / 75 = 11 SPACES REQUIRED

3 EMPLOYEES / 3 = 1 SPACE

TOTAL PARKING REQUIRED = 28 SPACES

REQUIRED ACCESSIBLE PARKING BY ADA (4.1.2) WITH BUILDING ADDITION

TOTAL PARKING 1 TO 25 = 1 ACCESSIBLE SPACE (10'x20')
MINIMUM 1 IN 8 ACCESSIBLE SPACES MUST BE VAN ACCESSIBLE (10'x20')(4.1.2.3b)
TOTAL = 1 VAN ACCESSIBLE SPACE

TOTAL REQUIRED PARKING

28 STANDARD SPACES + 1 VAN ACCESSIBLE + 1 ACCESSIBLE

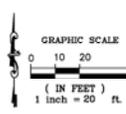
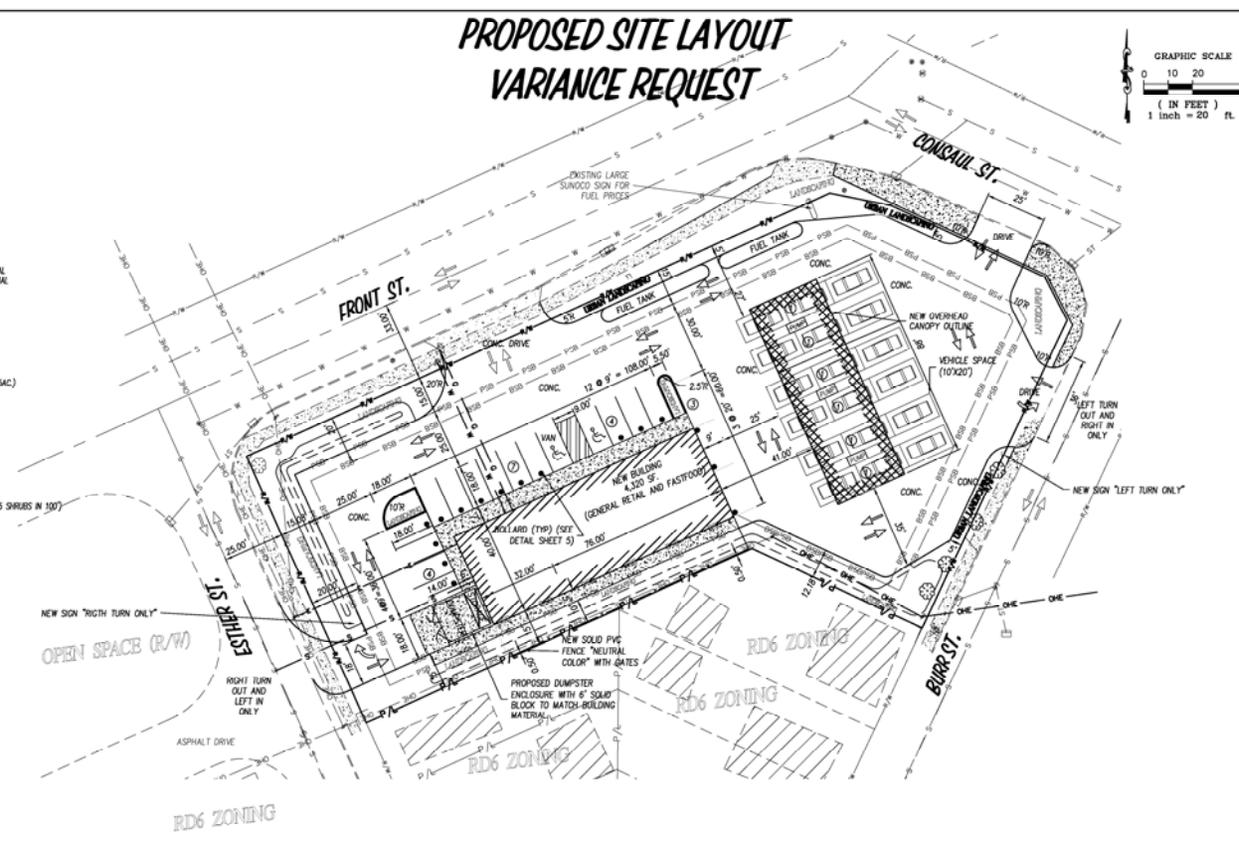
28 TOTAL SPACES REQUIRED

TOTAL PROVIDED PARKING

22 STANDARD SPACES + 1 VAN ACCESSIBLE + 1 ACCESSIBLE

24 TOTAL SPACES PROVIDED

PROPOSED SITE LAYOUT VARIANCE REQUEST



NO.	DATE	REVISIONS
1	8-28-12	1ST SUBMISSION
2	9-20-12	PARKING LAYOUT REV.
3	10-11-12	SITE LAYOUT REV.
4	11-21-12	REV. #1
5	11-21-12	VARIANCE

GLASS CITY ENGINEERING & SURVEYING, LLC.
7057 BARENDT ROAD
TOLEDO, OHIO 43617
419-293-8562, FAX 419-639-8687
EMAIL: BLACKBIRD_1@GNS.COM

TOLEDO 76, INC.
898 FRONT STREET
CITY OF TOLEDO, LUCAS CO., OH
PROPOSED SITE CONDITIONS

DRAWN BY: BOE
2014 REVISION: 886-1301
REVIEWED BY: BOE

SP-3/5

C:\Land Projects\3188-1301-Sunoco\Map\886-1301-Sunoco.dwg 2/27/2014 11:41:22 AM EST

7 - 16

“EXISTING TREE TO BE MAINTAINED”

SUP-4009-14
ID 25



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GENERAL INFORMATION

Subject

- Request - Request for zone change from RS6 Single Family Residential and CR Regional Commercial to CR Regional Commercial
- Location - 2230 Ward Street and 2214 Airport Highway
- Applicant - Proper Living Management, LLC
703 Byrne Road
Toledo, OH 43609

Site Description

- Zoning - RS6, CR / Single Family Residential, Regional Commercial
- Area - ± 1.43 acres
- Frontage - ± 81' along Airport Highway
- Frontage - ± 61' along Ward Street
- Existing Use - Tavern
- Proposed Use - Tavern

Area Description

- North - Single Family Homes / RS6
- South - Undeveloped Parcel / CR
- East - Single Family Homes, Restaurant / RS6 & CO
- West - Single Family Homes, Union Hall / RS6 & CR

Parcel History

- Z-288-69 - Request for a zone change from R-2 Single Family Residential to R-4 Multi Family Residential for the interior parcel located north of Airport Highway, west of Danberry Street. Disapproved by Plan Commission on 11/13/69.
- Z-114-70 - Request for a zone change from C-2 Office Commercial to C-3 Regional Commercial located at Lot 4 of West Aire Plaza. Approved by Plan Commission on 5/4/70.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- S-9-70 - Preliminary drawing of a proposed plat of West Aire Plaza, located on the north side of Airport Highway, west of Danberry Street. Approved by Plan Commission on 5/14/70.

- Z-145-70 - Request for a zone change from C-2 Office Commercial to C-3 Regional Commercial and R-2 Single Family Residential for two parcels located on the north side of Airport Highway, west of Danberry Street. Approved by Plan Commission on 6/8/70.

- Z-178-78 - Request for a zone change from R-2 Single Family Residential to R-4 Multi-Family Residential located at the east end of Ward Street north of Airport Highway between Kenmore and Danberry Streets. Plan Commission disapproved on 3/21/79.

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a zone change from RS6 Single Family Residential and CR Regional Commercial to CR Regional Commercial for a site located at 2230 Ward Street and 2214 Airport Highway. The ±1.43 acre site consists of two (2) parcels. The northern parcel (2230 Ward Street) is zoned RS6 Single Family Residential and is undeveloped. Ward Street is a stub street that dead-ends into this parcel. The southern parcel (2214 Airport Highway) is split zoned RS6 Single Family Residential and CR Regional Commercial and is occupied by a bar and parking lot. The CR Regional Commercial zoning line bisects the parcel, leaving a portion of the building and a portion of the parking lot (north of the building) zoned residentially. The portion of the parking lot to the east of the building is zoned commercially.

The applicant is requesting a zone change to allow use of the portion of the parking lot that is residentially zoned for the bar and to bring the remainder of the property under the CR Regional Commercial zoning district. Per AREIS, the bar (formerly a restaurant) was built in 1932. It is unclear when the parking lot was developed but likely was before the 1959 zoning code came into effect. There is no case history for the parking lot itself. The parking lot retained a legal non-conforming status while the restaurant was in operation. However, the restaurant closed for more than a year, resulting in a loss of the legal non-conforming status for that portion of the parking lot that is residentially zoned.

STAFF ANALYSIS (cont'd)

Surrounding land uses include commercial and residential uses to the east and west of the property, and single family land uses to the north. An undeveloped parcel is to the south across Airport Highway.

The Toledo 20/20 Comprehensive Plan targets the southern parcel for neighborhood commercial uses and the northern parcel for residential uses. While staff recognizes that a portion of the parking lot remains unusable because of its non-conforming status, the site does have some commercially zoned parking available. The larger issue is the compatibility of CR Regional Commercial zoning with nearby residential uses. In this general area, those properties fronting Airport Highway are developed commercially, but at a shallow depth, and immediately adjacent are solid residential neighborhoods. Extending the commercial zoning line as proposed is intrusive and could negatively affect the adjacent neighborhoods. Additionally Ward Street is a stub residential street that dead-ends at the western side of the subject site, providing an opportunity for in-fill residential development

Staff recommends disapproval of the zone change as requested but instead approval of a northward extension of the CR Regional Commercial zoning line by approximately thirty-five (35) feet to incorporate the entirety of the existing building and allow for some additional commercially zoned parking.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of Z-5001-14, a request for a zone change from RS6 Single Family Residential to CR Regional Commercial, for a site located at 2230 Ward Street and 2214 Airport Highway, to the Toledo City Council, for the following three (3) reasons:

1. Ward Street provides an opportunity for in-fill residential development.
2. The proposed CR Regional Commercial zoning is not suitable for the subject property and the permitted uses under the proposed zoning classification (TMC 1111.0606(D) Review and Decision Making Criteria).
3. The proposed zone change will encroach into the established residential neighborhood abutting north, east, and west of the subject site.

The staff further recommends that the Toledo City Plan Commission recommend approval of a northward extension of approximately thirty-five (35) feet of the existing CR Regional Commercial zoning line to the Toledo City Council, for the following one (1) reason:

1. The proposed zone change will eliminate a situation in which an existing commercial building is split zoned and allow for a limited amount of additional commercially zoned parking for the use (TMC 1111.0606(F) Review and Decision Making Criteria).

REF: Z-5001-14. . .June 12, 2014

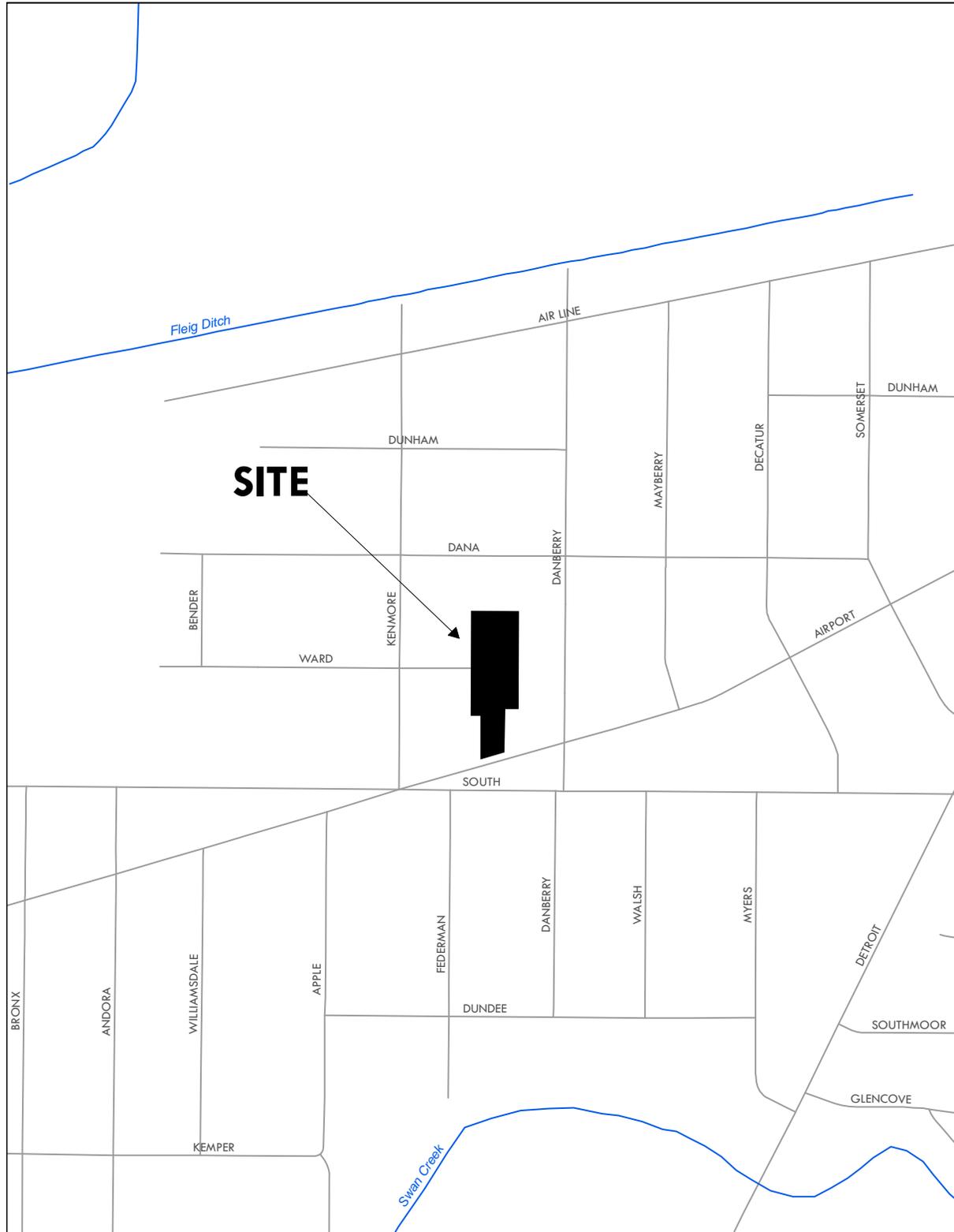
ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-5001-14
DATE: June 12, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: July 16, 2014
TIME: 4:00 P.M.

GP/bp
Two (2) sketches follow

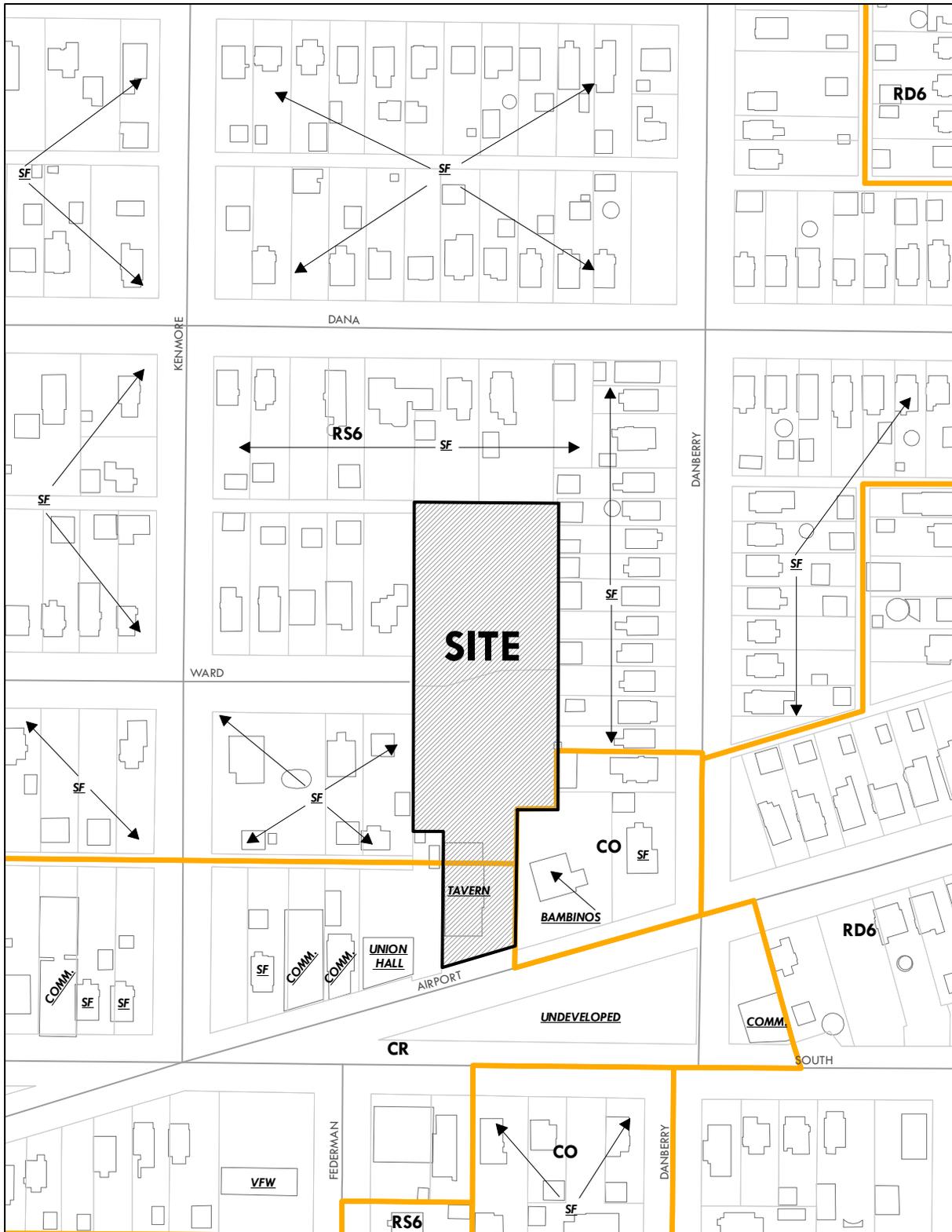
GENERAL LOCATION

Z-5001-14
ID 33



ZONING & LAND USE

Z-5001-14
ID 33



GENERAL INFORMATION

Subject

- Request - Text Amendment to allow “other agriculture” as permitted in CM, CN and CS districts.
- Applicant - Toledo Lucas County Plan Commissions
One Government Center, Suite 1620
Toledo, Ohio 43604

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning

STAFF ANALYSIS

This text amendment is to amend the Use Regulation Table to allow “Other Agriculture” in the CM, CN and CS zoning districts as a permitted use. Currently, “Other Agriculture” uses require a special use permit approval in these districts. Recent innovations in community gardening have to changes in how residential, commercial and industrial lots and blighted properties are being used. This text amendment will facilitate the development of these properties.

Community gardening is a modern way of growing and sharing food, creating beauty in abandoned and blighted places, promoting nutrition and active living, while building community with our neighbors. Many communities around the United States have encouraged these uses as a solution to many issues that face communities. A study conducted by the Ohio EPA, indicates that community gardens not only provide healthier food and astatically appealing foliage, they have also have been shown to provide financial benefits to the communities they serve.

Pursuant to TMC1116.0202, Agriculture is divided into two (2) categories: A) Nurseries and greenhouses and B) Other Agriculture. Community gardening best fits into the “Other Agriculture” classification. The TMC section provides examples of Other Agriculture as farming, truck gardening, forestry and tree farming. Community gardening is often defined as a site operated and maintained by an individual or group to cultivate trees, herbs, fruits, vegetables, flowers or other ornamental foliage for personal use, consumption, donation or off site sales of items grown on the site.

More detailed regulations may be developed for community gardening in the future. However, providing consistency in terms of use requirements thought-out the zoning districts is necessary at this time until a more detailed study can be conducted.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of the amendment to the Planning and Zoning Code as shown in Exhibit “A” to the Toledo City Council.

ZONING TEXT AMENDMENT
TOLEDO CITY PLAN COMMISSION
REF: M-2-14
DATE: June 12, 2014
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: July 16, 2014
TIME: 4:00 p.m.

BH/bp
Exhibit “A” follows

Exhibit “A”

(Proposed additions are shown in bold italics, proposed deletions are shown in strikethrough text)

Proposed Changes

Use Category	RS 12	RS 9	RS 6	RD 6	RM (all)	R MH	CN	CO	CM	CS	CR	CD	IL	IG	IP	POS	IC
Other Use Types																	
Agriculture																	
Nurseries and Greenhouses	S	S	S	S	S	S	S	-	S	S	P	-	P	P	P	P	P
Other Agriculture	P	P	P	P	P	P	<i>P</i>	-	<i>P</i>	<i>P</i>	P	-	P	P	P	P	P

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STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
CHRISTINE CUNNINGHAM
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

DIVISION OF FORESTRY
COMMISSIONER
2201 OTTAWA PARKWAY
TOLEDO, OH 43606
419-936-2326

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET
TOLEDO, OH 43601
419-245-6802

DIVISION OF WATER
RECLAMATION
COMMISSIONER
3900 N. SUMMIT STREET
TOLEDO, OH 43611
419-727-2602-

DIVISION OF INSPECTION
COMMISSIONER
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
JEFF GRABARKIEWICZ
138 W. DUDLEY
MAUMEE, OH 43537
419-893-1966

DIVISION OF TRANSPORTATION
COMMISSIONER
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
COMMISSIONER
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
KEITH EARLEY
1049 S. McCORD ROAD
HOLLAND, OH 43528
419-231-4860

SERVICE DEPARTMENT
DIRECTOR
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD.
TOLEDO, OH 43611
419-252-8110

LUCAS COUNTY
SANITARY ENGINEER
JIM SHAW
1111 S. McCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT.
LANA GLORE, ENV. HEALTH SERV.
635 N. ERIE STREET, ROOM 352
TOLEDO, OH 43604
419-213-5446

A T & T
ATTN: DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43624
419-245-7000

BUCKEYE CABLESYSTEM, INC.
GARY KASUBSKI
4818 ANGOLA ROAD
TOLEDO, OH 43615
419-724-3821

VERIZON
BRAD SNYDER
300 W. GYPSY LANE
BOWLING GREEN, OH 43402
419-354-9453

WATERVILLE GAS
JAMIE BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

OHIO GAS
GREG NOFZIGER
715 E. WILSON STREET
BRYAN, OH 43506
419-630-2255

TIME WARNER
RAY MAURER
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

EMBARQ
117 EAST CLINTON STREET
NAPOLEON, OH 43545
419-599-4030

Toledo - Lucas County General Street Map

