

*TOLEDO CITY
PLAN COMMISSION
REPORT*

November 6, 2014

Toledo-Lucas County Plan Commissions

One Government Center, Suite 1620, Toledo, OH 43604

Phone 419-245-1200, FAX 419-936-3730

MEMBERS OF THE TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

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**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2015**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION (<i>HEARINGS BEGIN AT 2PM</i>)			
November 24	December 22	December 26	January 8
December 30	January 26	January 30	February 12
January 27	February 23	February 27	March 12
February 24	March 23	March 27	April 9
March 31	April 27	May 1	May 14
April 28	May 25	May 29	June 11
May 26	June 22	June 26	July 9
June 30	July 27	July 31	August 13
July 28	August 24	August 28	September 10
August 25	September 21	September 25	October 8
September 22	October 19	October 23	November 5**
October 20	November 16	November 20	December 3**
COUNTY PLANNING COMMISSION (<i>HEARINGS BEGIN AT 9AM</i>)			
December 15	January 12	January 16	January 28
January 12	February 9	February 13	February 25
February 9	March 9	March 13	March 25
March 9	April 6	April 10	April 22
April 13	May 11	May 15	May 27
May 11	June 8	June 12	June 24
June 8	July 6	July 10	July 22
July 13	August 10	August 14	August 26
August 10	September 7	September 11	September 23
September 14	October 12	October 12	October 28
October 5	November 2	November 6	November 18**
November 2	November 30	December 4	December 16**

* County deadlines are for Preliminary Drawings

** Date shifts are due to holidays

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

November 6, 2014

2:00 p.m.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER

AT JACKSON BOULEVARD AND ERIE STREET

IN COUNCIL CHAMBERS

ON THE FOLLOWING CASES

AGENDA

ROLL CALL - Toledo City Plan Commission

PROOF OF NOTICE

SWEARING IN

MINUTES

FINAL PLATS

DIRECTOR'S REPORT

CHAIRMAN'S REPORT

**ITEM
NO.**

CASE DESCRIPTION

- | | | |
|----|-------------------------|---|
| 1. | M-7-14: | Review of 2014 Municipal Arts Plan (bh) |
| 2. | Z-9005-14: | Zone Change from CO to RS6 at 2035 Collingwood Boulevard (mm) |
| 3. | Z-9007-14: | Zone Change from RM36 to POS at 2920 Cherry Street (gp) |
| 4. | SUP-9009-14 & MRO-5-14: | Special Use Permit and Maumee River Overlay District Review for dredging/composting facility at 2424 Summit Street (gp) |
| 5. | Z-9011-14: | Zone Change from RS6 and CR to IC at 2100 W. Central Avenue (tg) |
| 6. | S-19-14: | Preliminary Drawing Review of TOLEDO HOSPITAL NORTH CAMPUS PLAT, located north of Central Avenue between St. Bernard Drive and Promedica Parkway (tg) |

- 7. Z-9001-14: Zone Change from RS6 to IL at 5022-5825 Suder Avenue (bh)
- 8. SPR-39-14: Major Site Plan Review for truck sales and servicing facility at 5022-5825 Suder Avenue (bh)
- 9. Z-9006-14: Zone Change from IL to IG at 4919 South Avenue (bh)
- 10. SUP-9008-14: Special Use Permit for used auto sales lot at 4718, 4724 and 4730 Summit Street (bh)
- 11. SPR-8-14: Major Site Plan Review for new off-site parking lot at 980 N. Westwood Avenue (bh)

ADJOURNMENT

GENERAL INFORMATION

Subject

Request - Review of 2014 Toledo Municipal Art Plan

Applicant - Arts Commission of Greater Toledo
1838 Parkwood Avenue
Suite 120
Toledo, OH 43624

Applicable Plans and Regulations

- 1995 Public Art Master Plan “artoledo”.
- 2013 Toledo Municipal Arts Plan
- Art in Public Places Program, TMC§167.06(a)(8): “Municipal Art Plan” means a prioritized list of art projects, developed annually by the Art in Public Places Committee, with budgets and recommended design approached, approved by the Arts Commission and subsequently by the Toledo City Plan Commission.
- Chapter X, Section 190 of the Toledo City Charter
The Toledo City Plan Commission shall have the power to control the design and location of works of art, which are, or may become, the property of the City.

STAFF ANALYSIS

The applicant is requesting approval of the 2014 Toledo Municipal Art Plan (see exhibit A) for the Art in Public Places Program. This annual plan is a prioritized list of projects with budgets, implementing the 1995 Public Art Master Plan for the City of Toledo. This submission fulfills the provisions of the Toledo City Charter, requiring the Toledo City Plan Commission to review the placement of public art.

The 1995 Public Art Master Plan identifies three types of public projects: regional projects, citywide facilities, and neighborhood sites. The master plan recommends the completion of at least one neighborhood oriented project each year.

STAFF ANALYSIS (cont'd)

The Art in Public Places Program (APP) includes three elements: acquisition of new works of art, restoration and conservation, and education programs and activities. The Plan also details additional projects. The Arts Commission has budgeted \$176,000 for new acquisitions, \$15,592 for restoration and conservation, \$25,000 for education and outreach programs, and \$96,000 for administration costs. The total budget for 2014 is \$312,592, funded by the “one percent for the arts” allocation from the 2014 Capital Improvement Program.

Acquisition of New Works of Art:

The Arts in Public Places program has budgeted \$176,000 for acquisition of new works of art. Two (2) acquisitions of new works of art were completed in 2014. These are as follows: Artist Designed Bike Racks – Phase 3 Downtown Toledo and Toledo Poetry Sidewalks – Phase 2 Collingwood Boulevard. Details of the completed projects are summarized below.

Artist Designed Bike Racks – Phase 3 Downtown Toledo

Over 100 local and regional artists submitted 239 designs for consideration. Ten (10) winning designs were selected based on their artistic quality and their perceived functionality. The winning designs were fabricated by Flatlanders Sculptures Supply in Blissfield, Michigan and were installed in various locations throughout Downtown and the surrounding neighborhoods. A public reception was held on July 2nd to celebrate the new racks.

Toledo Poetry Sidewalks – Phase 2 Collingwood Boulevard

In July of 2014, The Arts Commission released a call for submissions of poetry, from local writers, to be inserted into new sidewalks around Toledo. A review board chose ten (10) poems to be installed with the sidewalk replacement taking place during the Collingwood Boulevard resurfacing project.

Several acquisitions of new works of art remain in the plan phase and are as follows: Collingwood Boulevard Public Art Project, I-280 Park Maintenance Building Mural, The Toledo Gateway Project, Toledo Firefighters Memorial, Richard Boers Memorial and Art in Public Buildings. Details of the projects that are in the planning phase are summarized below.

Collingwood Boulevard Public Art Project

The Arts Commission has coordinated with the City of Toledo’s Engineering Services Department to develop a public art project in coordination with the resurfacing work that is planned for Collingwood Boulevard. California artist, Mark Lere was chosen and The Arts Commission made allocations towards the multi sculpture project in 2012 and 2013. Work is anticipated to be completed in 2015.

STAFF ANALYSIS (cont'd)

Acquisition of New Works of Art: (cont'd)

I-280 Park Maintenance Buildings Mural

The Arts Commission identified the City of Toledo's Park Maintenance building to fulfill the vision of completing a large-scale mural project that is visible from the interstate. A request for qualifications was launched and 74 packets from all over the world were received. Michigan native, Molly Dilworth's design was selected and the project is expected to start in June, 2015.

The Toledo Gateway Project

The Arts Commission is working with the City of Toledo's Engineering Services Department and engineering firm URS to integrate public art and other infrastructure enhancements into the redesign to the major entry gateway to Downtown Toledo. An artist or artist team will be selected to work with the engineering design team in order to have the greatest overall impact of the gateway features and artwork.

Toledo Firefighters Memorial

The Arts Commission is in discussion with the City of Toledo and the Toledo Fire and Rescue Department to make improvements and additions to the existing Firefighters Memorial at Chubb DeWolfe Park.

Richard Boers Memorial

The Arts Commission is working in conjunction with the Toledo Botanical Gardens to honor the legacy of Richard Boers, the former Toledo Commissioner of Forestry and Open Space Planning, founding father of the Toledo Botanical Garden and honorary Trustee of the Arts Commission.

Art in Public Buildings

Each year The Arts Commission adds one or two works of art to the City of Toledo's Art in Public Buildings collection. Many of the pieces that are part of this collection were acquired through purchase awards at local art festivals and exhibitions. Art in Public Buildings are currently on display in the Mayor's Office, City Council Office, the Toledo Municipal Court, the Department of Parks and Forestry and a number of other city departments. The Arts Commission is planning an audit of the collection through 2015 to assess existing work, install new work, and add signage where needed.

STAFF ANALYSIS (cont'd)

Restoration and Conservation:

The Art in Public Places Program budget includes \$15,592 for restoration and conservation in 2014. Three (3) projects are detailed in the plan in 2014. These are as follows: The Flame, Union Memorial and General Steedman. Details of the completed projects are summarized below.

The Flame

Located on Main Street in Toledo's eastside, the light system of the Flame is to be replaced in 2014. Cleaning of the sculpture has been completed and the electrical is to be completed by the end of October.

Union Memorial

In 2013, the bronze elements of the Union Memorial were removed and placed in storage due to ongoing vandalism and fear of theft. The Arts Commission will try to engage the Union Memorial Park Advisory board to work to resolve safety and security issues and make any necessary repairs to the bronzes for re-installation in 2015.

General Steedman

Assessments and allocations have been made for the restoration and repair of the base and stone wrap of the oldest sculpture in the City of Toledo's public art collection. The work is expected to begin in the summer of 2015.

Education Programs and Activities:

Six (6) education programs/activities projects are offered for 2014. The projects are: ABC's of Public Art, Website, Americans for the Arts, City Council Digital Solution, Art in Public Places Strategic Planning Process and the Public Art Master Plan. The budget for education programs and activities is \$25,000. Highlights of these projects are listed below:

ABC's of Public Art

Printed in 2012, the book will continue to be distributed to parents, mentors, schools and literacy programs. The book features 28 works from the City of Toledo's One Percent for Art Program and ten (10) works from other publicly accessible collections in the City of Toledo. Over 8,500 books have been distributed.

STAFF ANALYSIS (cont'd)

Education Programs and Activities: (cont'd)

Website

The Arts Commission's website underwent an extensive overhaul in 2012. The website has been updated to include pages discussing current and recently completed projects, highlights from the existing collection, links to articles written about the collection, a map of the collection, downloadable version of *Toledo Sculpture Tours*, and background information on the administrative procedures of the Arts Commission of Greater Toledo. New content is added as it becomes available.

Americans for the Arts

The Arts Commission of Greater Toledo is a member of the Americans for the Arts Public Art Network and the related Email List-Serve. This tool has proven beneficial and has increased national visibility of the City of Toledo's One Percent for Art Program

Digital Solutions

The Arts Commission worked with Torrence Sound to install a video wall in City Council's Chambers in 2014. The 80" video wall showcases twelve (12) of Toledo's public art sites.

Art in Public Places Strategic Planning Process

In 2014, The Arts Commission aligned itself with the Toledo Area Strategic Plan for Arts and Culture and the Art in Public Places to start a strategic planning process to better support the larger initiatives. The process will be developed as the overall plan proceeds.

Public Art Master Plan

The Toledo Public Art Master Plan was completed in 1995 and is the guide for the Art in Public Places program. This Plan provides a framework for evaluating new projects and for site selection of public art projects. The Arts Commission plans to reach out to industry leaders in 2015 to aid in the development of a plan update.

Administration:

Ninety-six thousand dollars (\$96,000) was allocated for administrative expenses for the Art in Public Places program.

STAFF ANALYSIS (cont'd)

Additional Projects:

In 2014 The Arts Commission saw the creation of six (6) new mural projects in the Old South End and the East Side. Although none of the murals were funded through the “one percent for the arts” section of the 2013 Capital Improvements Program, the Arts Commission secured \$35,000 in funding from an Ohio Capital Impact Corporation grant. This grant funded a large-scale mural on the building adjacent to the newly finished Uptown Green Park and ten (10) panels by local artist that cover the windows of the building, in addition two (2) murals adjacent to Upton Art Center Apartments were also funded with this grant.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve M-7-14, a request for approval of the 2014 Toledo Municipal Art Plan, for the following one (1) reason:

1. The proposed plan is in conformance with the 1995 Public Art Master Plan of Toledo.

SPECIAL STUDY
TOLEDO CITY PLAN COMMISSION
REF: M-7-14
DATE: November 6, 2014
TIME: 2:00 P.M.

BH/bp
Exhibit “A” follows

2014 Toledo Municipal Arts Plan

Exhibit A: Art in Public Places Program



THE ARTS COMMISSION
INSPIRING A VIBRANT TOLEDO

Prepared by:
Nathan Mattimoe
Art in Public Places Coordinator

2014 Toledo Municipal Art Plan

The City of Toledo, by ordinance, has entrusted the administration of its Art in Public Places Program to The Arts Commission of Greater Toledo. The program includes three elements: acquisition of new works of art, restoration and conservation of the existing public art collection, and the establishment of public education programs and activities associated with the Art in Public Places Program. These elements are detailed in this year's proposed Municipal Art Plan, developed by the Art in Public Places Committee and approved by the Board of Trustees of The Arts Commission.

Acquisition of New Works of Art

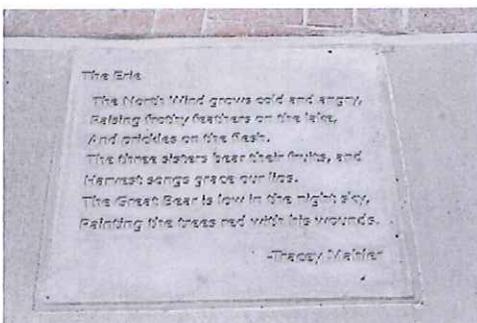


Artist Designed Bike Racks: Phase 3

The call for artists for Phase 3 of the Artist Designed Bike Racks Project was launched in the fall of 2013. Over 100 local and regional artists submitted 239 bike rack designs. The Design Review Board, which included a mix of designers, business owners, community stakeholders and bike advocates, selected the 10 winning designs based on their artistic quality and their perceived functionality. The artist of each design received a \$500 stipend.

The winning designs were fabricated by Flatlanders Sculpture Supply in Blissfield, Michigan and were installed in various locations throughout Downtown Toledo and surrounding neighborhoods including: The East Toledo Family Center, Main Street on the East Side, The Valentine Theatre, The Ohio Building, The Davis Building, Black Kite Coffee Shop on Collingwood, Sophia Quintero, and two at Jermain Park. A public reception was held on July 2nd to celebrate the new bike racks, the artists whose designs were selected, and all those who were involved in bringing this project life.

Underway in 2014



Toledo Poetry Sidewalks: Phase 2

In July of 2014, The Arts Commission released a call for submissions of poetry, from local writers, to be inserted into new sidewalks around the City of Toledo. This new public art project sought short poems and literary works that would engage pedestrians in a thoughtful conversation with their city and provide the public with an enjoyable, inspirational outdoor reading experience. Writers of all ages were encouraged to submit up to two poems each. 10 poems were selected from a total of 81 submissions received from 51 local poets. Installation will occur in conjunction with the sidewalk replacement taking

place during the Collingwood resurfacing project in September or early October of 2014.

Collingwood Boulevard Public Art Project

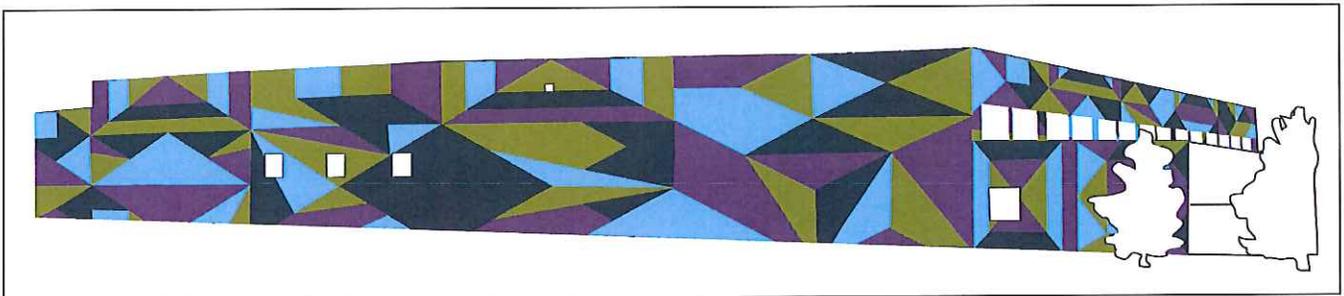
The Arts Commission is coordinating with the City of Toledo's Engineering Services Department to install a public art project in coordination with the resurfacing work that is in process for Collingwood Blvd. The commissioned artwork will be sited along Collingwood, between Ashland and Central, utilizing the islands that have been identified in the plans for the upcoming road project. The design review process, which was initiated in late 2011, resulted in the selection of a design consisting of 5 large pieces by California artist, Mark Lere. The Arts Commission has made multi-year allocations towards this project in 2012 and 2013, and anticipates that the artwork will be completed in 2015.



Artist renderings of three of the Collingwood Medians sculptures

I-280 Park Maintenance Building Mural

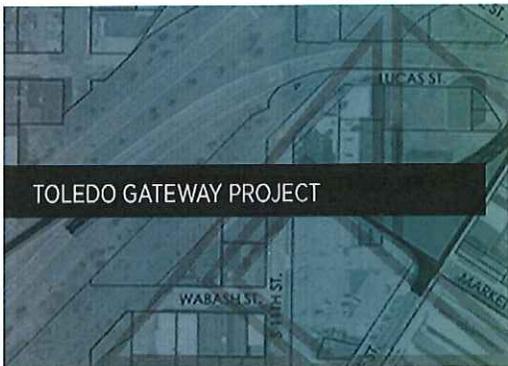
To fulfill the vision of completing a large-scale mural project that will be visible from the interstate, The Arts Commission identified the City of Toledo's Park Maintenance building, located at 1615 Ketcham as a prime location. The building is visible from I-280, just north of the Veterans Glass City Skyway, and would be viewed by over 57,000 vehicles every day as they travel through Toledo along the interstate. In 2013, The Arts Commission launched a Request for Qualifications and received 74 packets from all over the world. Brooklyn resident and Chelsea, Michigan native, Molly Dilworth was selected as the winner of the commission. Part of the project includes a substantial community engagement element, which may include participation in the Young Artists at Work program and a workshop with local artists. The project is expected to start in the June of 2015.



An illustration of artist, Molly Dilworth's design.



I-280 Mural Building location



The Toledo Gateway Project

In continuing the initiatives set forth in the 2005 Toledo ArtNET study and Toledo Gateway Project, The Arts Commission is working with the City of Toledo Department of Engineering Services and engineering firm URS to integrate public art and other infrastructure enhancements into the redesign to the major entry gateway to Downtown Toledo, via the intersection of Erie St., The Anthony Wayne Trail and Lafayette St.

Due to the integral nature of the artwork for this project, an artist (or artist team) will be selected to work directly with the engineering and design team in order to have the greatest influence on the overall impact of the gateway features and incorporation of artwork. Art in Public Places has committed \$50,000 for fees related to designs, travel, lodging and other expenses related to the artist integration, on top of funds allocated for the construction of the project from federal sources.

Toledo Firefighters Memorial

Following the loss of two Toledo firefighters back in January of 2014, The Arts Commission is in discussion with the City of Toledo and the Toledo Fire and Rescue Department to make improvements and additions to the existing Firefighters Memorial at Chubb DeWolfe Park. The plans and design approach will be developed in the coming months and will be included in the 2015 Municipal Art Plan.



Richard Boers Memorial

The Arts Commission is working in conjunction with The Toledo Botanical Gardens to honor the legacy of Richard Boers, the former Toledo Commissioner of Forestry and Open Space Planning and a founding father of Toledo Botanical Garden, and honorary Trustee of The Arts Commission.

Art in Public Buildings

Each year The Arts Commission adds one or two works of art to the City of Toledo's Art in Public Buildings collection. Many of the pieces that are a part of this collection were acquired through the establishment of purchase awards at local art festivals and exhibitions. This diverse body of work reflects the complex character of the visual arts in our community and includes a variety of styles, mediums, and approaches. The Art in Public Buildings collection is exhibited in publicly accessible areas of buildings utilized by the City of Toledo. Works are currently on display at the Mayor's Office, City Council, the Toledo Municipal Court, the Department of Parks and Forestry and a number of other city departments.

The Arts Commission is planning an audit of the collection through 2015 to assess existing work, install new work, and add signage where needed.

A total of \$176,000 reflecting all the aforementioned projects comprises the Acquisition line item of the 2014 plan. See *Acquisition of New Works of Art Addendum* attachment for Public Art Projects that have been moved to Inactive Status.

Restoration and Conservation

Conservation Underway in 2014



The Flame

Located on Main St. in Toledo's East Side, The Flame's light system is to be replaced in 2014. Cleaning of the sculpture and base will be completed by September 12th with the electrical to be installed by the end of October.

Union Memorial

In 2013, the bronze elements of Union Memorial were removed and placed in storage due to ongoing vandalism and fear of theft. The Arts Commission will try to engage the Union Memorial Park Advisory board to work to resolve safety and security issues and make any necessary repairs to the bronzes for re-installation in 2015.

General Steedman

Over the past two years, assessments and allocations have been made for the restoration and repair of the base and stone wrap of the oldest sculpture in the City of Toledo's public art collection. The

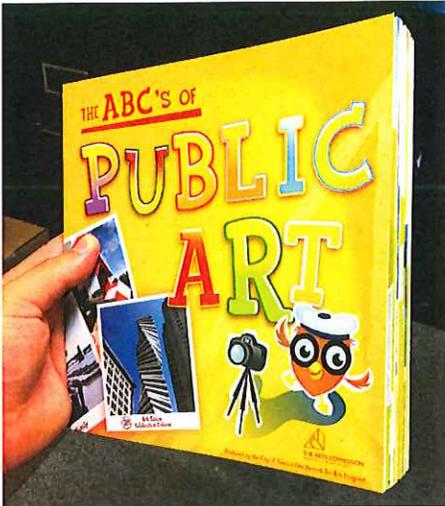
work is expected to start in the summer of 2015.

2014 Assessment: The collection will undergo another extensive assessment this fall to identify conservation and maintenance to be conducted in 2015.

A total of \$15,592 reflecting all the aforementioned projects comprises the Conservation line item of the 2014 plan.

Education Programs /Activities

On Going



ABC's of Public Art

The ABC's of Public Art Publication was printed in June of 2012. The book will continue to be distributed to parents, mentors, schools and literacy programs. This publication is free and interested parties can contact The Arts Commission for more information.

Local graphic designer Merrill Rainey designed The ABC's of Public Art with oversight from the Art in Public Places Committee and The Arts Commission. It features 28 works from the City of Toledo's One Percent for Art Program along with 10 works from other publicly accessible collections in the City of Toledo. Over 8,500 books have been distributed to local schools, libraries, early childhood, and health and literacy programs. An online version can be found on The Arts Commission's web site:

www.theartscommission.org.

Website

The Art in Public Places portion of The Arts Commission website continues to be updated to include pages discussing current and recently completed projects as well as a section dedicated to highlights from the collection. This content helps to create a detailed story about Toledo's public art program by providing the reader with background information about the program and individual pieces, photographs of the collection, URL links connecting to articles that have been written by outside sources and links to a Google Map that shows the location of every piece in the collection. The website includes a complete version of the 2004 publication *Toledo Sculpture Tours*, broken into easily downloadable sections. Also included is information of the City's Mural ordinance and a link to the application as a service to the City. The Art in Public Places Standard Operating Procedure, Design Review Board Process and other important documents are also available on the website along with the city ordinance governing the Art in Public Places Program. Updating the website is quick and easy, and new content is added as it becomes available. www.theartscommission.org

Americans for the Arts

As a member of the Americans for the Arts Public Art Network and the related Email List-Serve, The Arts Commission has a direct link to hundreds of public art administrators, publications, and artists from across the country and around the world. Posting arts opportunities on this email system has proven beneficial and increased national visibility of the City of Toledo's One Percent for Art Program. Additionally The Arts Commission has sent staff members to the Americans for the Arts National Conference since 2003. The conference presents essential information on developing concepts and innovation in the field of public art and provides opportunities to network with artists and public art administrators from around the country.

Education Initiatives Completed in 2014

Digital Solutions: In January of 2014, The Arts Commission worked with Torrence Sound to install a video wall Toledo City Council Chambers. An 80" led screen showcases 12 of Toledo's public art sites with information including where each is located. BGSU Professor Heather Elliott-Famularo, along with some of her students, created the content for the project.

Underway in 2014

Art in Public Places Strategic Planning Process

In conjunction with The Arts Commission's Toledo Area Strategic Plan for Arts and Culture, Art in Public Places started a strategic planning process in June to better align itself with the larger initiatives. This process will develop as the overall plan proceeds.

Public Art Master Plan

The City of Toledo has charged The Arts Commission with the administration of its Art in Public Places Program. This charge includes the development of a Public Art Master Plan to help guide the selection of sites for public art projects and provide a framework to evaluate new projects. The Art in Public Places Program is currently operating under the guidelines of a master plan that was developed in 1995.

The 1995 Toledo Public Art Master Plan was prepared by Jennifer McGregor-Cutting & Associates. Ms. McGregor-Cutting was the first director of the New York City Percent for Art Program and is considered to be one of the foremost experts in the field of public art. To insure that the revised version of this document maintains the high level of expertise that is found in the 1995 version, The Arts Commission will again reach out to industry leaders to help develop the updated plan in 2015.

A total of \$25,000 reflecting all the aforementioned projects comprises the Education line item of the 2014 plan.

Administration

The administration line item of the budget, which is \$96,000, reflects compensation and benefits for The Arts Commission staff support, over-head, and other expenses associated with operating the Art in Public Places program.

Additional Community Projects



Murals

The City of Toledo is home to a variety of murals, which have been created by artists from diverse cultural traditions and backgrounds. These murals improve the aesthetic impact of the city and play an important role in defining our cultural identity and creating a sense of biography for the residents. The Arts Commission encourages this activity and seeks to further promote mural making in the City of Toledo through facilitating Toledo's Mural Ordinance.

2014 saw the creation of over six new mural projects on Broadway in the Old South End and the East Side by San Diego muralist, Mario Torero, coordinated by Gordon Ricketts of BGSU. The East Toledo Arts Initiative painted panels, planters and garbage cans along Main Street and Starr Avenue in The East Side. A large mural was completed by The Arts Commission's Young Artists at Work apprentices on the back

of The Arts Commission office building owned by The Toledo Museum of Art.

Also in 2014, The Arts Commission secured \$35,000 in funding from an Ohio Capital Impact Corporation grant for a large-scale mural by Ivan Kende on the building adjacent to the newly finished Uptown Green Park and 10 panels by ten local artists on panels covering the windows of the building. This grant will also fund two murals adjacent to Uptown Arts Center Apartments.

These projects were funded and organized outside of One Percent For Art Program.

One Percent for Art 2014 Program Budget

Acquisitions	\$176,000
Conservation	\$15,592
Education	\$25,000
Administration	\$96,000
Total	\$312,592

Art in Public Places Committee Members 2013

Mike Duket
Co-Chairperson

Katerina Ruedi-Ray
Co-Chairperson

Jay Brewster
Steve Day
Claude Fixler
Catherine Hoolahan
Patricia Levey
Thomas Lingeman
Bob Lubell

Diane Phillips
Susan Reams
Matt Rowland
Brad Rossi
Margy Trumbull
Sandra Wiseley
Lori Young
Robert Zollweg

Staff:

Nathan Mattimoe, APP Coordinator
Marc Folk, Executive Director

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REF: Z-9005-14
DATE: November 6, 2014

GENERAL INFORMATION

Subject

- Request - Request for Zone change from CO Office Commercial to RS6 Single-Family Residential
- Location - 2035 Collingwood Blvd
- Applicant - Old West End Association
PO Box 4652
Toledo, OH 43610

Site Description

- Zoning - CO / Office Commercial
- Area - 1.112 acre
- Frontage - 164'
- Length - 300'
- Existing Use - Bed & Breakfast
- Proposed Use - Single Family Residence

Area Description

- North - Nursing facility / CO
- South - Reynolds properties / CO
- East - Single Family Homes / RM36
- West - Single Family Homes / RD6

Parcel History

- Z-53-48 - Request for zone change from "C" use and height to "B" use and height, approved by Plan Commission on 4/15/48, City Council approved on 5/3/48, Ord. 162-48.
- Z-10-56 - Request for zone change from "B" use and height to "C" use and "D" height. Resolution found in Toledo City Journal, Volume 41 for 1956. No ordinance stated in journal entry.

GENERAL INFORMATION (cont'd)

Old West End Case History

OWE-62-94	-	Front porch roof and floor repairs (Admin approved 12/14/94)
OWE-10-95	-	Demo of 1959 Motel (OWEHDC approved 5/8/95)
OWE-77-95	-	Building addition to carriage house (OWEHDC approved 12/11/95)
OWE-35-98	-	Copper valleys, roof repair (Admin approved 5/4/98)
OWE-87-01	-	Partial slate roof replacement - valleys (OWEHDC approved 1/14/02)
OWE-16-02	-	Service/handicapped ramp (withdrawn 4/8/02)
OWE-52-05	-	Repair front porch & portico with similar materials (Admin approved)
OWE-53-11	-	Repair slate roof (Admin approved 10/25/11)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- Monroe Street Corridor Design & Livability Plan, 2002

STAFF ANALYSIS

The applicant is requesting a zone change from CO Office Commercial to RS6 Single Family Residential to for a site located at 2035 Collingwood Blvd. The 1.1-acre site consists of one (1) lot and is currently occupied by a single-family home that operates as a bed and breakfast.

The owner and operator of the bed and breakfast is the Old West End Association who listed the property for sale this past year and now has a buyer. However, the bank loan will not be granted until the property has been rezoned to a residential classification. The staff reviewed the surrounding uses and recommended the applicant pursue RS6 Single-Family Residential since the home is still considered a single-family home.

The Toledo 20/20 Comprehensive Plan targets this site for office commercial uses. The office commercial category includes small and medium scale commercial uses that serve nearby neighborhoods such as the retail store that is proposed for the site. The proposed RS6 Single-family Residence zoning is consistent with zoning classifications of properties within the general vicinity of the site. The parcels to the west and east of the site, abutting Collingwood and Parkwood, are currently zoned RD6 Single-Family Residential or RM36 Multi-family Residential. Similar residential land uses exist to the north across Floyd Street.

STAFF ANALYSIS (cont'd)

If the purchase agreement between the seller and the buyer is not completed, the Old West End Association will be required to obtain a Special Use Permit to continue operating the Bed and Breakfast operation at the site.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z-9005-14, a request for a zone change from CO Office Commercial to RS6 Single-family Residential, for a site located at 2035 Collingwood Boulevard to the Toledo City Council, for the following two (2) reasons:

1. The proposed zone change is consistent with existing land uses within the general vicinity of the subject property (TMC 1111.0606.B *Review and Decision-Making Criteria*); and
2. The proposed zoning is compatible with the RD6, Duplex Residential and the RM36 Multi-Dwelling Residential zoning classifications of properties within the general vicinity of the site (TMC 1111.0606.C *Review and Decision-Making Criteria*).

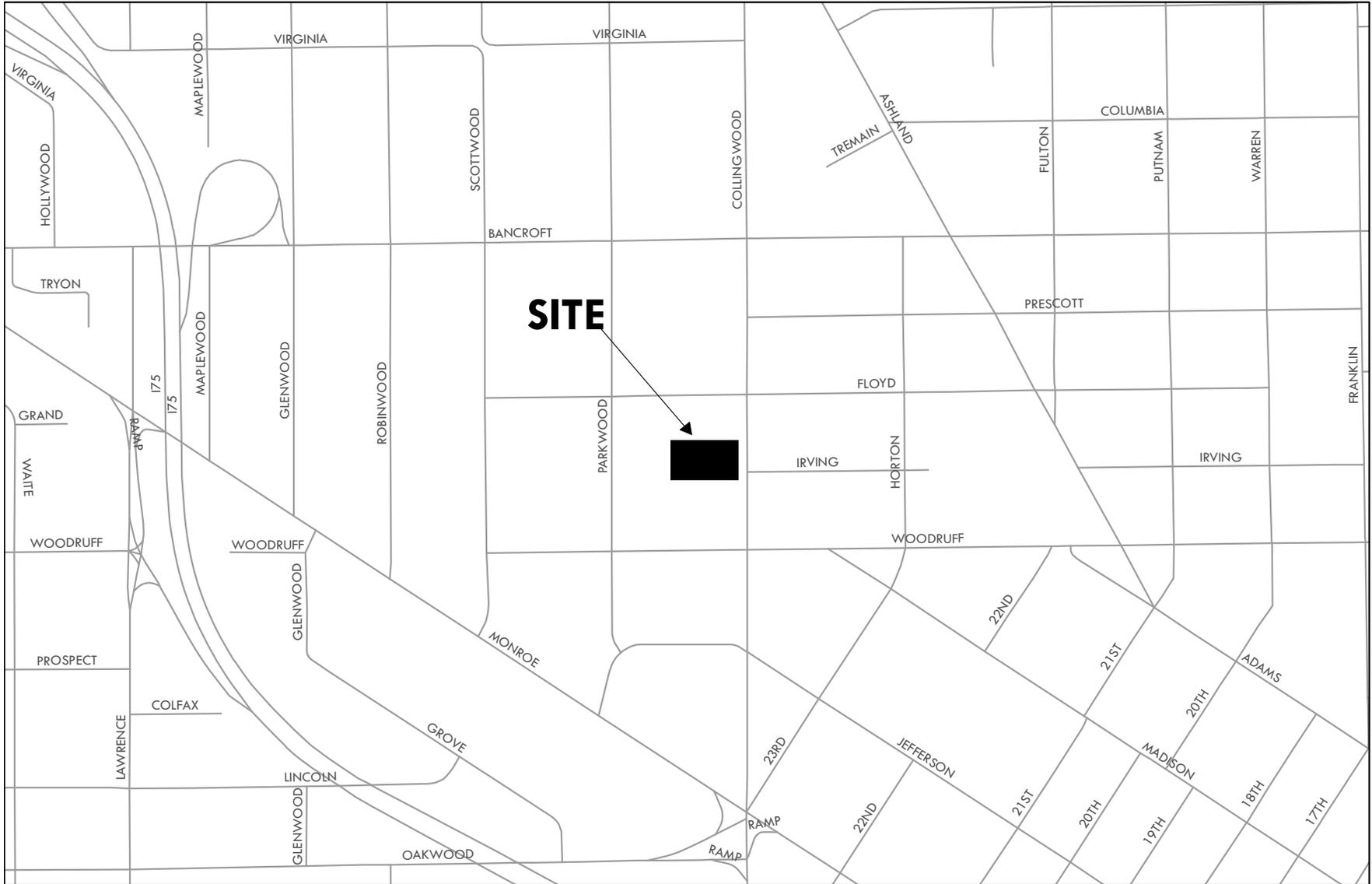
ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-9005-14
DATE: November 6, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: December 10, 2014
TIME: 4:00 P.M.

MM/bp
Two (2) sketches follow

GENERAL LOCATION
2035 COLLINGWOOD BLVD.

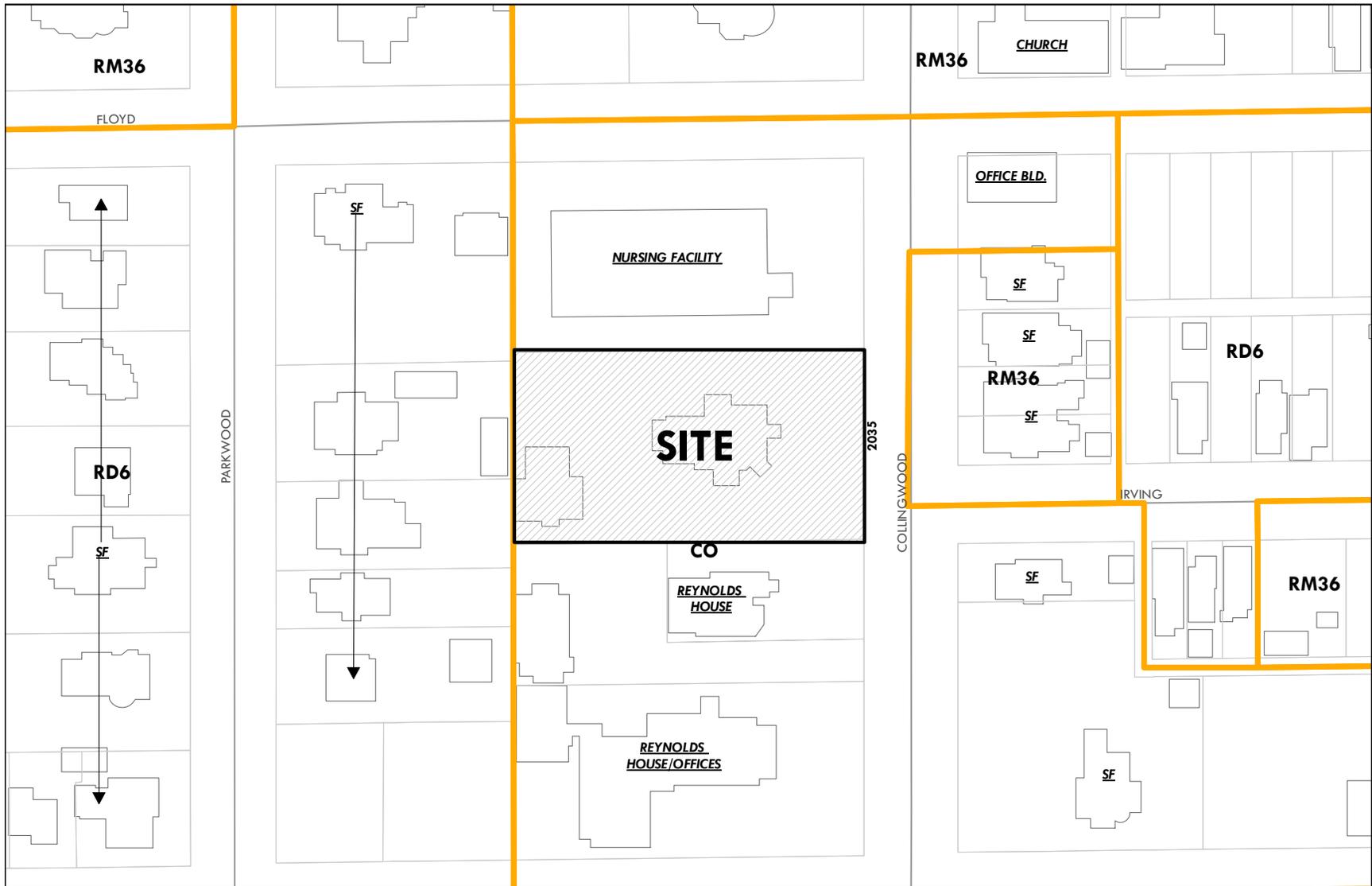
Z-9005-14
ID 14



ZONING & LAND USE

2035 COLLINGWOOD BLVD.

Z-9005-14
ID 14



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GENERAL INFORMATION

Subject

- Request - Request for a zone change from RS6 Single Family Residential and RM36 Multi-Family Residential to POS Parks and Open Space
- Location - 2920 Cherry Street
- Applicant - Lucas County Land Revitalization Corporation
One Government Center, Suite 580
Toledo, OH 43604

Site Description

- Zoning - RM36, RS6 / Multi-Family Residential, Single Family Residential
- Area - ± 1.48 acres
- Frontage - ± 292' along Cherry Street
- Frontage - ± 180' along Bronson Place
- Existing Use - Undeveloped
- Proposed Use - Arboretum

Area Description

- North - Single Family Homes / RS6, UNO
- South - Single Family Homes / RS6, UNO
- East - Single Family Homes / RS6, UNO
- West - Single Family Homes / RM36, UNO

Parcel History

- M-14-10 - Review of Cherry Street Legacy Plan as amended to the Toledo 20/20 Comprehensive Plan. Plan Commission approved on 12/2/10. Planning and Zoning approved on 1/5/10. City Council approved Ordinance 55-11 on 1/25/11.
- P-14-62 - Request for off-street parking located on the southeast corner of Cherry Street and Bronson Place. Plan Commission approved with conditions on 10/25/62.

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- Cherry Street Legacy Plan
- Cherry Street Urban Neighborhood Overlay District

STAFF ANALYSIS

The applicant is requesting a zone change from RM36 Multi-Family Residential and RS6 Single Family Residential to POS Parks and Open Space for a site located at 2920 Cherry Street. The ±1.48 acres site consists of one (1) parcel and was previously occupied by a nursing home. The nursing home was recently demolished and the site is currently undeveloped with the exception of concrete paving that occupies portions of the parcel. The site is within the boundaries of the Cherry Street Legacy Plan and The Cherry Street Urban Neighborhood Overlay District.

The applicant is requesting a zone change to facilitate the development of an arboretum. An arboretum is defined as a plot of land on which many different trees or shrubs are grown for study or display. The collection of cultivated ornamental trees are placed on a mowed lawn. In addition to land beautification, the collection of trees may be used for formal or public environmental education and research. Arboretums can improve the quality of air, reduce stormwater runoff, and add quality to a neighborhood. The Cherry Street Urban Neighborhood Overlay District is intended to create a healthy community by encouraging amenities that produce an urban, pedestrian friendly and walkable community. Any fencing or walls shall be aesthetically compatible with the iconic fencing that is currently along Cherry Street.

The Cherry Street Legacy Plan acknowledges that Cherry Street is a major transportation link with few traffic calming elements. Streetscaping serve as a recognizable symbol of community spirit and pride and results in a fun place to visit, shop, work, and live. Streetscape improvements enhance the activity of an area by increasing pedestrian comfort, organizing and calming vehicular traffic and encouraging the vital and progressive atmosphere necessary to a healthy business climate and safe residential neighborhood.

Surrounding land uses include residential uses to the north, south, east; residential and commercial land uses to the west of the site across Cherry Street.

The Toledo 20/20 Comprehensive Plan targets the site for RM36 Multi-Family Residential land uses. The district is primary intended to accommodate the development of multi-dwelling housing. The regulations are intended to create desirable residential areas by promoting aesthetically pleasing environments, safety, privacy, and recreational opportunities.

STAFF ANALYSIS (cont'd)

Staff recommends approval of the request for two reasons. First, the proposed POS and Open Space zoning is low in intensity and will not detrimentally affect the residential neighborhood to the east. Second, the proposed zoning is suitable for this location because it conforms to the Cherry Street Legacy Plan. Adopted as an amendment to the 20/20 Plan, the Cherry Street Legacy Plan stresses the use of green spaces as “important to the overall tenor of community spirit”.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z-9007-14, a request for a zone change from RM36 Multi-Family Residential and RS6 Single Family Residential to POS Parks and Open Space, for a site located at 2920 Cherry Street, to the Toledo City Council, for the following two (2) reasons:

1. The request is consistent with the intent of The Cherry Street Legacy Plan, which was adopted as an amendment to the 20/20 Plan.
2. The proposed zoning classification is a down zoning and will not detrimentally affect the nearby residential neighborhood.

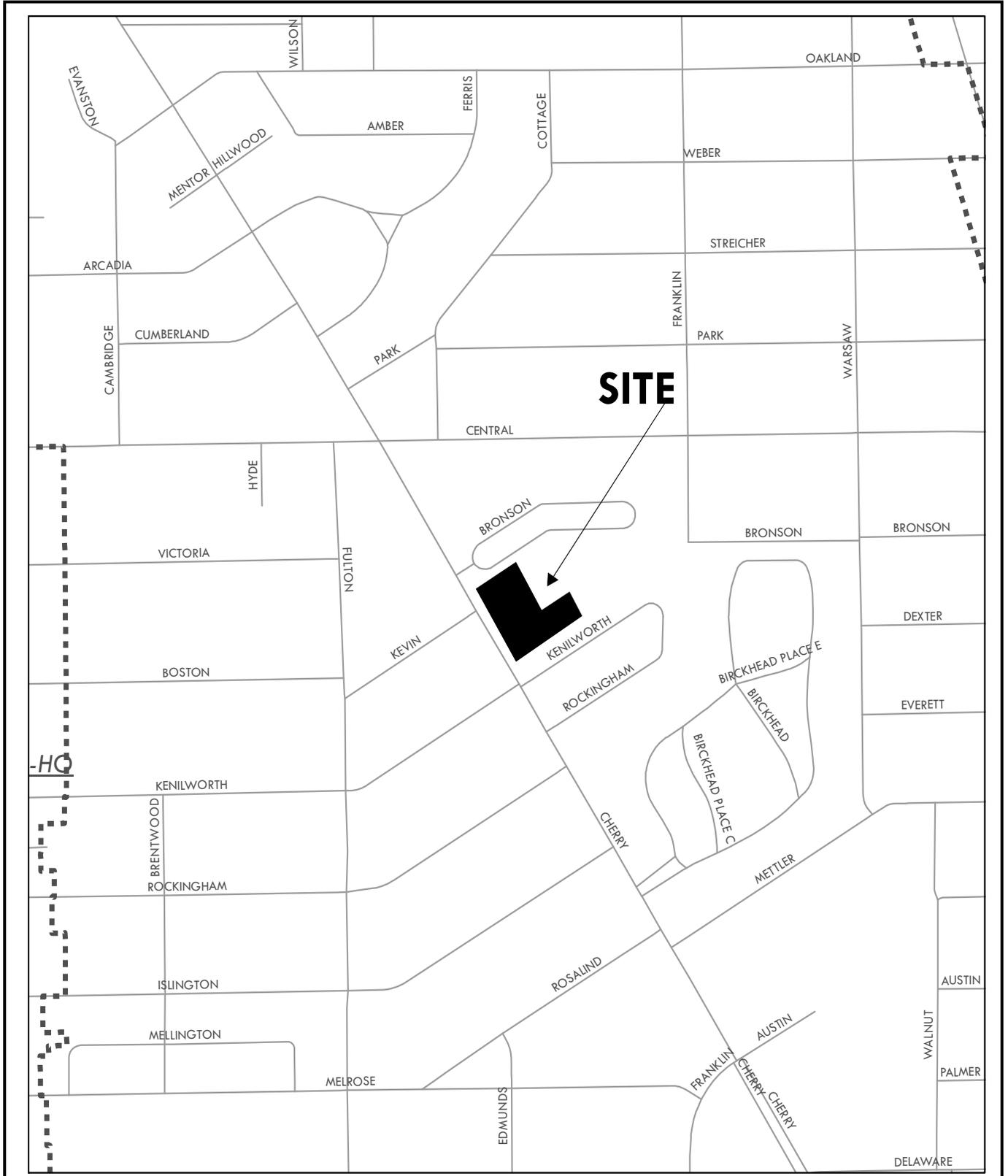
ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-9007-14
DATE: November 6, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: December 10, 2014
TIME: 4:00 P.M.

GP/bp
Two (2) sketches follow

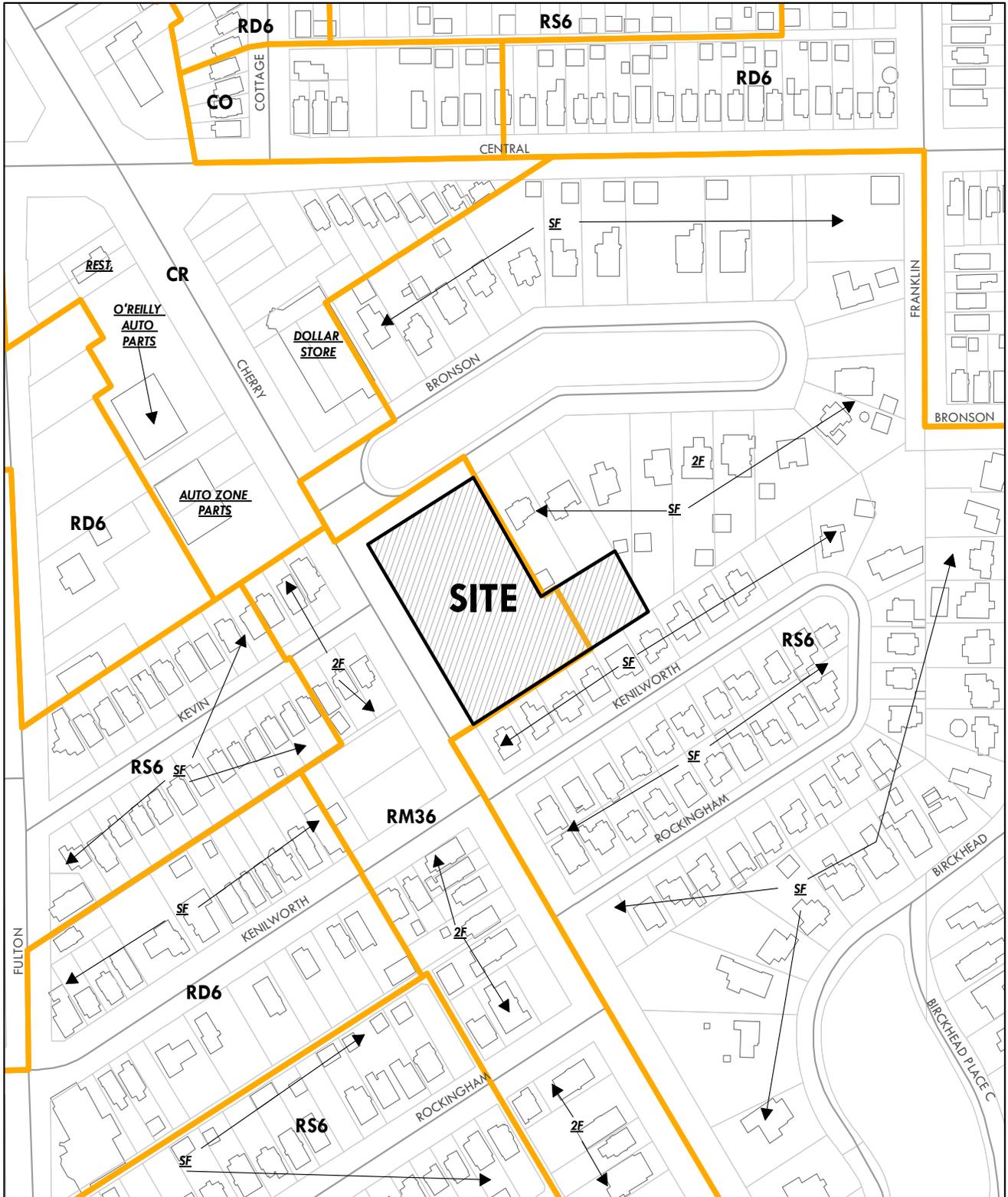
GENERAL LOCATION

Z-9007-14
ID 15



ZONING & LAND USE

Z-9007-14
ID 15



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GENERAL INFORMATION

Subject

- Request - Request for a Special Use Permit for “Utilities and Services, Major” and Maumee River Overlay District Review
- Location - 2424 Summit Street (aka 2404 Summit Street)
- Applicant - David Welch
Division of Streets, Bridges, and Harbors
1189 Central Avenue
Toledo, OH 43610

Site Description

- Zoning - POS Parks and Open Space, MRO Maumee Riverfront Overlay
- Area - ± 42.74 acres
- Frontage - ± 2,577’ along Summit Street (back portion)
- Existing Use - Undeveloped
- Proposed Use - Agriculture Field and City leaf composting facility

Area Description

- North - Railroad Tracks / IG, POS, MRO
- South - Maumee River North Bank / MRO
- East - Socie Incorporated / IG, MRO
- West - Hansen-Mueller Company / IG, MRO

Parcel History

- V-384-14 - Request for a vacation of 69.5 foot portion of Water Street and a 140 foot portion Ohio Street in the plat of North Toledo. Approved by Plan Commission on 10/9/14.
- V-383-14 - Request for a vacation of a portion of Galena Street from the harbor line of the Maumee River to a point 66’ south of the SE Railroad right of way. Approved by Plan Commission on 10/9/14.

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- Maumee Riverfront Overlay

STAFF ANALYSIS

The applicant is requesting a Special Use Permit and Maumee River Overlay District Review to facilitate the construction of two projects to be located on the riverside of Summit Street. The ±42.47 acre site is zoned for General Industrial and Parks and Open Space and is currently undeveloped with the exception of a cell tower. It encompasses the east portion of Jamie Farr Park but will not affect the active portion of the park. The site is bordered to the north by railroad tracks and bordered to the south by the Maumee River. This case is reviewed as a Major Utilities and Services use.

The first project will encompass approximately half of the site and will include an Agriculture Field Improvement Pilot Project utilizing river dredging material. The intent of the Pilot Project is to demonstrate to farmers the beneficial re-use of dredge material to grow crops. The crops will be grown and cultivated in a system of cells filled with dredging material, and a series of trenches and drainage piping to facilitate dewatering of the dredge material. A system of trenching and piping will direct water leaving the cells to a perimeter system to be treated by a vegetative buffer strip.

The second project will use the remaining area to operate a permitted Ohio Environmental Protection Agency Class IV leaf composting facility for the City of Toledo. The Division of Streets, Bridges, and Harbors collects approximately 100,000 cubic feet annually during the fall leaf pick up program. The letter of intent states that leaves will be placed in wind-rows that are no higher than 9-feet and will be periodically “turned” to enhance the composting and for odor control. The compost will become soil in less than a year and will be used by the City of Toledo. Also, the compost will get blended into the dredge material to improve the quality of the soil for the pilot project. Class IV compost facilities are highly regulated and are required to have proper surface controls, a 200’ setback from any source of fresh water, and adhere to other regulations in place for environmental protection.

STAFF ANALYSIS (cont'd)

Parking and Circulation

The site plan depicts a 60' x 200' parking lot to be developed on the eastside of the parcel. The parking lot will be accessed via a proposed new access road. The separate access road will connect with an existing access road to provide circulation throughout the entire site. The Toledo Municipal Code require that "Utilities and Services, Major" adhere to the standards of off-street parking Schedule D. Upon receiving a development application for a use subject to "Schedule D" standards, the Planning Director must apply the off-street parking standard specified for the listed use that is deemed most similar to the proposed use or establish minimum off-street parking requirements on the basis of a parking study prepared by the applicant.

Landscaping and Screening

The site plan depicts a proposed fence line that will encompass the entire parcel. In all commercial and industrial districts, fencing to screen outdoor storage areas from public view is required to be at least 6 feet high, but not higher than 10 feet. The site plan does not indicate the height or material of the proposed fence. Staff recommends a 7-foot high solid wood fence. Fencing characteristics shall be submitted and clearly defined for the approval of the Plan Commission.

Surrounding land uses include General Industrial uses bordering the east and west property lines. Railroad tracks are to the north beyond a tree line. The Maumee River is to the south of the site.

The Toledo 20/20 Comprehensive Plan targets 2424 Summit Street (aka 2404 Summit Street) for General Industrial and Parks and Open Space land uses. The IG General Industrial district is intended to permit moderate and high-impact industrial uses, including large scale or specialized industrial operations requiring good transportation access and public facilities and services. The POS Parks and Open Space zoning district is intended to preserve and enhance major open space recreational areas by protecting the natural amenities they possess and by accommodating development that is compatible with those natural amenities. The Special Use Permit is suitable for this location because it conforms to the 20/20 Comprehensive Plan and meets the stated purpose of the Toledo Municipal Zoning Code.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-9009-14 and MRO-5-14, a Special Use Permit for "Utilities and Services, Major" and Maumee River Overlay District Review for a site located at 2424 Summit Street (2404 Summit Street), to the Toledo City Council, for the following two (2) reasons:

STAFF RECOMMENDATION (cont'd)

1. The proposed use conforms to the Toledo 20/20 Comprehensive Plan.
2. The proposed use will not negatively impact any nearby properties.

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP-9009-14 and MRO-5-14, a request for a Special Use Permit for “Utilities and Services, Major” and Maumee River Overlay Review for a site located at 2424 Summit Street (2404 Summit Street), to the Toledo City Council, subject to the following **thirty-five** (35) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions:

Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramp within the public right-of-way shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All commercial drive approaches (along with the sidewalk through the drive), shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.
4. Contact Joe Warnka at (419) 245-1341 for inspection of above mentioned items.
5. There is a 72-inch-diameter water main crossing the property at a depth of approximately 100 feet beneath the ground surface. A minimum 50-foot-wide easement will be required to maintain this water main. The easement shall be dedicated to the City of Toledo, for the City utility use only, to allow for future maintenance and shall not be combined with easements for other utilities. The following language shall appear on the easement:

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

The City of Toledo shall have a permanent easement, with rights of ingress and egress, over the utility easement areas for the purpose of operating, maintaining, and constructing any public utilities located within the easement. The property owner shall not construct fences, walls, or other barriers that would impede the City of Toledo's access onto the easement. No temporary or permanent structure, including building foundations, roof overhangs, or other barriers denying access, may be constructed on the easement. Driveways and parking lots are acceptable.

The property owner releases the City of Toledo from any liability, responsibility, or cost resulting from the City's removal of any barriers that deny ingress or egress from the easement or that obstruct access to the public utilities located on said property, and the City of Toledo shall have no obligation or duty to restore or compensate the property owner for the removed facilities.

6. Plans submitted indicate earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan for this project shall be submitted for stormwater approval.
7. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for stormwater detention and post-construction stormwater BMP's.
8. Plans are also subject to the: Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
9. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
10. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention are encouraged and may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

11. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
12. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
13. No construction work, including grading, will be permitted without approved plans and inspection.
14. Dredging, filling, clearing, or otherwise altering wetlands is prohibited without first providing proof of compliance with the following permits: Section 401 of the Clean Water Act, Ohio EPA Isolated Wetland Permit, and Section 404 of the Clean Water Act. If a permit does not apply, provide a letter from a qualified professional certifying that they have surveyed the site and determined that the permit is not applicable. All certifications and delineations shall include written concurrence from the U.S. Army Corps of Engineers and/or Ohio EPA, as appropriate, in accordance with protocols currently accepted by the U.S. Army Corps of Engineers.
15. Being in or adjacent to a flood hazard zone, this area is subject to Toledo Municipal Code, Chapter 1110, which must be complied with in full.
16. A pre-submittal stormwater meeting is not required; however, one may be requested by contacting Andy Stepnick 419-245-1338 or Lorie Haslinger at 419-245-3221.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Tim Grosjean, ph. 419-245-1344

17. Need to stay away from pump station and storage pipe recently installed in the area.

Sewer & Drainage Services

No comments and/or objections to the site plan.

STAFF RECOMMENDATION (cont'd)

Environmental Services

18. Applicant shall maintain compliance with the City of Toledo's National Pollutant Discharge Elimination System Permit.
19. Applicant shall maintain compliance with the City of Toledo's Stormwater regulations as specified in the Toledo Municipal Code.
20. Applicant shall maintain compliance with Ohio EPA's Stormwater regulations specified in the Ohio Administrative Code.
21. Applicant shall maintain compliance with U.S. EPA's Clean Water Act regulations specified in the Code of Federal Regulations.
22. Applicant shall maintain compliance with the City of Toledo's Air Quality regulations specified in the Toledo Municipal Code.
23. Applicant shall maintain compliance with the State of Ohio's Air Quality regulations as specified in the Ohio Administrative Code.

Fire Prevention

No comments and/or objections to the site plan.

Transportation

24. The proposed access road shall be surfaced with concrete, with bituminous asphalt, or other dust free material other than gravel.

Building Inspection

25. The construction of any new structure, addition, or alterations to an existing building will require documents stamped by a design professional to be submitted to the Division of Building Inspection for plan review and approval. Construction documents must show that the new structure and/or interior alterations will be built in compliance with the building, mechanical and fire codes of the City of Toledo, and, by referenced authority, those of the State of Ohio. Construction must also comply with federal ADA regulations.
26. Any signs on the property, will require a separate plan and review permit(s) in accordance with the City of Toledo's sign codes (Toledo Municipal Code §1113 and §1377 – §1397).

STAFF RECOMMENDATION (cont'd)

Transportation (cont'd)

27. Any fence screening will require a Certificate of Zoning Compliance, issued by the Division of Building Inspection.

Plan Commission

28. The applicant shall submit a parking study documenting the parking necessary to meet the needs of the land use. The parking study must include estimates of parking demand based on recommendations of the Institute of Engineers, or other acceptable estimates as approved by the Planning Director. Comparability will be based on uses that are the same as or comparable with the proposed use.
29. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks **(if applicable)**.
30. Façade colors shall be low-reflectance, subtle, neutral or earth tone colors. Building trim and accent areas may feature brighter colors, including primary colors subject to the approval of the Planning Director **(if applicable)**.
31. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.
32. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping areas.
33. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Fencing plan shall detail material and height of the fence for approval by the Planning Director;
 - b. A ten foot (10') parking lot perimeter landscape buffer shall be provided abutting the parking; **acceptable as depicted on site plan.**
34. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

35. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

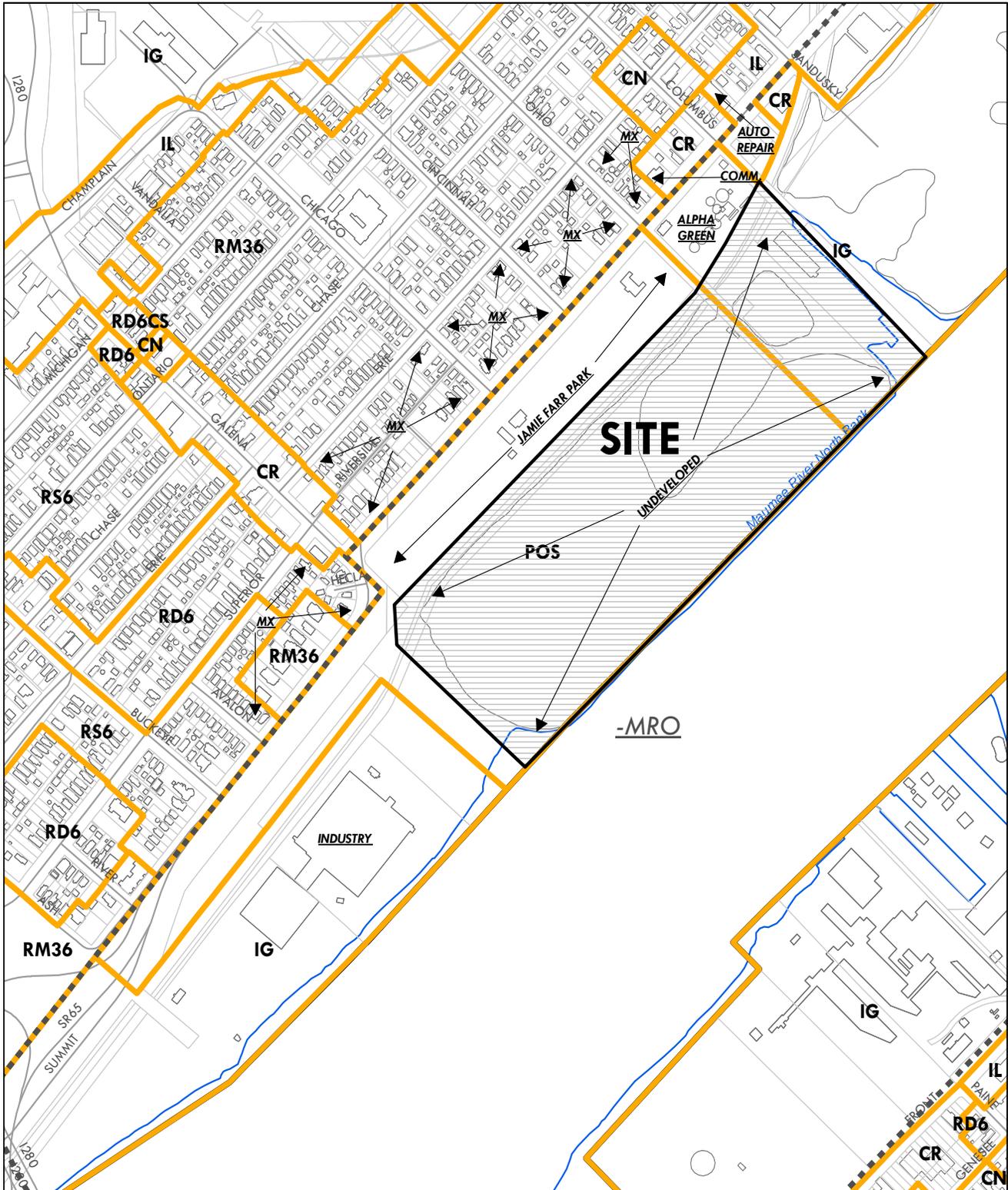
SPECIAL USE PERMIT & MAUMEE RIVER
OVERLAY DISTRICT REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SUP-9009-14
DATE: November 6, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: December 10, 2014
TIME: 4:00 P.M.

GP/bp
Four (4) sketches follow

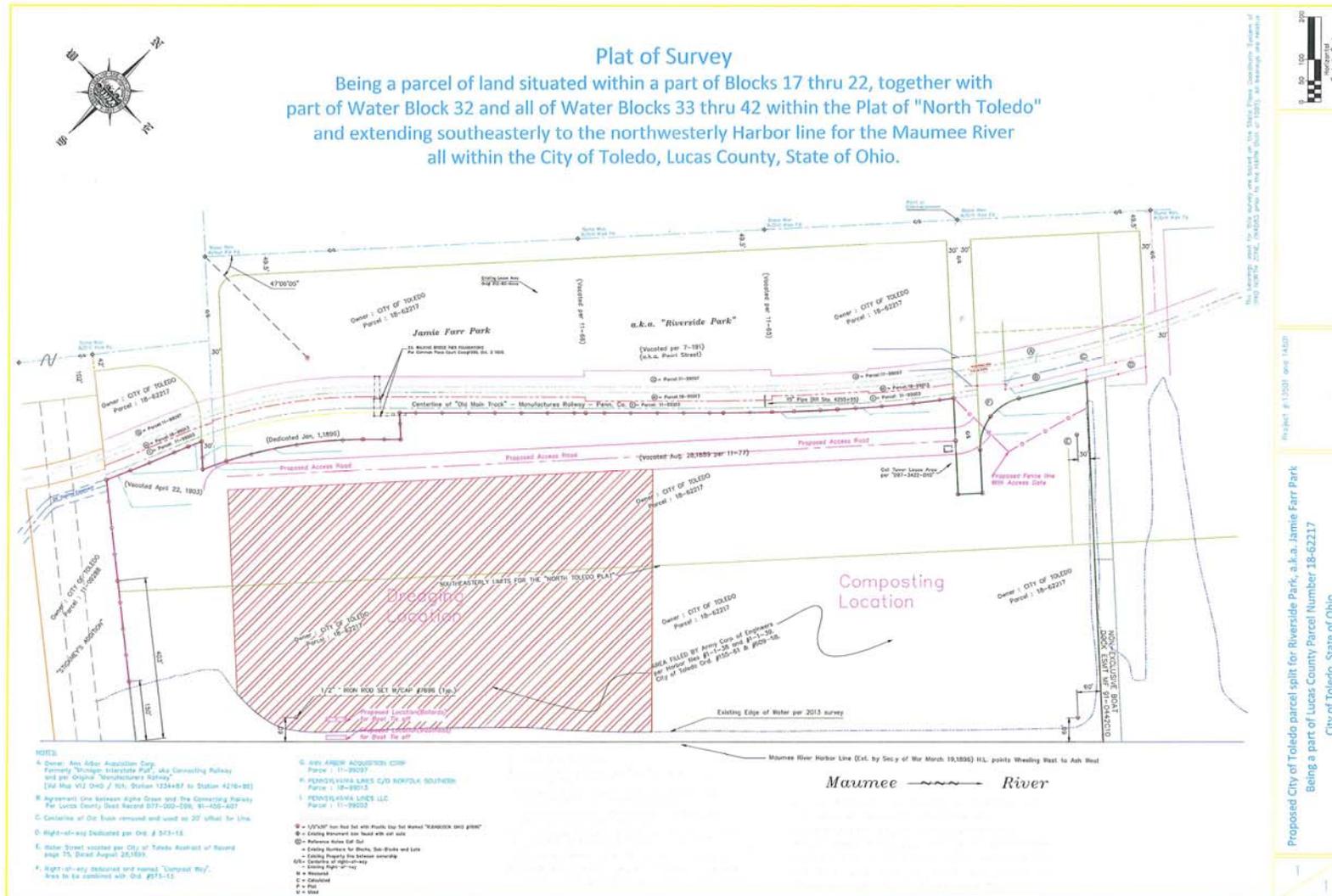
ZONING & LAND USE

SUP-9009-14 &
MRO-5-14
ID3



SITE PLAN COLOR

**SUP-9009-14
& MRO-5-14
ID 3**



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GENERAL INFORMATION

Subject

- Request - Zone change from RS6 Single Family Residential District and CR Regional Commercial to IC Institutional Campus
- Location - 2100 W. Central Avenue
- Applicant - Tim Grohnke
The Toledo Hospital
2142 North Cove Boulevard
Toledo, OH 43606
- Attorney - Mark Rose
Marshall & Melhorn, LLC
Four Seagate
Eighth Floor
Toledo, OH 43604
- Engineer - Paul Winters
ESA
5353 Secor Road
Toledo, OH 43623

Site Description

- Zoning - RS6 Duplex Residential District and CR Regional Commercial
- Area - 22.75 ± acres
- Frontage - 699' on Central Avenue
583' on Promedica Parkway
732' on St. Bernard Drive
- Existing Use - Vacant land and medical office buildings
- Proposed Use - Helipad and medical office buildings

Area Description

- North - I-475, Colony Park, & Mckinley School / POS & RS6
- South - Central Avenue, Vacant Land and Commercial / CR
- East - Promedica Parkway, Vacant Land & Commercial / RS6 & CR
- West - Single Family & Vacant Land / RS6 & CR

GENERAL INFORMATION (cont'd)

Parcel History

- Z-48-41 - Request for zone change from “A” district to “B” district, approved by Plan Commission on 3/13/41.
- P-5-59 - Request for off-street parking review for Toledo Hospital parking lot, approved by Plan Commission 6/4/59
- P-8-62 - Request for off-street parking review for Toledo Hospital parking lot, approved by Plan Commission 8/9/62
- Z-126-66 - Request for special use permit for addition to Toledo Hospital, approved by Plan Commission 5/26/66
- Z-314-70 - Request for amendment to special use permit for building expansion and parking lot, approved by Plan Commission 12/3/70, City Council Ord. 1149-70 on 12/14/70
- Z-148-72 - Request for amendment to special use permit, approved by Plan Commission 8/3/72
- Z-192-74 - Request for amendment to special use permit to add additional lots to the hospital property, approved by Plan Commission 8/15/74, City Council Ord. 728-74 on 8-27-74
- Z-308-75 - Request for amendment to special use permit to allow for re-designation of hospital traffic circulation approved by Plan Commission 6/30/77, City Council Ord. 511-77 on 12/21/77
- T-150-76 - Request for deed transfer, approved administratively on 6/30/76
- SUP-6-78 - Request for amendment to special use permit to add additional property for parking lots, approved by Plan Commission 5/4/78, City Council Ord. 368-78 on 7/26/78

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- V-77-78 - Request for the vacation of a portion of Christie Street east of Midwood Avenue, approved by Plan Commission 6/15/78, City Council Ord. 534-78 on 7/2/78
- SUP-216-81 - Request for amendment to special use permit for review and approval of Toledo Hospital Master Plan, approved by Plan Commission 11/5/81, City Council Ord. 730-81 on 3/3/82
- SUP-162-84 - Request for amendment to special use permit, approved by Plan Commission 11/1/84, City Council Ord. 829-84 on 11/7/84
- SUP-136-86 - Request for amendment to special use permit, approved by Plan Commission 7/10/86, City Council Ord. 617-86 on 7/23/86
- Z-40-86 - Request for comprehensive zone change in the Colony Neighborhood, approved by Plan Commission 3/20/86, City Council Ord. 280-86 and 399-86
- Z-12007-93 - Request for zone change from R-3 to C-3, for 3 small parcels, approved by Plan Commission 1/6/94, City Council Ord. 53-94 on 6/22/94
- Z-8001-00 - Deferred from 10/12/00 Plan Commission agenda
- Z-8001-00 - Companion zone change
- Z-3003-05 - Zone change from RM36, RS6, CO, RD6 to IC and Master Plan for Toledo Hospital. Plan Commission approved 4/14/05. (South Campus) Ord. 393-05, 5/31/05.
- SPR-55-12 - Site plan review for new medical office building. PC approved 1/10/14.
- Z-9007-12 - Zone change from CO, RD6 & POS to CR. Ord 602-12, 1/22/13.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- Z-4001-14 - Amendment to IC Master Plan to add a helipad and relocate the Ronald McDonald House. Ord. 267-14, 6/17/14.
- Z-4002-14 - Zone change from RS6 Single Dwelling Residential to IC Institutional Campus District. Ord. 266-14, 6/17/14.
- S-19-14 - Preliminary drawing of TOLEDO NORTH CAMPUS PLAT (companion case)

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning Chapter 1111.1300,
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

This request is for a zone change from RS6 Single Family Residential District and CR Regional Commercial to IC Institutional Campus. The requested rezoning will accommodate development of the property as medical offices and other facilities and improvements supportive of the Toledo Hospital Campus. The focus of this request is to eliminate the various zoning classifications and consolidate it under the "IC" Institutional Campus zoning district. This request reflects the IC zoning that currently exists for the south campus between Monroe Street and North Cove Boulevard which was rezoned in 2005. The Institutional Campus zoning allows Promedica to submit a master plan that they can implement and construct over a 5-10 year period.

Promedica is situated on approximately 57 acres with the South Campus consisting of 34 acres and the North Campus containing approximately 23 acres. The South Campus consists of nine (9) main structures. These structures consist of the following: Toledo Hospital, Toledo Children's Hospital, Emergency Pavilion, McIntosh and Jobst office towers, Johnson House (Administrative office building), the Renaissance Project and two parking garages. The parking garages contain 2,925 spaces and the surface lots provide an additional 200 spaces for a total of 3,125 spaces.

The North Campus contains three (3) buildings, The Center for Health Services, Mary Ellen Falzone Diabetes Center for Excellence, and a recently approved 2-story medical facility. These buildings are served by adjacent surface parking lots. The backup helipad is proposed for the North Campus since the current helipad is being removed to construct the new Ronald McDonald House. In addition, two medical office buildings may be constructed on this site.

STAFF ANALYSIS (cont'd)

The hospital has operated within the South Campus for over 80 years. The South Campus has undergone continued change to meet the needs of the community. The North Campus Master Plan addresses the needs of a regional health care facility that allows for existing uses to remain intact while permitting expansion of those services which are demanded by the community. The Institutional Campus zoning gives the hospital the flexibility it needs to modify its facilities and operations while protecting the surrounding neighborhoods from development which is not coordinated or compatible.

The Toledo 20/20 Comprehensive Plan targets this site for Institutional Campus District. This accommodates large institutional uses in campus-like settings, such as hospitals, schools and colleges. The Institutional Campus District is intended to promote and enhance the development and expansion of medical, educational and other large institutional uses. The proposed use of this site is in compliance with the Toledo 20/20 Comprehensive Plan.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z-9001-14, a zone change from RS6 Single Family Residential District and CR Regional Commercial to IC Institutional Campus with an IC Master Plan located at 2100 W. Central Avenue to Toledo City Council, for the following three (3) reasons:

1. The proposed amendments to the IC Master Plan are in conformance with the Toledo 20/20 Comprehensive Plan. (TMC 1111.1309 A, Institutional Campus, Approval Criteria)
2. The proposed amendments comply with all applicable standards of the Toledo Municipal Code. (TMC 1111.1309 B, Institutional Campus, Approval Criteria)
3. The proposed amendments will not result in significant adverse impact to other property in the vicinity of the subject tract or to the natural environment. (TMC 1111.1309 C, Institutional Campus, Approval Criteria)

ZONE CHANGE REQUEST
TOLEDO CITY PLAN COMMISSION
REF: Z-9011-14
DATE: November 6, 2014
TIME: 2:00 P.M.

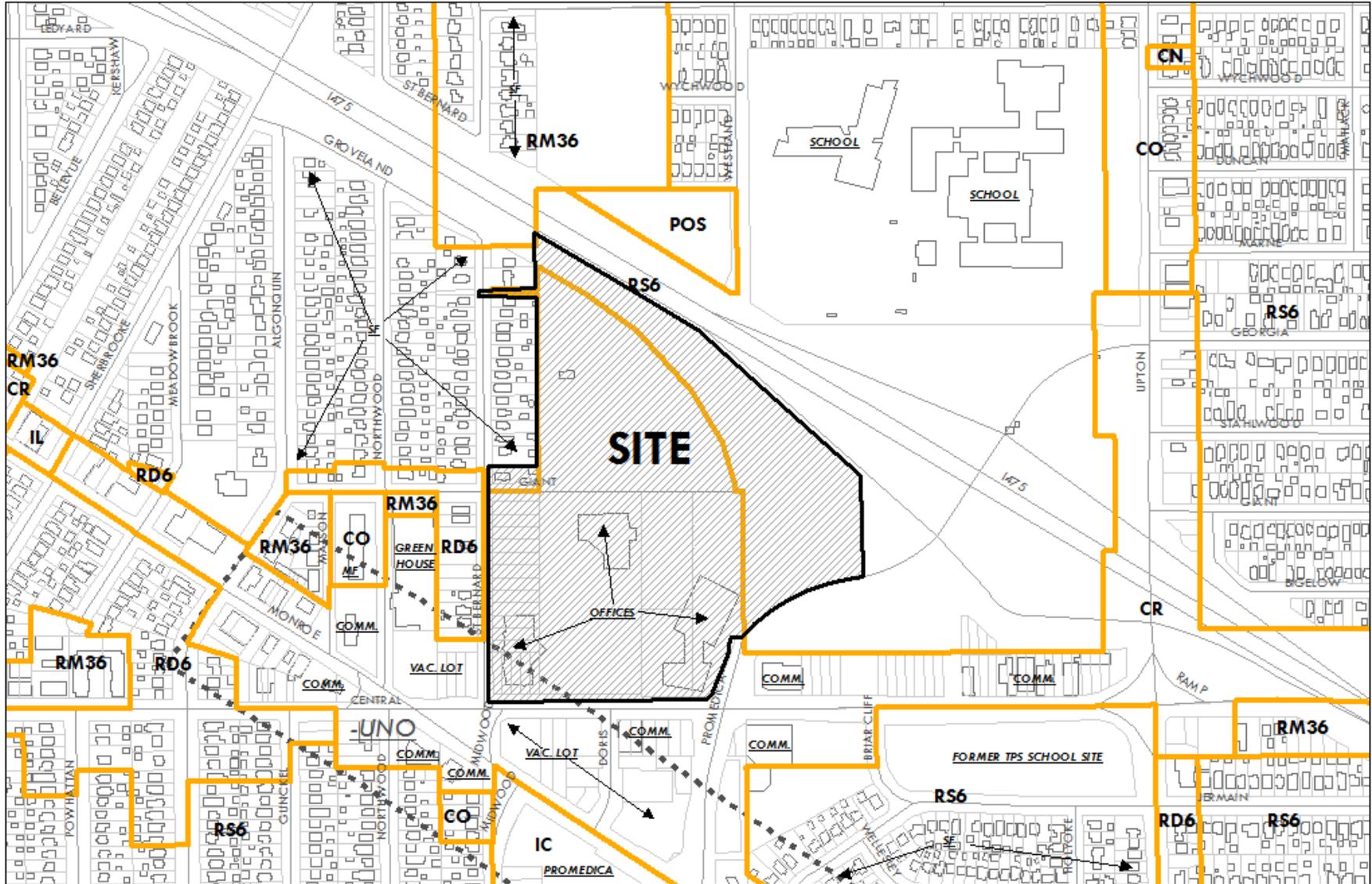
REF: Z-9011-14. . .November 6, 2014

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: December 10, 2014
TIME : 4:00 P.M.

TCG/bp
Four (4) sketches follow
Exhibit A

ZONING & LAND USE

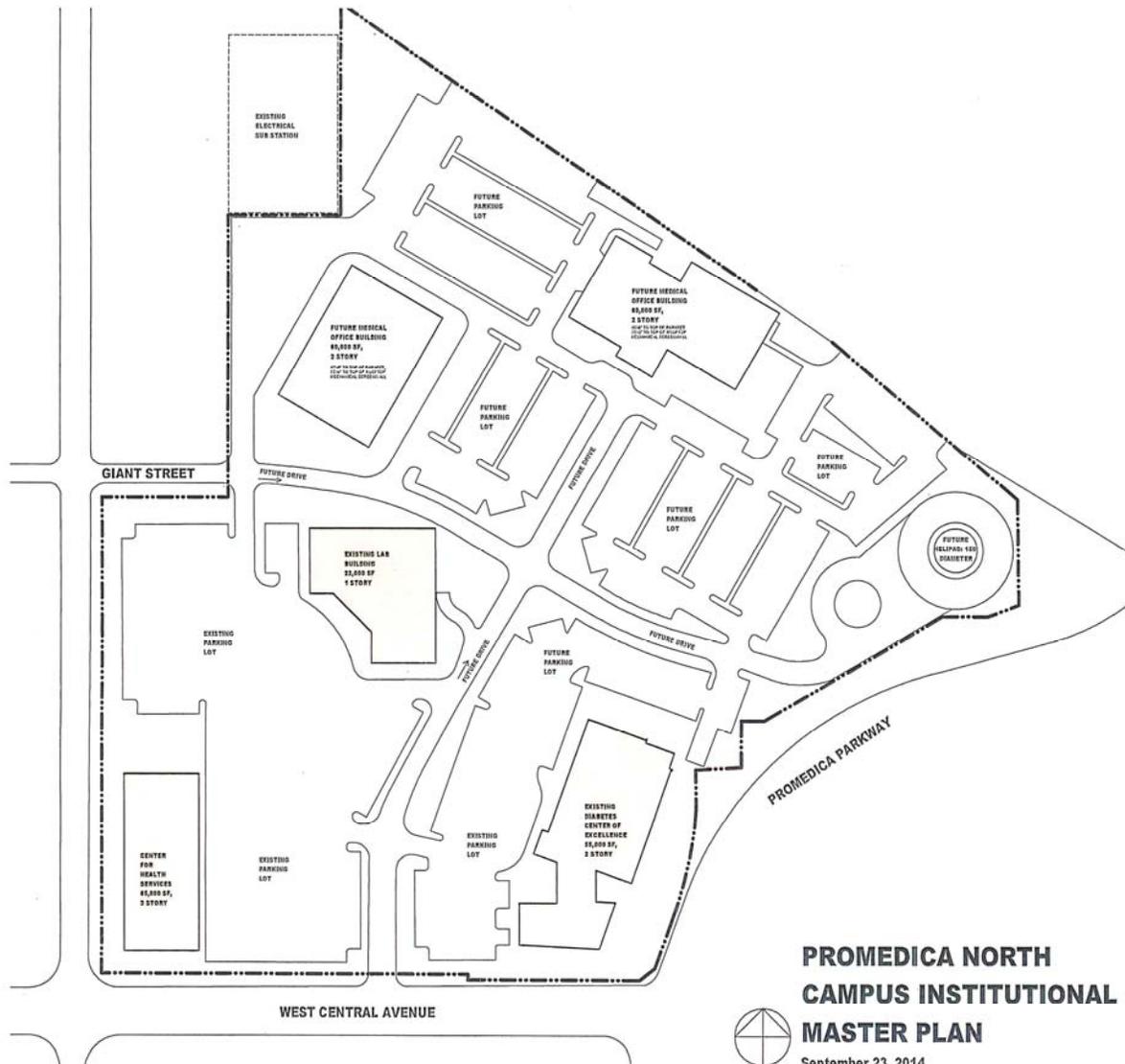
S-19-14
Z-9011-14
ID 45



5-8, 6-9

MASTER PLAN (PROPOSED)

S-19-14
ID 45



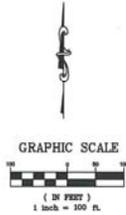
**PROMEDICA NORTH
CAMPUS INSTITUTIONAL
MASTER PLAN**



September 23, 2014

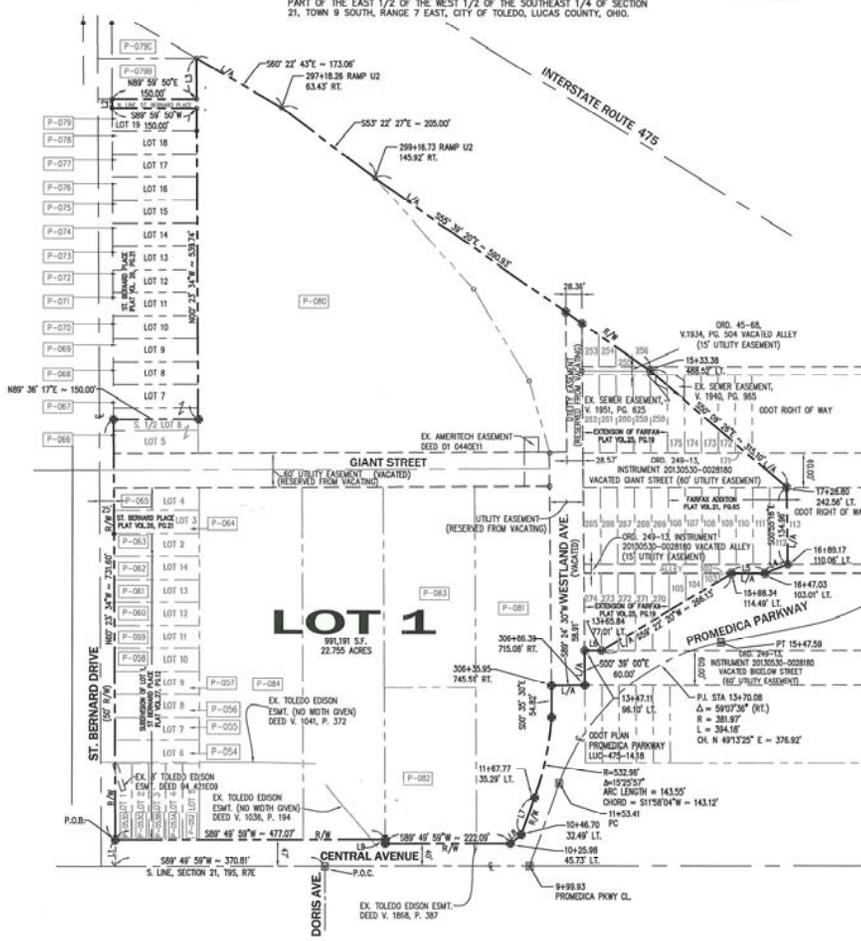
TOLEDO HOSPITAL NORTH CAMPUS PLAT

S-19-14
ID 45



TOLEDO HOSPITAL NORTH CAMPUS PLAT

PART OF THE EAST 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 21, TOWN 9 SOUTH, RANGE 7 EAST, CITY OF TOLEDO, LUCAS COUNTY, OHIO.



- LEGEND**
- TYPE "A" MONUMENT - 6" DIA. X 30" CONCRETE WITH 2" DIA. ALUMINUM DISK STAMPED "ESA LLC." WITH "X" PUNCH AND IRON PIN. TO BE SET BY SURVEYOR
 - EXISTING HOLLOW PIPE
 - EXISTING 5/8" IRON ROD
 - FOUND MONUMENT BOX
 - FOUND 3/4" IRON PIPE WITH ALUMINUM CAP MARKED "0001 R/W MSS PS#6909"
- P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING

LINE TABLE

L1	=	N00° 23' 34"W	=	47.00'
L2	=	N00° 23' 34"W	=	16.00'
L3	=	N00° 23' 34"W	=	71.01'
L4	=	S89° 17' 47"W	=	42.72'
L5	=	S89° 51' 04"W	=	59.80'
L6	=	S89° 50' 40"W	=	29.80'
L7	=	S89° 41' 03"W	=	68.86'
L8	=	S52° 01' 24"W	=	24.52'
L9	=	N00° 10' 01"W	=	7.00'

LOT 1
991,191 S.F.
22.755 ACRES

esa
Engineers, Surveyors & Associates, LLC
5353 Secor Rd., Toledo, Ohio 43624 Phone (419) 475-9445

2
2

5 - 10, 6 - 11

THE TOLEDO HOSPITAL
AMENDED AND RESTATED
IC – INSTITUTIONAL CAMPUS MASTER PLAN
(the “Plan”)

FOR

THE TOLEDO HOSPITAL/THE TOLEDO CHILDREN’S SOUTH CAMPUS

AREAS BOUNDED BY

SOUTH CAMPUS AREA: BOUNDED BY MONROE STREET, PROMEDICA PARKWAY,
NORTH COVE BOULEVARD, AND MIDWOOD AVENUE

NORTH CAMPUS AREA: PROPERTY NORTH OF WEST CENTRAL AVENUE,
NORTHWEST OF PROMEDICA PARKWAY, SOUTHWEST OF
I-475, EAST OF ST. BERNARD DRIVE BETWEEN WEST
CENTRAL AVENUE AND GIANT STREET, AND EAST OF
LOTS 5 THROUGH 19 IN ST. BERNARD PLACE

[NOTE: THIS PLAN AMENDS AND RESTATES THE IC-INSTITUTIONAL CAMPUS MASTER
PLAN APPROVED BY ORDINANCE NO. 393-05 AND ORDINANCE NO. 267-14]

September 26, 2014

I. Project Overview.

A. Rezoning Requested; Existing Zoning. The Toledo Hospital (herein, the “Hospital”) is submitting this Plan for a rezoning of the property North of the South Campus (property North of West Central Avenue, Northwest of Promedica Parkway, Southwest of I-475, East of St. Bernard Drive between West Central Avenue and Giant Street, and East of Lots 5 through 19 in St. Bernard Place, which will be described herein as the “North Campus”) to “IC, Institutional Campus District” as described in TMC §1102.1600 (see Attachment IV). The North Campus includes the North Campus Helipad Site as identified in Ordinance 267-14. The current zoning applicable to the North Campus includes “IC” for the North Campus Helipad Site, “RS6” for the area North of vacated Giant Street between I-475 and the East line of Parcel No. 18-27477, and “CR, Regional Commercial” for the remainder of the North Campus. The current zoning applicable to the South Campus is “IC, Institutional Campus District”.

B. Purpose of Rezoning. In accordance with Ordinance No. 393-05, the Hospital requested rezoning of the South Campus in connection with the Hospital’s “Renaissance Project” - an approximately \$200 million renovation of the Hospital’s existing hospital and related medical/support facilities at the South Campus. The Renaissance Project is now substantially complete. In accordance with Ordinance No. 267-14, the Hospital added the construction of an approximately 44,026 square foot facility (the “RMH Project”)

which will be constructed and owned by (subject to a ground lease) Ronald McDonald House Charities of Northwest Ohio Inc. ("RMH") in the place of the current ground-based helipad, and requested rezoning of the North Campus Helipad Site in connection with the relocation of the current ground-based helipad. The rezoning of the North Campus is requested to accommodate development of the North Campus as medical offices and other facilities and improvements supportive of the South Campus.

- C. Attachments to this Narrative. This Narrative includes the following attachments:
1. Attachment I: Legal Description of the South Campus.
 2. Attachment II: Drawing prepared by HKS Inc. dated March 26, 2014 showing the South Campus, the existing improvements, and the RMH Project on the parcel North of Hughes Drive. This drawing will be referred to as the "South Campus Master Plan Drawing".
 3. Attachment III: Legal Description of the North Campus.
 4. Attachment IV: Drawing dated September 23, 2014 showing the North Campus, existing improvements, and improvements contemplated in connection with the North Campus project. This drawing will be referred to as the "North Campus Master Plan Drawing".

II. IC Master Plan.

The following discussion addresses the pertinent provisions of TMC §1111.1300 which (along with TMC §1111.1201) requires approval of an Institutional Master Plan submitted by the Hospital before the Hospital may proceed with development of the North Campus. This Plan, the plans approved by Ordinance Nos. 393-05 and 267-14, the drawing titled Promedica North Campus Institutional Master Plan (dated September 23, 2014) (a copy of which is attached hereto as Attachment IV), and the drawing titled Institutional Master Plan (March 26, 2014) prepared by HKS Inc. (a copy of which is attached hereto as Attachment II), along with any amendments or supplements to these items which are submitted for approval in accordance with the Toledo Zoning Code comprise the Hospital's "Master Plan".

- A. TMC §1111.1304A -- Planning Horizon. The Hospital has substantially completed the development and construction of the Renaissance Project. RMH intends to commence its development of the RMH Project on or about July 2014 and complete the project over the ensuing sixteen (16) months. The Hospital intends to commence its development of the North Campus by the end of 2014 and to complete the construction over the ensuing 5-10 years provided, however, the actual "Planning Horizon" for completing the North Campus project may be longer or shorter depending on factors within and outside of the Hospital's control, including, without limitation, the following factors: (1) competitive and economic conditions in general and specific to the Hospital, (2) regulatory action in general and specific to the Hospital, (3) changes in the health care industry in general and, specifically, changes in the health care needs of the communities served by the Hospital, (4) financial circumstances and resources of the Hospital and the allocation of such financial resources from time to time by the governing authority for the Hospital, and (5) final approval by the governing authority of the Hospital of the program scope and cost for each of the several phases comprising the North Campus project.

- B. TMC §1111.1304B -- Mission and Objectives. The Hospital is an Ohio nonprofit corporation, originally incorporated in 1876, and is organized and operated exclusively for charitable purposes as set forth in Sections 501 (c)(3) of the Internal Revenue Code of 1986, as amended or any successor statute.

The Hospital's purposes include the operation of a hospital and other facilities for medical and surgical care and treatment of the sick, disabled and injured, and to furnish directly or indirectly, or assist in the furnishing of comprehensive medical services, inclusive of diagnostic and curative medical care, preventative medical care, care of the chronically ill, rehabilitation of the disabled and semi-invalid, all of which services the Hospital provides without regard to the race, color, religion, national origin, age, handicap, or sex of the patient.

The Hospital is the leading provider of health care services in Northwest Ohio and southeast Michigan. The Hospital is part of the ProMedica Health System, one of the most integrated health care systems in the United States. The Hospital is a Level I Trauma Center with pediatric commitment. Its Emergency Pavilion (completed in 2002) treats over 75,000 patients annually, representing approximately 1/3 of the region's emergency visits.

The North Campus project represents a continuation of the Hospital's commitment to provide the community with the most up to date health care services, all in a state of the art setting, in a cost effective and compassionate manner. The North Campus project addresses the current needs for patient care and provides a foundation for improved, cost-effective care for many years to come.

- C. TMC §1111.1304C -- Existing Property and Uses; Proposed Plan/Uses.

1. Existing Uses - Building/Land Statistics.

- (a) The South Campus is approximately 34 acres, of which approximately 2/3 is covered by medical and supportive facilities and the balance serves as parking (inclusive of parking garages), driveways, and green-space areas. The South Campus Master Plan Drawing shows the structures on the South Campus existing as of the date of this Plan.

The South Campus is served by 2 parking garages (labeled on the South Campus Master Plan Drawing as the "Existing North Parking Garage" with approximately 2000 spaces, and the "Existing South Parking Garage" with approximately 925 spaces), and surface parking lots along the south and southeast portions of the Hospital Campus, collectively containing an aggregate of approximately 200 parking spaces.

Buildings at the South Campus include "The Toledo Hospital", a 650 bed (800 licensed beds) tertiary hospital, the "Toledo Children's Hospital" (a Level III Perinatal Center providing the highest level of care in the region), the Emergency Pavilion, an approximately 44,000 square foot Level I Trauma Center, two 8-story medical/administrative office towers (i.e., McIntosh and Jobst), an educational/conference

center, a 3-story administrative office building (Johnson House), and the Renaissance Project which occupies approximately 460,000 square feet, in an 8-story (excluding roof-top mechanical rooms) (165' +/-) facility near the center of the South Campus. McIntosh Tower also includes the one-floor "ProMedica Inn", which provides overnight accommodations for persons visiting patients or staff while at the Hospital.

The South Campus also includes a helipad for use by emergency transport helicopters in transporting patients to and from the Hospital.

All of the foregoing structures/uses are identified on the attached South Campus Master Plan Drawing.

Access to South Campus is via Monroe Street/ProMedica Parkway and North Cove Boulevard.

The South Campus includes landscaping primarily around the perimeter of the South Campus, including mounding, fencing, and tree vegetation where the South Campus abuts residential areas. Lighting is provided throughout the South Campus as required by the Toledo Zoning Code and, in any event, so that deflection to off-site areas, especially residential areas, is minimized.

- (b) The North Campus is approximately 22.755 acres, which currently includes three buildings with an aggregate square foot area of 142,000, and the balance serves as parking, driveways, and green space areas. The North Campus Master Plan Drawing shows the structures on the North Campus existing as of the date of this Plan, along with the additional structures proposed for the North Campus project.

The current facilities are served by surface parking lots on the South half of the North Campus.

Existing buildings at the North Campus include "The Center for Health Services", a 65,000 square foot, 3-story facility that provides outpatient primary, selective specialty, and preventative care, the "Mary Ellen Falzone Diabetes Center for Excellence", a 55,000 square foot, 2-story facility that provides pediatric and adult patients with the latest care, education, and other services, and a 22,000 square foot, 1-story lab.

All of the foregoing structures/uses are identified on the attached North Campus Master Plan Drawing.

The North and West portions of the North Campus are currently undeveloped.

2. Proposed Uses- Building/Land Statistics.

(a) New Buildings.

- (i) On the South Campus, RMH will construct a two-story

approximately 44,026 square foot facility to provide a *home-away-from-home* for families that travel to Toledo for their children's specialized medical care.

- (ii) On the North Campus, the Hospital may construct two medical office buildings on the north-half of the North Campus, which land is currently undeveloped. Each medical office building may be up to 2-stories tall and occupy approximately 60,000 square feet.
- (iii) On the North Campus, the Hospital may construct an approximately 22,500 square foot helipad to provide a backup location for its existing roof-top helipad within the South Campus.
- (b) Existing Buildings. Existing buildings on the North Campus may be razed, renovated and/or modified and replaced by buildings of the same or lesser dimensions and/or may be relocated in whole or in part to the space allocated for the proposed medical office buildings described in Section II(C)(2)(a)(ii) above. Any parking areas lost as a result of modifications of parking areas would be replaced as needed to serve remaining improvements at the North Campus.
- (c) Uses. The North Campus project will result in the relocation of the Hospital's backup helipad.

While the Hospital expects that the existing use of the North Campus will remain unchanged during and after completion of the North Campus project, it also anticipates that these uses will, like health care services and delivery modes in general, evolve over time.

- (d) Parking; Interior Drives; Vehicular Access.
 - (i) The parking, as existing in the Existing North Parking Garage and Existing South Parking Garage, will not be changed unless adequate replacement parking is furnished should any of the spaces within these Garages be lost upon modification of the Garages.

The RMH Project will include approximately seventy-four (74) surface parking spaces to serve the new building.

Long-term, access to RMH Project and the Emergency Pavilion will be provided via a new service drive from Monroe Street between Midwood and ProMedica Parkway. Until this service drive has been approved by the Toledo Plan Commission and City of Toledo Department of Transportation, access to the RMH Project will be via existing Hughes Drive.

- (ii) Access to the North Campus is currently via West Central Avenue and Giant Street at St. Bernard Drive. In connection

with the North Campus project, interior drives from West Central Avenue and Giant Street at St. Bernard Drive will be added as identified on the North Campus Master Plan Drawing.

The surface parking will evolve over time to accommodate the North Campus development in accordance with the North Campus Master Plan Drawing.

- (e) Landscaping and Lighting Plans. Landscaping will be provided primarily around the perimeter of the North Campus. Where the North Campus abuts residential areas, such as along St. Bernard Drive, decorative fencing and tree vegetation will be employed to provide an appropriate screening buffer. Surface parking areas and pedestrian walkways will also benefit from adjacent landscaping. Lighting will be provided throughout the North Campus as required by the Toledo Zoning Code and, in any event, so that deflection to off-site areas, especially residential areas, is minimized.

Landscaping around the helipad site will be provided as needed to supplement existing landscaping.

- D. TMC §1111.1304D - Needs of the Institution. The Hospital has operated within the South Campus for over 80 years. During this time, the only constant has been the continued change the South Campus has undergone to meet the needs of the northwest Ohio and southeast Michigan community (e.g., at one time, the South Campus included a in-residence nursing school; 25 years ago, emergency transport helicopters were rarely used by hospitals - today they are indispensable equipment). The North Campus project represents many years of planning and design - multiple project and program scopes, architectural designs, and facility configurations were developed with input from all constituencies having an interest in the project, including Hospital administration, Hospital and private physicians and staff, patients and families of patients, and residents of the neighborhoods surrounding the South Campus and North Campus. Each constituency, of course, has a unique and important interest in the North Campus Master Plan - physicians and staff are concerned about their ability to deliver quality care to their patients in a safe and comfortable work environment; patients and their families demand quality care, which is as accessible as it is dignified; local residents are concerned about maintaining a campus which is harmonious with the neighborhoods in which it resides; and Hospital administration is concerned about addressing the demands of each of these constituencies in a cost effective manner.

Thus, the North Campus Master Plan addresses a number of needs of a regional health care facility such as the Hospital: it allows for existing uses to remain intact while permitting expansion of those services which are demanded by the communities it serves. The IC Zoning District, with its "building footprint" design, gives the Hospital the flexibility it needs to modify its facilities and operations while protecting the surrounding neighborhoods from development which is not coordinated or compatible with the neighborhoods or the roads, streets and public services serving these neighborhoods.

E. TMC §1111.1304E - Development Envelope.

1. The South Campus Master Plan Drawing depicts the existing buildings along with the RMH Project. The following information is provided as required by TMC §1111.1304E:

1. Floor Area Ratio (FAR) (assumes maximum build-out without razing any existing structures)	(a) 1,610,000 sq. ft. (maximum after completion of the RMH Project) (b) 1,494,108 sq. ft. of land area (based on 34.3 acres) (c) FAR = (a)/(b) = 1.077566
2. Average daily and peak-hour traffic	This information is in the Traffic Study (See Paragraph F of this Part II below) which was previously submitted.
3. Height of Major Improvements	The elevations for major structures at the South Campus are shown on the Master Plan Drawing as follows: <ul style="list-style-type: none"> • The height of the Renaissance Project is 8 stories plus a mechanical floor on the roof (165' +/-) • The height of the medical services building on the parcel north of Hughes Drive is 3 stories (60' +/-) • The height of the McIntosh/Jobst Towers is 10 floors (145' +/-) • The height of the Existing South Tower (8 stories- 125' +/-) • The height of the existing hospital building on the north side of the South Tower (attached to the South Tower) is 9 stories (125' +/-) • The height of the Existing South Parking Garage is 4 stores (50' +/-) • The height of the Existing North Parking Garage is 6 stories (75' +/-)
4. Setbacks	All building set-backs are defined by the building footprint areas shown the Campus Master Plan Drawing.
5. Total site area of green space	The total area of the South Campus dedicated to green space is 5.87 acres +/-.
6. Total parking spaces.	3,233 existing; 3,307 after the RMH Project.

EXHIBIT (A)

Z-9011-14

2. The North Campus Master Plan Drawing depicts the existing buildings along with the areas to be developed with the North Campus project. The following information is provided as required by TMC §1111.1304E:

1. Floor Area Ratio (FAR) (assumes maximum build-out without razing any existing structures)	(a) 262,000 sq. ft. (maximum after completion of the North Campus project and assuming no structures are razed) (b) 991,191 sq. ft. of land area (based on 22.755 acres) (c) FAR = (a)/(b) = .26432
2. Average daily and peak-hour traffic	The Hospital will prepare a traffic study as required for site plan review in connection with the site plan for each building.
3. Height of Major Improvements	The elevations for major structures at the North Campus are shown on the North Campus Master Plan Drawing as follows: <ul style="list-style-type: none">• The height of the Center for Health Services is 3 stories.• The height of the lab building is 1 story.• The height of the Diabetes Center for Excellence is 2 stories.• The height of each proposed medical office building is 2 stores (55' +/-)
4. Setbacks	All building set-backs are defined by the building footprint areas shown the North Campus Master Plan Drawing.
5. Total site area of green space	The green space on the North Campus will be similar in character and area to that used on the South Campus.
6. Total parking spaces.	The number of parking spaces will be determined as required by the Toledo Zoning Code.

- F. TMC §1111.1304F - Transportation Management Plan. The Hospital supported its Renaissance Project with a traffic study of the area surrounding and supporting the South Campus (as well as an evaluation of utilities, zoning, land use planning relating to the RMH Project), as submitted with prior plans (the "Traffic Study"). The Hospital will provide an updated Traffic Study applicable to the North Campus as required in connection with site plan review for the North Campus.
- G. TMC §1111.1304G - Pedestrian Circulation Plans. The South Campus includes sidewalks along ProMedica Parkway and North Cove Boulevard. Within the South Campus, multiple enclosed walkways provide access to parking areas, patient treatment areas, and physician/staff areas as appropriate. On the North Campus, sidewalks and walkways will be provided consistent with those provided on the South Campus.
- H. TMC §1111.1304H - Urban Design Guidelines. The South Campus and North Campus are characterized by the red-brick exteriors of its buildings - which is their most

predominant feature. The North Campus project and any renovations of existing buildings will incorporate materials and be designed to present a contemporary, forward-looking design but which remains harmonious with the traditional, secure design of the existing buildings and surrounding neighborhoods.

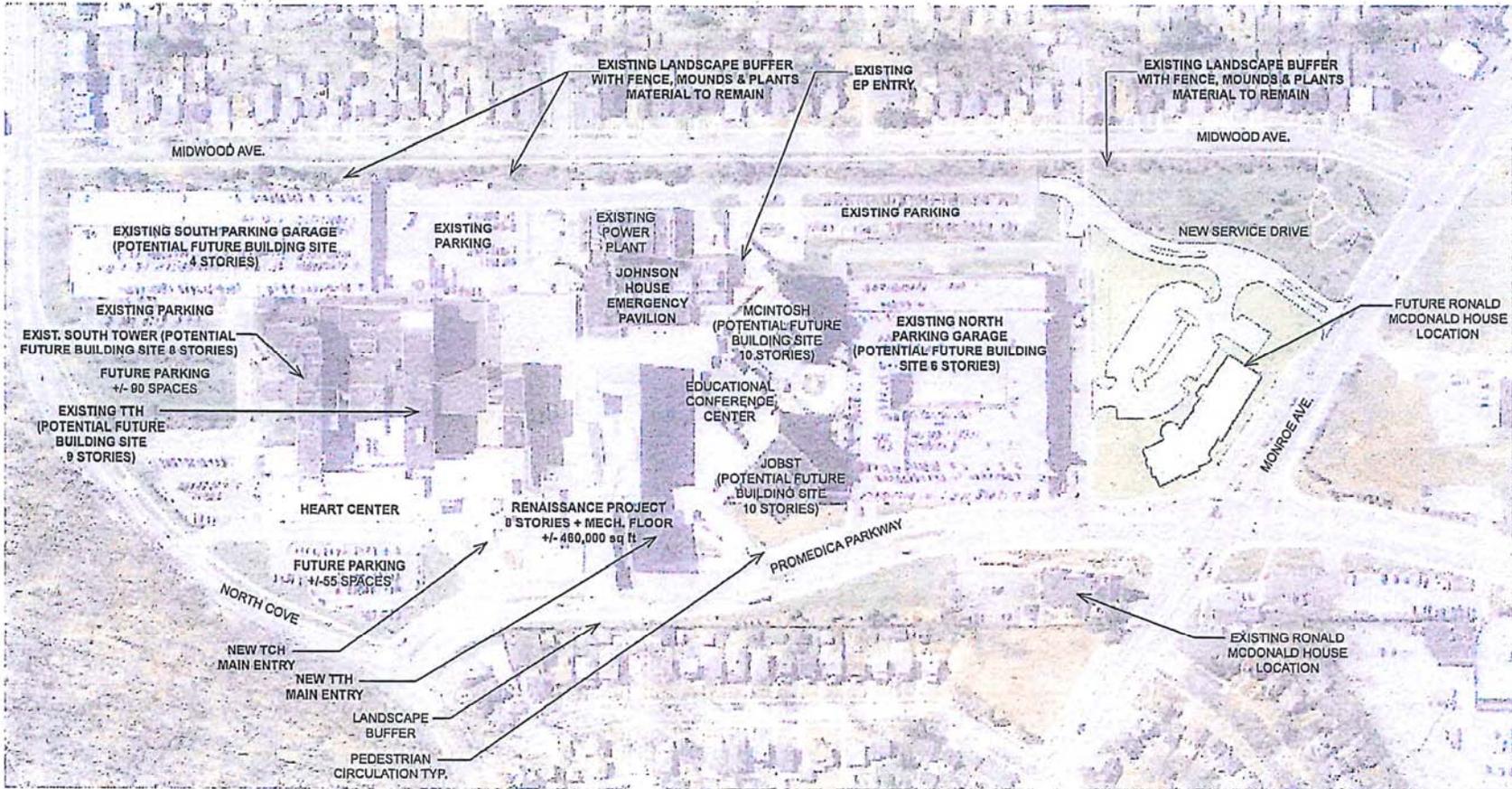
I. TMC §1111.13041 - Neighborhood Protection Strategy. The Hospital has, for several years, engaged the neighborhoods and their residents surrounding the Hospital in a cooperative effort to enhance and improve the quality of life for this area. Examples of these efforts include:

1. New Police Substation. The Hospital contributed in excess of \$250,000 toward the construction of a local police station in Ottawa Park which lies south of the South Campus near North Cove Boulevard.
2. Colony Park Improvement Program. Since instituting its Colony Park Improvement Program in the mid-1990s, the Hospital has acquired over a dozen homes, none of which were owner occupied, rehabilitated the homes with updating utilities and interior fixturing (as needed), and sold the homes to owners/occupiers. In connection with the CPIP, the Hospital has coordinated with local lenders to provide favorable financing for buyers of the CPIP homes.
3. Street Improvements. The Hospital has contributed or paid directly in excess of \$5 million toward street and related infrastructure improvements (signage, lighting, signalization). Improvements (all made in partnership with the City) include realigning Midwood Avenue at Monroe Street, realigning ProMedica Parkway between Central Avenue and Monroe Street, and eliminating access from Midwood to Hughes Drive (thereby minimizing Hospital traffic with in the neighborhoods west of the Hospital Campus). Additionally, pursuant to the Development Agreement between the City the Hospital, approximately \$1.0 million of streetscape improvements were made, primarily along Central Avenue and Monroe Street. Operational costs for much of the lighting along ProMedica Parkway are paid directly by the Hospital.
4. I-475 Interchange Development. The Hospital, along with the City, took a leadership role in pushing for the redevelopment of the I-475 interchanges between Douglas Road and the I-475/I-75 split with a view toward reducing the number interchanges and improving the interchanges remaining to provide enhanced safety, traffic flow, and access.
5. Community Meetings. The Hospital holds meetings with neighborhood representatives periodically to address neighborhood concerns relating to the South Campus. Importantly, prior to making significant improvements or changes in facilities at the Hospital Campus (or in areas controlled by the Hospital near the Hospital Campus), the Hospital proactively seeks input from neighbors. This input is important and has led to important modifications in plans originally proposed by the Hospital.

The Hospital intends to continue work with the neighborhoods and their residents with efforts similar to those cited above.

EXHIBIT (A)

Z-9011-14
ID 45



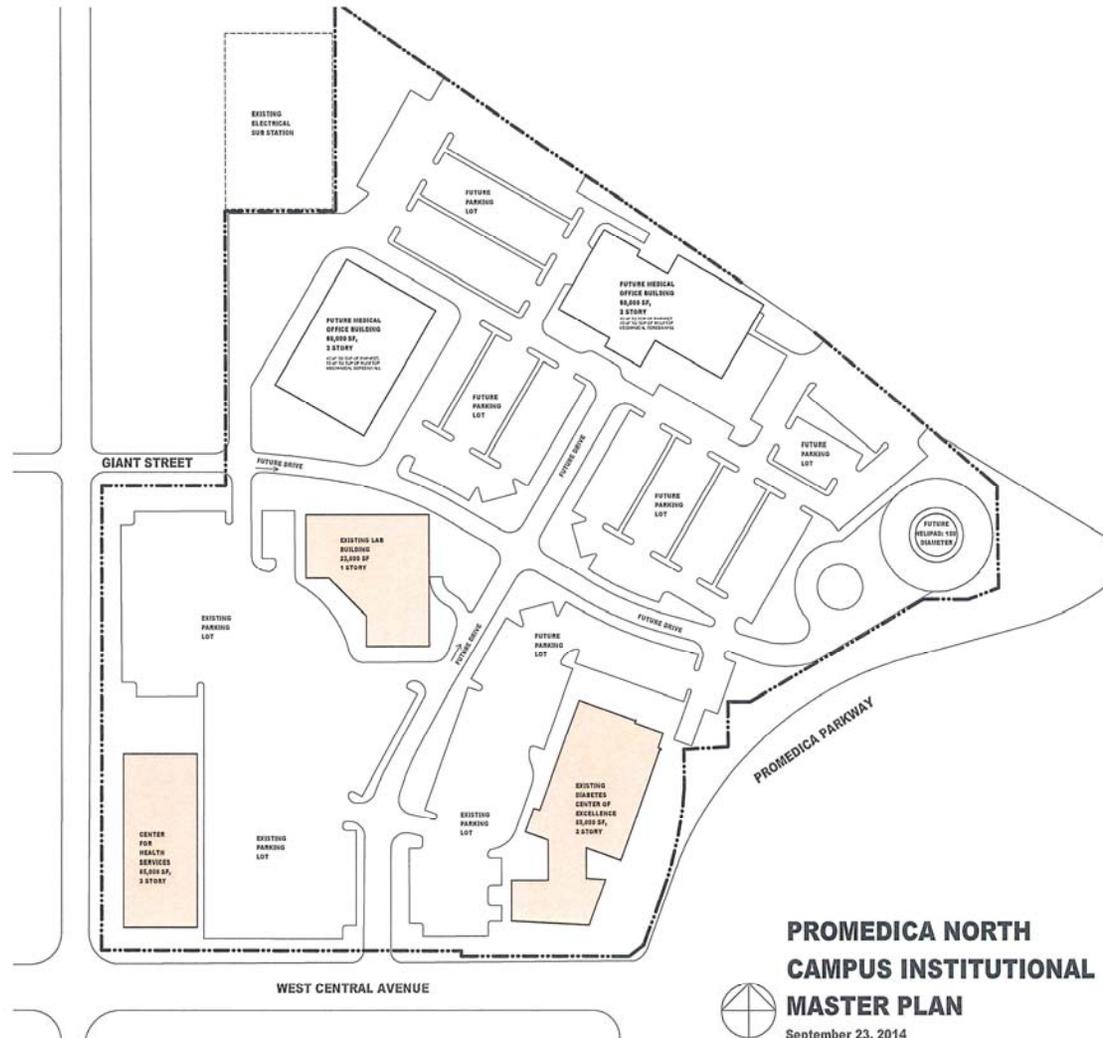
PROPOSED MASTERPLAN



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EXHIBIT (A)

Z-9011-14
ID 45



5 - 21

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GENERAL INFORMATION

Subject

- Request - TOLEDO HOSPITAL NORTH CAMPUS PLAT,
Preliminary Drawing
- Location - North of Central Avenue between Promedica
Parkway and St. Bernard Drive.
- Applicant - Tim Grohnke
The Toledo Hospital
2142 North Cove Boulevard
Toledo, OH 43606
- Attorney - Mark Rose
Marshall & Melhorn, LLC
Four Seagate
Eighth Floor
Toledo, OH 43604
- Engineer - Paul Winters
ESA
5353 Secor Road
Toledo, OH 43623

Site Description

- Zoning - RS6 Duplex Residential District and CR Regional
Commercial
- Area - 22.75 ± acres
- Frontage - 699' on Central Avenue
583' on Promedica Parkway
732' on St. Bernard Drive
- Existing Use - Vacant land and medical office buildings
- Proposed Use - Helipad and medical office buildings

Area Description

- North - I-475, Colony Park, & Mckinley School / POS &
RS6
- South - Central Avenue, Vacant Land and Commercial / CR
- East - Promedica Parkway, Vacant Land & Commercial /
RS6 & CR
- West - Single Family & Vacant Land / RS6 & CR

GENERAL INFORMATION (cont'd)

Parcel History

- Z-48-41 - Request for zone change from “A” district to “B” district, approved by Plan Commission on 3/13/41.
- P-5-59 - Request for off-street parking review for Toledo Hospital parking lot, approved by Plan Commission 6/4/59
- P-8-62 - Request for off-street parking review for Toledo Hospital parking lot, approved by Plan Commission 8/9/62
- Z-126-66 - Request for special use permit for addition to Toledo Hospital, approved by Plan Commission 5/26/66
- Z-314-70 - Request for amendment to special use permit for building expansion and parking lot, approved by Plan Commission 12/3/70, City Council Ord. 1149-70 on 12/14/70
- Z-148-72 - Request for amendment to special use permit, approved by Plan Commission 8/3/72
- Z-192-74 - Request for amendment to special use permit to add additional lots to the hospital property, approved by Plan Commission 8/15/74, City Council Ord. 728-74 on 8-27-74
- Z-308-75 - Request for amendment to special use permit to allow for re-designation of hospital traffic circulation approved by Plan Commission 6/30/77, City Council Ord. 511-77 on 12/21/77
- T-150-76 - Request for deed transfer, approved administratively on 6/30/76
- SUP-6-78 - Request for amendment to special use permit to add additional property for parking lots, approved by Plan Commission 5/4/78, City Council Ord. 368-78 on 7/26/78

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- V-77-78 - Request for the vacation of a portion of Christie Street east of Midwood Avenue, approved by Plan Commission 6/15/78, City Council Ord. 534-78 on 7/2/78
- SUP-216-81 - Request for amendment to special use permit for review and approval of Toledo Hospital Master Plan, approved by Plan Commission 11/5/81, City Council Ord. 730-81 on 3/3/82
- SUP-162-84 - Request for amendment to special use permit, approved by Plan Commission 11/1/84, City Council Ord. 829-84 on 11/7/84
- SUP-136-86 - Request for amendment to special use permit, approved by Plan Commission 7/10/86, City Council Ord. 617-86 on 7/23/86
- Z-40-86 - Request for comprehensive zone change in the Colony Neighborhood, approved by Plan Commission 3/20/86, City Council Ord. 280-86 and 399-86
- Z-12007-93 - Request for zone change from R-3 to C-3, for 3 small parcels, approved by Plan Commission 1/6/94, City Council Ord. 53-94 on 6/22/94
- Z-8001-00 - Deferred from 10/12/00 Plan Commission agenda
- Z-3003-05 - Zone change from RM36, RS6, CO, RD6 to IC and Master Plan for Toledo Hospital. Plan Commission approved 4/14/05. (South Campus) Ord. 393-05, 5/31/05.
- SPR-55-12 - Site plan review for new medical office building. PC approved 1/10/14.
- Z-9007-12 - Zone change from CO, RD6 & POS to CR. Ord 602-12,1/22/13.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- Z-4001-14 - Amendment to IC Master Plan to add a helipad and relocate the Ronald McDonald House. Ord. 267-14, 6/17/14.
- Z-4002-14 - Zone change from RS6 Single Dwelling Residential to IC Institutional Campus District. Ord. 266-14, 6/17/14.
- Z-9011-14 - Zone change from RS6 Single-Family Residential District and CR Regional Commercial to IC Institutional Campus with IC Master Plan. (companion case)

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning Code
Toledo Subdivision Rules and Regulations
Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is requesting a review of the preliminary drawing for TOLEDO HOSPITAL NORTH CAMPUS PLAT, located north of Central Avenue between Promedica Parkway and St. Bernard Drive. This plat consists of one lot and a portion of Giant Street and Westland Avenue. The portions of Giant Street and Westland Avenue are remnant right-of-ways that must be vacated via the right-of-way vacation process. A request for these vacations has been received and will be reviewed by the Plan Commission in December

The purpose of the plat is to consolidate several existing parcels into one lot. The area currently consists of three existing medical buildings. A helipad is proposed for a portion of the site to the northeast and it is anticipated that additional medical office buildings will be constructed in the future. In addition, the companion zone change to Institutional Campus reflects the desire of the applicant to develop a comprehensive plan to compliment the Renaissance Project that is occurring on the south side of the campus.

The Toledo 20/20 Comprehensive Plan targets this site for Institutional Campus district. This accommodates large institutional uses in campus-like settings, such as hospitals, schools and colleges. The Institutional Campus district is intended to promote and enhance the development and expansion of medical, educational and other large institutional uses. The proposed use of this site is in compliance with the Toledo 20/20 Comprehensive Plan.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve TOLEDO HOSPITAL NORTH CAMPUS PLAT, located north of Central Avenue between Promedica Parkway and St. Bernard Drive for the following two (2) reasons:

1. The proposed development is consistent with the Toledo 20/20 Comprehensive Plan; and
2. The proposed plat meets the requirements for the City of Toledo's Subdivision Regulations.

The staff recommends TOLEDO HOSPITAL NORTH CAMPUS PLAT, located north of Central Avenue between Promedica Parkway and St. Bernard Drive, subject to the following twenty (20) conditions.

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. The 8-inch diameter (8") water main in Promedica Parkway, between Giant Street and Central Avenue, and the 6-inch (6") diameter water main in Giant Street, between St. Bernard Drive and Promedica Parkway, provide water service only to Promedica properties. If the right-of-ways are vacated, the petitioner shall accept ownership of these water mains, including valves and hydrants.
2. A minimum of four feet (4') of ground cover shall be maintained over the privately-owned water mains. If four feet (4') of cover cannot be maintained, the water mains shall be lowered or relocated.
3. All hydrants on the privately-owned water mains shall be accessible for use by the Toledo Fire Department, including the hydrant on vacated Westland, which is not currently accessible.
4. The abandoned 6-inch (6") diameter water mains in vacated Giant Street and vacated Bigelow Street, east of Promedica Parkway, shall also become property of the petitioner. The City of Toledo will not remove these abandoned water mains.
5. Plans for new water mains or services or modifications to existing water mains or services shall be submitted to the Division of Engineering Services for review and approval.
6. Contact the City of Toledo Fire Prevention Bureau to determine the fire protection requirements for this site.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

7. If existing public water facilities are in conflict and must be relocated, they will be relocated by the City of Toledo at the owner's cost.
8. If the proposed plat is approved and the right-of-ways vacated, the 15-inch (15") diameter storm on Giant Street, between Westland and approximately 350 West of the intersection of Giant Street and Westland; the 15-inch (15") diameter storm through the current ODOT property between the intersection of Giant Street and Westland and I-75; and the 12-inch (12") diameter storm sewer on Westland Street from Giant to vacated Bigelow would provide storm sewer services to only Promedica properties. Therefore, the petitioner shall accept ownership of these storm sewers including catch basins and manholes.
9. The abandoned 12-inch (12") diameter storm sewers in vacated Giant Street shall also become property of the petitioner. The City of Toledo will not remove the abandoned storm sewers.
10. Plans for new storm sewers, modifications to existing storm sewers, and disturbances of 2,500 square feet or more shall be submitted to the Division of Engineering Services for review and approval. Plans will be subject to the current storm water requirements at the time of the submittal.
11. All sanitary sewers within the proposed vacated streets shall become private sewers since they only serve this property and the operation and maintenance of these sewers will be the responsibility of the property owner.

Health Department

12. Any well and/or septic issues will be handled through the Toledo-Lucas County Health Department.

Division of Sewer and Drainage

13. All private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
14. Private sanitary sewer lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been completed in the past two (2) years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

STAFF RECOMMENDATION (cont'd)

Buckeye Cablevision

15. If an easement is granted for the current right-of-way and associated pole line along Giant Street from St. Bernard to Westland Avenue and along Westland Avenue from Central Avenue to Giant Street. Such easement would be a perpetual, nonexclusive easement upon and through the portion of Grantor's property to construct, install, maintain, repair, enlarge, reconstruct and /or replace telecommunications transmission lines, cables, power nodes, conduits, markers, signs, and related equipment and facilities (collectively, the "facilities"); The right of ingress and egress over real property for the purpose stated herein.

Plan Commission

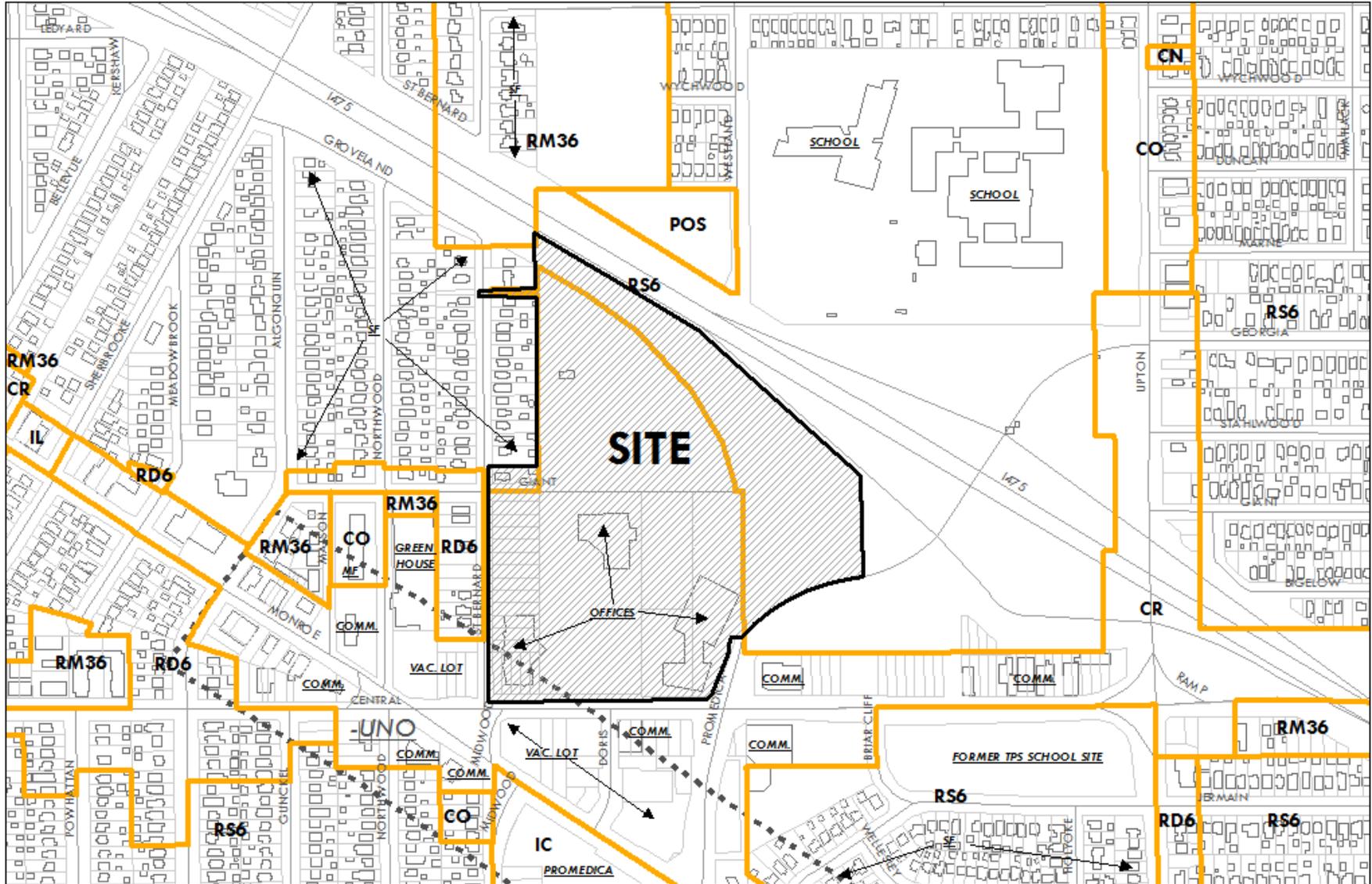
16. Per section 703 of the City of Toledo Subdivision Regulations, street trees shall be installed along all streets in a major subdivision and shall meet the spacing criteria of said section.
17. The existing portion of Giant Street and Westland Avenue shall be vacated through the established right-of-way vacation process.
18. Per section 517 of the City of Toledo Subdivision Regulations, sidewalks shall be required along all streets.
19. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.
20. The Preliminary Drawing shall be valid for a three (3) year period from the date of approval by the Planning Commission.

SUBDIVISION
TOLEDO CITY PLAN COMMISSION
REF: S-19-14
DATE: November 6, 2014
TIME: 2:00 P.M.

TCG/bp
Four (4) sketches follow

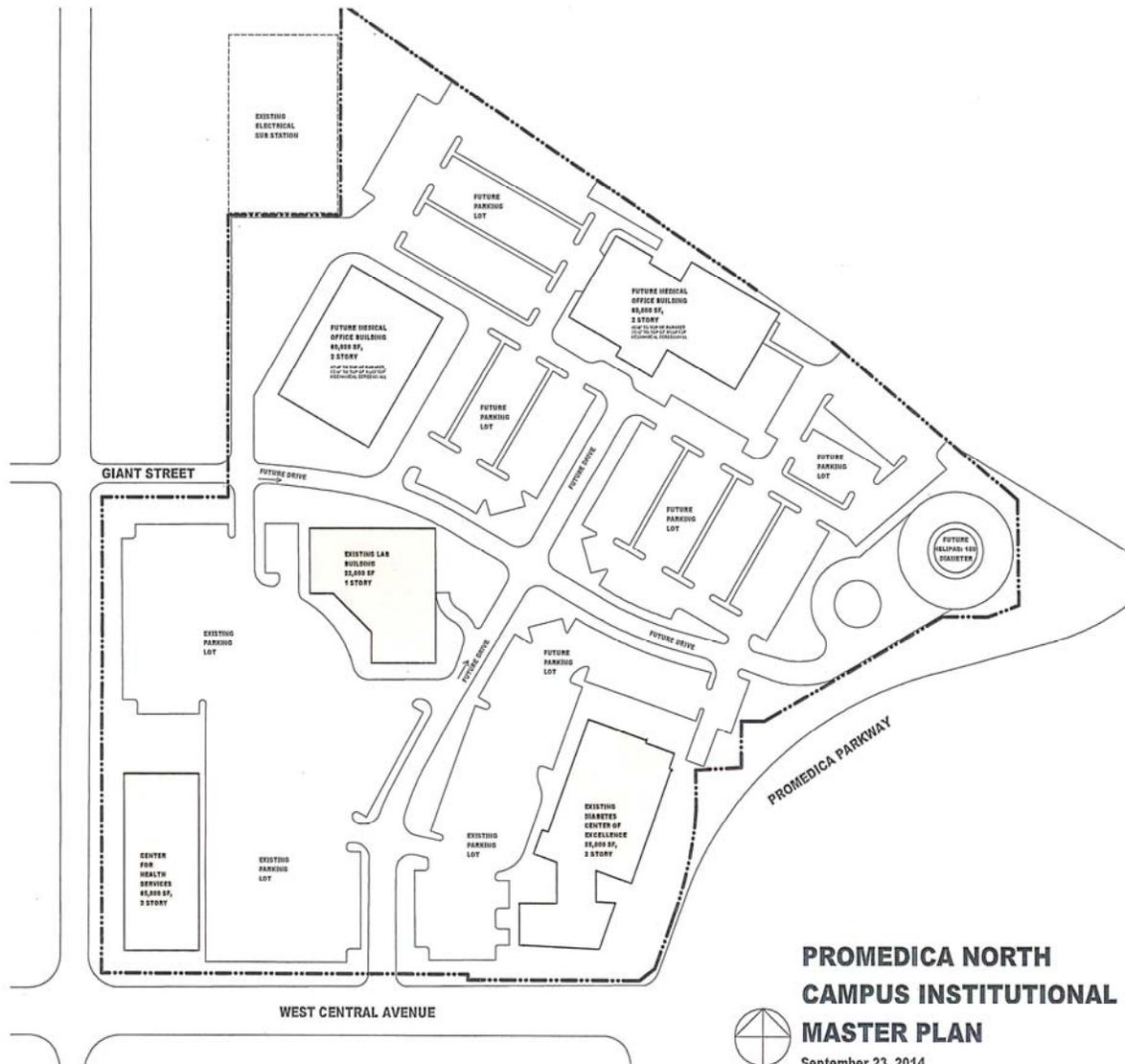
ZONING & LAND USE

S-19-14
Z-9011-14
ID 45



MASTER PLAN (PROPOSED)

S-19-14
ID 45



**PROMEDICA NORTH
CAMPUS INSTITUTIONAL
MASTER PLAN**



September 23, 2014

5-9, 6-10

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GENERAL INFORMATION

Subject

- Request - Zone change from RS6 Single Dwelling Residential to IL Limited Industrial
- Location - 5022 – 5825 Suder Ave
- Applicant - Steve Bassett
GTH, LP
4300 N Broadway St
Muncie, IN 47303
- Consultant - Stephen J Herwat
Heatherglen Consulting, LLC
3807 Green Meadows Ct
Toledo, OH 43614
- Engineer - George Oravec
Oravec & Associates, LLC
5333 Secor Road, Suite 2
Toledo, OH 43623

Site Description

- Zoning - RS6 Single Dwelling Residential
- Area - ± 24.4 Acres
- Frontage - ± 940' along Alexis Rd
± 1,324' along Suder Ave
- Existing Use - Single Family Dwellings, Parking Lot (Former Church Site) and Vacant Land
- Proposed Use - Truck Sales and Service Facility

Area Description

- North - Church and Single Dwelling Residential / RS6
- South - Single Dwelling Residential / RS6
- East - School, Vacant Land and Single Dwelling Residential / R-1A (Washington Township)
- West - Interstate I-75 & Industrial Park / IL, IG & RS6

GENERAL INFORMATION (cont'd)

Parcel History

- Z-313-71 - Special Use Permit for a Hall & Meeting Facility (PC denied 2/17/72, CC deferred indefinitely 4/4/72)
- Z-68-73 - Special Use Permit for a Hall & Meeting Facility (PC Approved 3/22/73, Ord 350-73, 4/17/73)
- Z-4079-94 - Request for zone change from R-2 Single-family Residential to R-3 Two-family Residential (PC approved 6/2/94, CC Denied 10/25/94)
- SPR-39-14 - Major Site Plan Review for a Truck Sales and Service Facility (Companion Case)

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a zone change from RS6 Single Dwelling Residential to IL Limited Industrial for a site located at 5022 – 5825 Suder Ave. The 24.4-acre site is located on the northwest corner of Alexis Road and Suder Avenue. The applicant requested the zone change to permit a trucking sales and service facility. A companion site plan accompanies this case. A neighborhood meeting was held October 21, 2014 to discuss the project and address community questions and concerns.

Surrounding land uses includes a church and a single family residence to the north, single family residences and Shoreland Elementary to the east, single family residences to the south, and Interstate I-75 and industrial uses to the west.

Staff recommends disapproval of the zone change request for several reasons. First, the Toledo 20/20 Comprehensive Plan targets this area for single family residential land uses. The intent of the single family residential future land use designation is to accommodate the development of single dwelling units and may also include libraries, schools, churches, and community centers. The district is intended to create, maintain and promote housing opportunities for individual households and this site could be attractive for in-fill housing.

STAFF ANALYSIS (cont'd)

Second, a theme stressed through the 20/20 Plan is the importance of strengthening existing neighborhoods and preserving sites for potential market rate housing. Suder Cove, a 32 unit single-family residential development was approved ¼ mile to the south, adjacent to the highway, in 2007. It has been fully built out. The proposed IL Limited Industrial zoning would not support the housing themes of the 20/20 Plan.

Third, the surrounding area is dominated by low-intensity land uses including an elementary school, park, and single family residential neighborhoods. The industrial zoned parcels to the west, including North Cross Industrial Park, are isolated by the Interstate which acts as a barrier between incompatible land uses. The introduction of a zoning category such as the proposed IL Limited Industrial zoning on the east side of the Interstate would facilitate higher intensity land uses that could alter the character of the surrounding neighborhoods.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of Z-9001-14, a Zone change from RS6 Single Dwelling Residential to IL Limited Industrial for the site at 5022 – 5825 Suder Avenue to Toledo City Council for the following four (4) reasons

1. The proposed zone change does not conform to the Toledo 20/20 Comprehensive Plan, which targets the site for Single Family Residential uses.
2. IL Limited Industrial Zoning is not an appropriate transitional zoning district.
3. The proposed zone change is out of character with the surrounding zoning and uses (TMC §1111.0606.C Review & Decision-Making Criteria); and
4. The introduction of IL Limited Industrial zoning will facilitate land uses that are out of character with the nearby neighborhoods.

ZONE CHANGE REQUEST
TOLEDO CITY PLAN COMMISSION
REF: Z-9001-14
DATE: November 6, 2014
TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: December 10, 2014
TIME: 4:00 P.M.

BH/bp
Two (2) sketches follow

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GENERAL INFORMATION

Subject

Request	-	Major Site Plan Review for a Truck Sales and Service Facility
Location	-	5022 – 5825 Suder Ave
Applicant	-	GTH, LP 4300 N Broadway St Muncie, IN 47303
Consultant	-	Stephen J Herwat Heatherglen Consulting, LLC 3807 Green Meadows Ct Toledo, OH 43614
Engineer	-	George Oravec Oravec & Associates, LLC 5333 Secor Road, Suite 2 Toledo, OH 43623

Site Description

Zoning	-	RS6 Single Family Residential (IL Limited Industrial subject to companion Zone Change)
Area	-	± 24.4 Acres
Frontage	-	± 940' along Alexis Rd ± 1,324' along Suder Ave
Existing Use	-	Single Family Dwellings, Parking Lot (Former Church Site) and Vacant Land
Proposed Use	-	Truck Sales and Service Facility
Proposed Parking	-	146 Automobile Spaces, 7 Trailer Spaces, 74 Space Service Staging Area
Required Parking	-	135 Automobile Spaces

Area Description

North	-	Church and Single-dwelling Residential / RS6
South	-	Single Dwelling Residential / RS6
East	-	School, Vacant Land and Single Dwelling Residential / R-1A (Washington Township)
West	-	Interstate I-75 & Industrial Park / IL, IG & RS6

GENERAL INFORMATION (cont'd)

Parcel History

- | | | |
|-----------|---|---|
| Z-313-71 | - | Special Use Permit for a Hall & Meeting Facility (PC denied 2/17/72, CC deferred indefinitely 4/4/72) |
| Z-68-73 | - | Special Use Permit for a Hall & Meeting Facility (PC Approved 3/22/73, Ord 350-73, 4/17/73) |
| Z-4079-94 | - | Request for zone change from R-2 Single-family Residential to R-3 Two-family Residential (PC approved 6/2/94, CC Denied 10/25/94) |
| Z-9001-14 | - | Request for zone change from RS6 to IL Limited Industrial (Companion Case) |

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a major site plan review for a truck sales and service facility located at 5022 – 5825 Suder Avenue. The applicant is proposing to construct an approximate 25,000 square foot sale and leasing showroom; a 21-bay service center and body shop; and a new and used outdoor truck sales areas. The site is currently occupied by single family residences, vacant wooded land in the center and a parking lot that served a former church. The 24.4 acre site is currently zoned RS6 Single Dwelling Residential. A companion zone change from RS6 to IL Limited Industrial accompanies this case. A neighborhood meeting was held on October 21, 2014 to discuss the project and address community questions and concerns.

Surrounding land uses include a church and a single family residence to the north, single family residences and Shoreland Elementary to the east, single family uses to the south, and Interstate I-75 and industrial uses to the west.

Parking and Circulation

The required parking for a new and used heavy equipment sales lot, a 25,000 square foot sales and leasing showroom with a parts retail component and offices and a 21-bay service center and body shop is 135 spaces. The site plan indicates that 146 spaces will be provided. In addition the applicant is providing a seven (7) space trailer drop area and a seventy-four (74) space service staging area. The site plan offers two (2) new access drives from Suder Avenue.

STAFF ANALYSIS (cont'd)

Landscaping

TMC§1108.0202 *Frontage Greenbelts* requires sites over 5 acres to provide a thirty (30) foot frontage greenbelt. The site plan indicates a thirty (30) foot greenbelt along the Suder Avenue frontage. The right-of-way in the area has not been clearly defined and highway easements exist in the area. However, the City of Toledo's Chief Surveyor indicated that a sixty (60) foot right-of-way exists along Suder Avenue. As a result, the frontage greenbelt appears to be located in this right-of-way and must be shifted entirely onto the applicant's property. In addition, because the parking lot is being developed in the front yard of the property, the frontage greenbelt is required to include a solid evergreen hedge to screen the parking lot to ensure that headlights do not project onto the public street.

In addition, if the companion zone change to IL is successful, a Type "A" Buffer will be required between the RS6 zoning district to the north and the subject property. TMC 1108.0203 *Buffer and Screening Requirements* requires a twenty-five (25) foot Type "A" Buffer to consist of four (4) trees and twenty (20) shrubs per every 100 linear feet of property line. The applicant has shown a minimum width of twenty-five (25) foot along the northern property line, however, the number of trees provided is not compliant and no shrubs were indicated. The twenty-five (25) foot wide Type "A" buffer should consist of twenty-five (25) trees and 122 shrubs. If the site plan review is approved, a revised landscape plan shall be submitted indicating compliance with the requirements referenced above.

Building Design

The development is located on the north portion of the site because of flood plains located on the southern portion. The applicant originally submitted elevations for consideration and review. However, revisions to the site plan have been made and revised elevations have not been submitted for review. The original elevations showed the use of different materials including a large glass showroom façade. In addition the applicant has used different textures and colors throughout the exterior façade, which meets the industrial design standards detailed in TMC 1109.0400. If approved, staff requests that revised color elevations that reflect the changes to the site plan be submitted for consideration.

Recommendation

The Toledo 20/20 Comprehensive Plan targets this area for Single-Family Residential land uses. The intent of the Single-Family Residential future land use designation is to accommodate the development of single dwelling units on individual lots. It may also include libraries, schools, churches, and community centers. This lot appears to be practical for other uses that would be compatible with the surrounding zoning and land uses. Such uses may include but are not limited to single-family and cluster housing. Staff is thus recommending disapproval of the companion zone change to IL Limited Industrial.

STAFF ANALYSIS (cont'd)

Recommendation (cont'd)

Although staff is recommending disapproval, conditions are provided for information purposes in Exhibit "A". The site abuts Washington Township and is partially served by County utility infrastructure, therefore comments from the Lucas County Engineers have also been incorporated.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of SPR-39-14, a major site plan review for a Truck Sales and Service Facility, located at 5022-5825 Suder Avenue, to Toledo City Council for the following three (3) reasons:

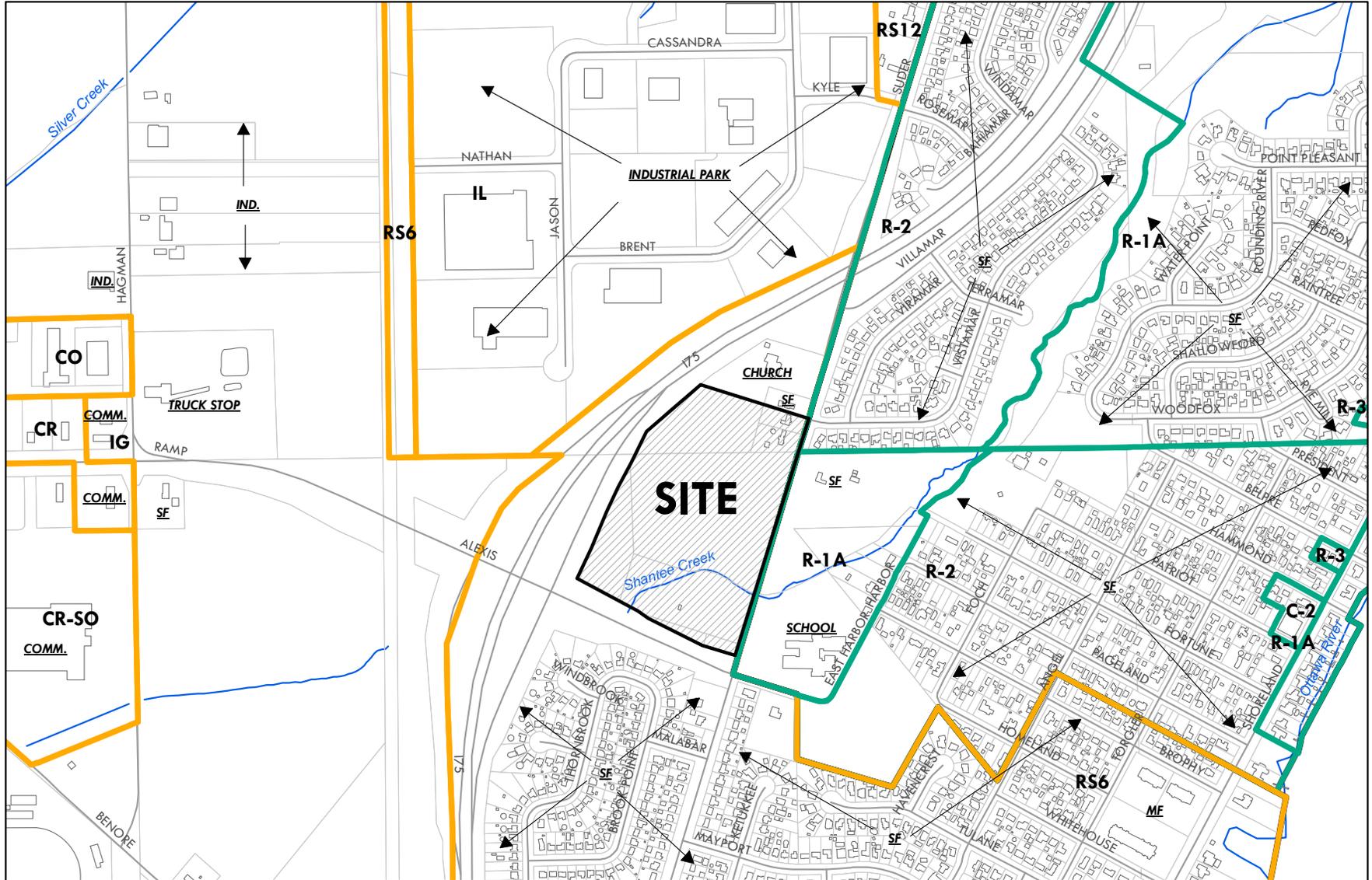
1. The proposed site plan review does not conform to the Toledo 20/20 Comprehensive Plan, which targets the site for single family uses.
2. The proposed use does not comply with all standards of the Toledo Municipal Code (TMC 1111.0809.A Approval Criteria); and
3. The proposed use is not permitted in the district in which it is located (TMC 1111.0809.B Approval Criteria).

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-39-14
DATE: November 6, 2014
TIME: 2 p.m.

BH/bp
Four (4) sketches follow
Exhibit "A"

ZONING & LAND USE

SPR-39-14
ID 68, 64



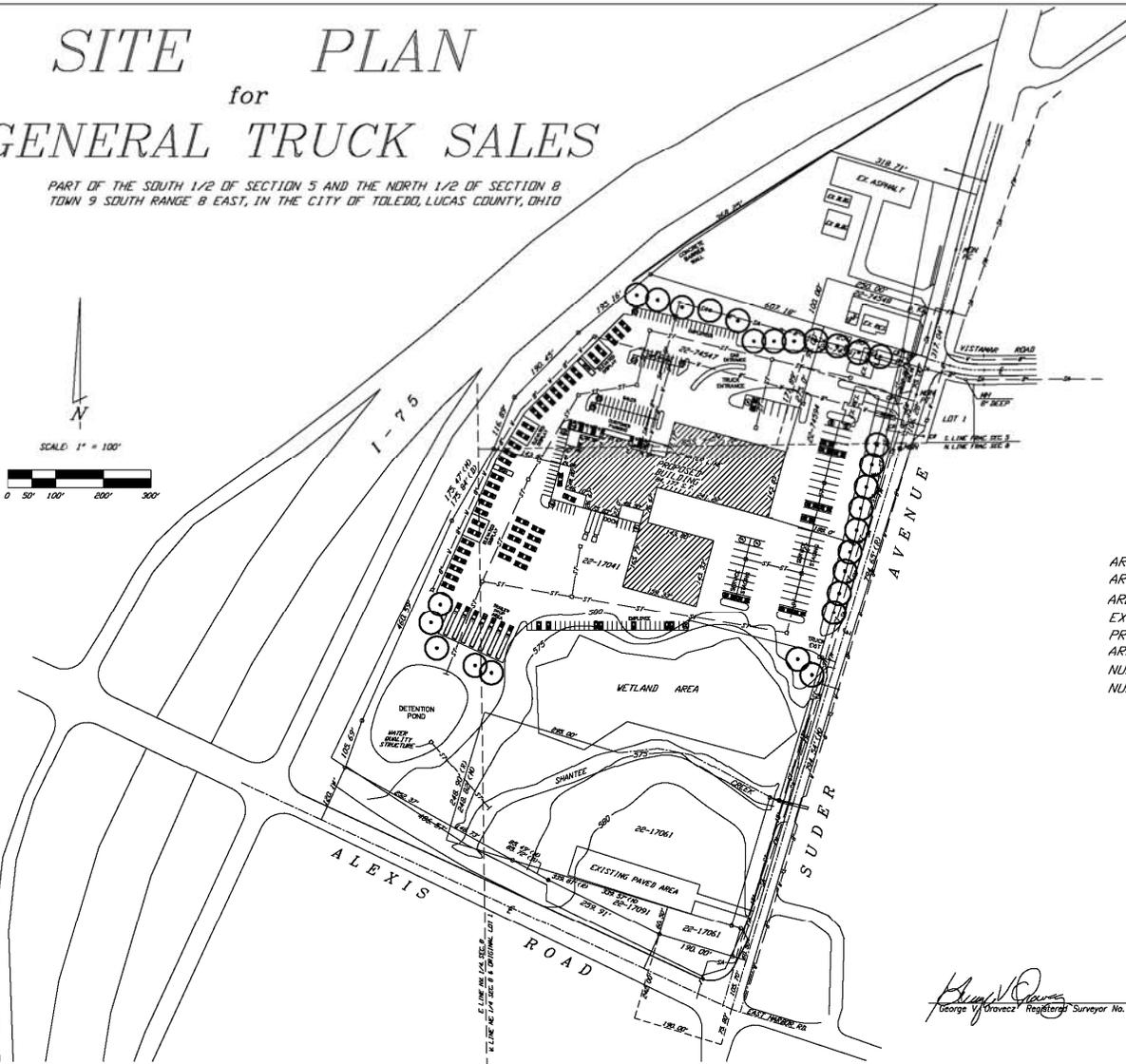
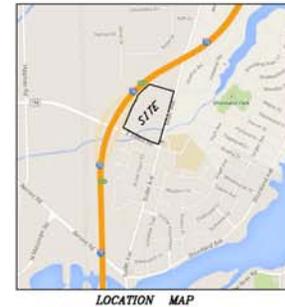
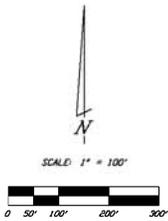
SITE PLAN

SPR-39-14
ID 68,64



SITE PLAN for GENERAL TRUCK SALES

PART OF THE SOUTH 1/2 OF SECTION 5 AND THE NORTH 1/2 OF SECTION 8
TOWN 9 SOUTH RANGE 8 EAST, IN THE CITY OF TOLEDO, LUCAS COUNTY, OHIO



LEGEND

AREA OF SITE = 24.260 AC.
 AREA OF IMPERVIOUS SURFACE = 10.913 AC. = 45%
 AREA OF OPEN SPACE = 13.347 AC. = 55%
 EXISTING ZONING = RS6
 PROPOSED ZONING = IL
 AREA OF BUILDING = 84,177 S.F.
 NUMBER OF PARKING SPACES PROVIDED = 227
 NUMBER OF PARKING SPACES REQUIRED = 212

DEVELOPER

GENERAL TRUCK SALES
 4300 NORTH BROADWAY
 MUNCIE, IN 47303
 1-800-382-7717
 1-765-289-5441 (FAX)
 WWW.GENERALTRUCKSALES.COM

George V. Oravec
 Registered Surveyor No. 5439



ORAVECZ & ASSOCIATES, LLC
 5333 SECOR ROAD, SUITE 2, TOLEDO, OHIO, 43623
 PHONES 419-884-4740 FAX 419-884-4741
 WWW.ORAECOSOCIATES.COM
ENGINEERS & SURVEYORS

SCALE	DATE	REVISED	DRAWN BY	ORDER NO.
1" = 100'	10/11/2014		K.J.S.	23039

ELEVATION

SPR-39-14
ID 68,64



East Elevation



North Elevation

General Truck Sales
Toledo, Ohio
September 3, 2014



Exhibit "A"
REVIEW AGENCY CONDITIONS

The following seventy (70) conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

City of Toledo Engineering Services

1. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
2. All commercial drive approaches shall be constructed with 8" thick concrete or heavy duty asphalt pavement per City of Toledo Construction Standards and Specifications. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop/opening.**
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from the One Stop Shop, (419) 245-1220.

Contact Scott Bishop at (419) 936-2756 for inspection of above mentioned items.

4. There is no direct City water service to this site. There is an 8-inch (8") diameter water main, owned by the Lucas County Sanitary Engineer, in Suder Avenue. Contact the LCSE to determine their requirements for tapping this water main.
5. Plans for the water service must be submitted to and approved by the LCSE and the City of Toledo, Division of Engineering Services.
6. Contact the City of Toledo Fire Prevention Bureau to determine if a fire line is needed for this site.
7. Contact the Division of Water Distribution for installation requirements for backflow preventers.
8. New fire, domestic, and irrigation taps will be installed by the City of Toledo at the owner/developer's expense.
9. Site address shall be shown on the plans.
10. The connection to the Lucas County water main in Suder Avenue shall be an 8"x8" tapping sleeve and 8" gate valve, installed by the City at the owner/developer's expense. Excavation, manhole and restoration shall be performed by the Contractor.

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

City of Toledo Engineering Services (cont'd)

11. The domestic water service connection shall be a 2" tap, installed by the City at the owner/developer's expense.
12. There appears to be a sign located over the proposed fire line. For future maintenance purposes, do not construct permanent structures over the proposed fire line.
13. Hydrants must be accessible at all times by the Toledo Fire Department. Verify that hydrant locations are acceptable to the Toledo Fire Prevention Bureau.
14. A mainline gate valve with valve box is recommended to be installed just beyond where the fire line branches off to the building. This will allow the remainder of the fire line to be taken out of service for maintenance without disrupting water service to the building.
15. Storm drainage service for this site is available subject to: the Criteria and Regulations of the Departments of Public Utilities and Public Service; the Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; the Toledo City Charter; the "Subdivision Rules & Regulations" of the Toledo-Lucas County Plan Commission; the City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
16. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
17. No construction work, including grading, will be permitted without approved plans and inspection.
18. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at www.toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, the Division of Engineering Services to set up a pre-submittal meeting. This is suggested so that there is a full understanding of the City of Toledo's requirements for the sanitary, storm, water, and roadway utilities. This will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

City of Toledo Engineering Services (cont'd)

Contact Information is:

Division of Engineering Services: ph. (419) 245-1315, fax (419) 936-2850

Sanitary Sewers: Mike Elling, ph. (419) 936-2276

Storm Water Drainage: Lorie Haslinger, ph. (419) 245-3221

Water: Andrea Kroma, ph. (419) 936-2163

Roadway: Tim Grosjean, ph. (419) 245-1344

19. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over one (1) acre must submit an NOI to and obtain a permit from the Ohio EPA.
20. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ storm water detention and post-construction storm water BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions such as grassy swales, and bio-retention areas in lieu of curb, storm sewers and underground detention are encouraged. Designs incorporating green infrastructure such as wet ponds, extended detention, bio-retention, or grassy swales, etc. may be eligible for a percent reduction in the property's storm water utility fee through the Storm Water Credit Program.
21. A site specific Storm Water Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit.
22. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
23. Being in or adjacent to a flood hazard zone, this area is subject to the Toledo Municipal Code, Chapter 1110, which must be complied with in full.
24. Dredging, filling, clearing, or otherwise altering wetlands is prohibited without first providing proof of compliance with the following permits: Section 401 of the Clean Water Act, Ohio EPA Isolated Wetlands Permit, and Section 404 of the Clean Water Act. If a permit does not apply, provide a letter from a qualified professional certifying that they have surveyed the site and determined that the permit is not applicable. All certifications and delineations shall include written concurrence from the U.S. Army Corps of Engineers and/or the Ohio EPA, as appropriate, in accordance with the protocols currently accepted by the U.S. Army Corps of Engineers.

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

City of Toledo Engineering Services (cont'd)

25. To allow for maintenance access; structures, permanent fences, walls or other obstructions are not permitted within 12 feet (12') of the top of the bank or ordinary high water mark of Shantee Creek or within the floodway. Clearing of vegetation/storage of materials/development within 40 feet (40') of the ordinary high water mark of Shantee Creek is discouraged due to water quality impacts.
26. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities. Sewer service currently is not available to this parcel. The Developer is to submit details of how they plan to service this parcel.
27. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system.

Lucas County Sanitary Engineer

28. The title sheet should include signature lines for all agencies involved (COT, LCSE, LCE, Washington Twp. Fire Dept., etc.), benchmark data, and the address of the facility.
29. Water is available to this site via W-906-8" on Suder Avenue. The aforementioned waterline shall be called out as such on the site plan.
30. The LCSE water and sanitary sewer specifications and details shall be included as part of these site plans.
31. All connections, bends, hydrants, etc. shall be clearly labeled and have a station and elevation associated with them.
32. The proposed 8" water main shall be connected to the county system by an 8" on 8" tapping sleeve and valve in manhole. This shall be shown on the site plans.
33. The proposed water main in shall be clearly labeled as "PRIVATE".
34. All proposed water main sizes and material shall be labeled.
35. The Water main tap shall be installed at time of construction by City of Toledo – Division of Water and shall meet their standards and specifications. This shall be stated on the plans. The City of Toledo shall install this tap at the contractor's expense.
36. Any existing water services shall be "killed" prior to construction and a "kill" permit shall be obtained and paid for through the City of Toledo offices. This shall be stated on the site plans.

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

Lucas County Sanitary Engineer (cont'd)

37. Sanitary sewer is available to this site via S-408-8" on Vistamar. This sewer shall be labeled as such.
38. The existing force main on Suder Ave. shall be labeled as S-408A-8".
39. The proposed 8" sanitary sewer shall be tied into the county manhole by a Core-n-Boot connection. This shall be stated on the plans.
40. There shall be elevations of all pipes at every manhole and at the building. Size of pipe, pipe material, and slopes of all pipe segments shall also be shown.
41. The sewer main shall be clearly labeled as "PRIVATE".
42. The sanitary sewer service shall be "killed" prior to construction and a "kill" permit shall be obtained and paid for through the LCSE office. This shall be stated on the plans.
43. All right-of ways(R/W), property lines (P/L), and/or easement (E) lines shall be labeled.
44. This site is also subject to the review of the local fire department, Washington Township, and the City of Toledo – Engineering Services.
45. All corrections shall be completed and two sets of plans with signatures from all agencies shall be submitted and approved by the Lucas County Sanitary Engineer prior to any construction and shall meet their standards and specifications.
46. The sanitary sewer service shall be inspected by a LCSE representative and all inspection fees shall be the responsibility of the owner/developer. LCSE requires at least 48 hours advance notice for inspection scheduling.

Sewer & Drainage Services

47. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
48. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

Fire Prevention

49. Proposed hydrant locations to be slightly revised. Locate along Fire Department access into site. Protection from vehicular damage may be required.

Building Inspection

50. The southerly portion of the property is affected by the floodplain, as shown in FEMA Map 39095C0105E, adopted by City of Toledo on August 16, 2011. The southerly portion of the parking lot is involved with this 100-year floodplain and will require a floodplain development permit to be constructed. However, no portion of the building is involved in the special flood hazard area (SFHA).
51. The construction of any new structure, addition, or alterations to any existing building will require construction documents stamped by a design professional licensed with the State of Ohio to be submitted to the Division of Building Inspection for review and approval. Construction documents must show that the new structure and/or interior alterations will be built in compliance with the building, mechanical and fire codes of the City of Toledo, and by referenced authority, those of the State of Ohio. Construction must also comply with federal ADA requirements.
52. Any signs on the property, will require a separate plan review and permit(s) in accordance with the City of Toledo's sign codes (TMC§1113 and §1377-§1397).
53. Any fence screening will require a Certificate of Zoning Compliance, issued by the Division of Building Inspection.

Environmental Services

54. Applicant shall maintain compliance with the City of Toledo's sanitary sewer use regulations specified in the Toledo Municipal Code.
55. Applicant shall maintain compliance with the City of Toledo's stormwater regulations as specified in the Toledo Municipal Code. This site is situated with Shantee Creek running through it and special attention must be paid to all potential storm water impacts from the facility, including but not limited to, proper control of automotive fluids, no outdoor storage of material without proper protection, no outdoor repair activities, and proper maintenance of the grounds and detention pond. Preparation of and adherence to a comprehensive Stormwater Pollution Prevention Plan is recommended.

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

Environmental Services (cont'd)

56. Applicant shall maintain compliance with the City of Toledo's air quality regulations including, but not limited to, the Anti-Noise Law specified in the Toledo Municipal Code.

Division of Transportation

57. The vehicle display areas shall be properly marked and striped in accordance with the requirements of Toledo Municipal Code (TMC) 1107.
58. 4' sidewalks shall be added in accordance with City of Toledo Construction Standards
59. All parking must meet the requirements of the TMC; the dimensions of the parking shall be confirmed

Plan Commission

60. The applicant shall submit a detailed floor plan that indicates the use(s) of the building(s) and the number of service bays.
61. New or renovated buildings shall meet the industrial building design standards of TMC Section 1109.0400. **A revised color elevation shall be submitted that reflects the changes on the revised site plan.**
62. Elevated displays, lifts or metal structures used in conjunction with the display of motor vehicles shall be permitted only within those areas specifically designated upon the site plan and shall not be allowed in any required front yard.
63. Dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
64. Incorporate curbs or other substantial permanent barriers to prevent encroachment of the vehicles into the required setback and landscape areas.
65. Fencing of customer display areas shall conform to TMC 1105.0302, outside storage screening shall comply with TMC 1108.0203.H.
66. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

Plan Commission

- a. A site plan indicating the location of the public right-of-way shall be submitted; **shall be noted on revised site plan.**
- b. Open sales areas shall be clearly defined and noted; **shall be noted on revised site plan.**
- c. A thirty (30) foot Frontage Greenbelt is required along the Suder Avenue frontage and shall include one tree for every thirty (30) of lot frontage and a solid evergreen hedge; **shall be noted on revised landscape plan.**
- d. Type "A" Landscape buffer is required along the northern property lines where abutting residential zoning, a twenty-five (25) foot wide Type "A" Buffer shall include four (4) trees and twenty (20) shrubs for every 100 Linear feet of property line; **shall be noted on revised landscape plan.**
- e. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; acceptable as depicted on site plan; **shall be noted on revised site plan.**
- f. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained; acceptable as depicted on site plan; **shall be noted on revised site plan.**
- g. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details; shall be noted on revised landscape plan; **shall be noted on revised site plan.**
- h. The location, height and materials for any fencing to be installed and maintained; **acceptable as depicted on site plan.**
- i. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); acceptable as depicted on site plan; **shall be noted on revised site plan;** and
- j. The location, lighting and size of any signs; **acceptable as depicted on site plan.**

Exhibit "A"
REVIEW AGENCY CONDITIONS (cont'd)

Plan Commission (cont'd)

67. Hours of operation shall be limited to 7am to 10pm.
68. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed and maintained indefinitely.
69. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
70. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

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GENERAL INFORMATION

Subject

- Request - Zone change from IL Limited Industrial to IG General Industrial
- Location - 4919 South Ave
- Applicant - Aunt Mae's Holdings, LLC
Donald Williams
21186 County Road D
Archbold, OH 43502

Site Description

- Zoning - IL Limited Industrial
- Area - ± 18.472 Acres
- Frontage - ± 650' along South Ave
- Existing Use - Greenhouse
- Proposed Use - Scrap and Salvage Operation

Area Description

- North - Single Family Residences / RS6
- South - Agriculture and Industrial Uses / IL
- East - Self-Storage and Industrial Uses / IL
- West - Mobile Home Park / RD6

Parcel History

No parcel history on file.

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a zone change from IL Limited Industrial to IG General Industrial for the site located at 4919 South Ave. The applicant is proposing to develop the 18.472-acre site with a scrap and salvage operation that will process and crush construction debris and concrete. The site is located approximately a quarter mile east of Reynolds Road and is contiguous to the Willowbrook Place Mobile Home Park. Other surrounding land uses include single family residences to the north, a self storage facility to the west and agricultural and industrial uses to the south. If the zone change is approved, the applicant will be required to obtain a special use permit.

The existing IL Limited Industrial zoning district is intended to accommodate uses that are not employment-intensive. The IG General Industrial zoning district is intended for moderate to high-impact industrial uses. Additionally, the IG General Industrial zoning district permits large scale, intense uses that that require good transportation access. South Avenue is a two-lane collector street with residential uses to the north and west of the subject property. A scrap and salvage operation that processes and crushes construction debris and concrete would not be compatible with the contiguous nearby residential uses.

First, the Toledo 20/20 Comprehensive Plan targets this area for Light Industrial land uses. The intent of the Light Industrial designation is to accommodate uses such as research, wholesale activities, warehouses and industrial/manufacturing operations that are not employment-intensive and are compatible with commercial and residential land uses. Staff is recommending disapproval of the zone change request because it does not conform to the 20/20 Plan. Additionally, IG zoning is not appropriate for the site based on the intensity of uses permitted and proximity nearby residential uses; it will be out of character with and detrimental to these nearby residential uses.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of Z-9006-14, a zone Change from IL Limited Industrial to IG General Industrial for the site at 4919 South Avenue to Toledo City Council for the following two (2) reasons

1. The proposed zone change does not conform to the Toledo 20/20 Comprehensive Plan, which targets the site for light industrial uses; and
2. The proposed zone change is out of character with the surrounding zoning and uses (TMC §1111.0606.C Review & Decision-Making Criteria).

REF: Z-9006-14 . . . November 6, 2014

ZONE CHANGE REQUEST
TOLEDO CITY PLAN COMMISSION

REF: Z-9006-14

DATE: November 6, 2014

TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE

DATE: December 10, 2014

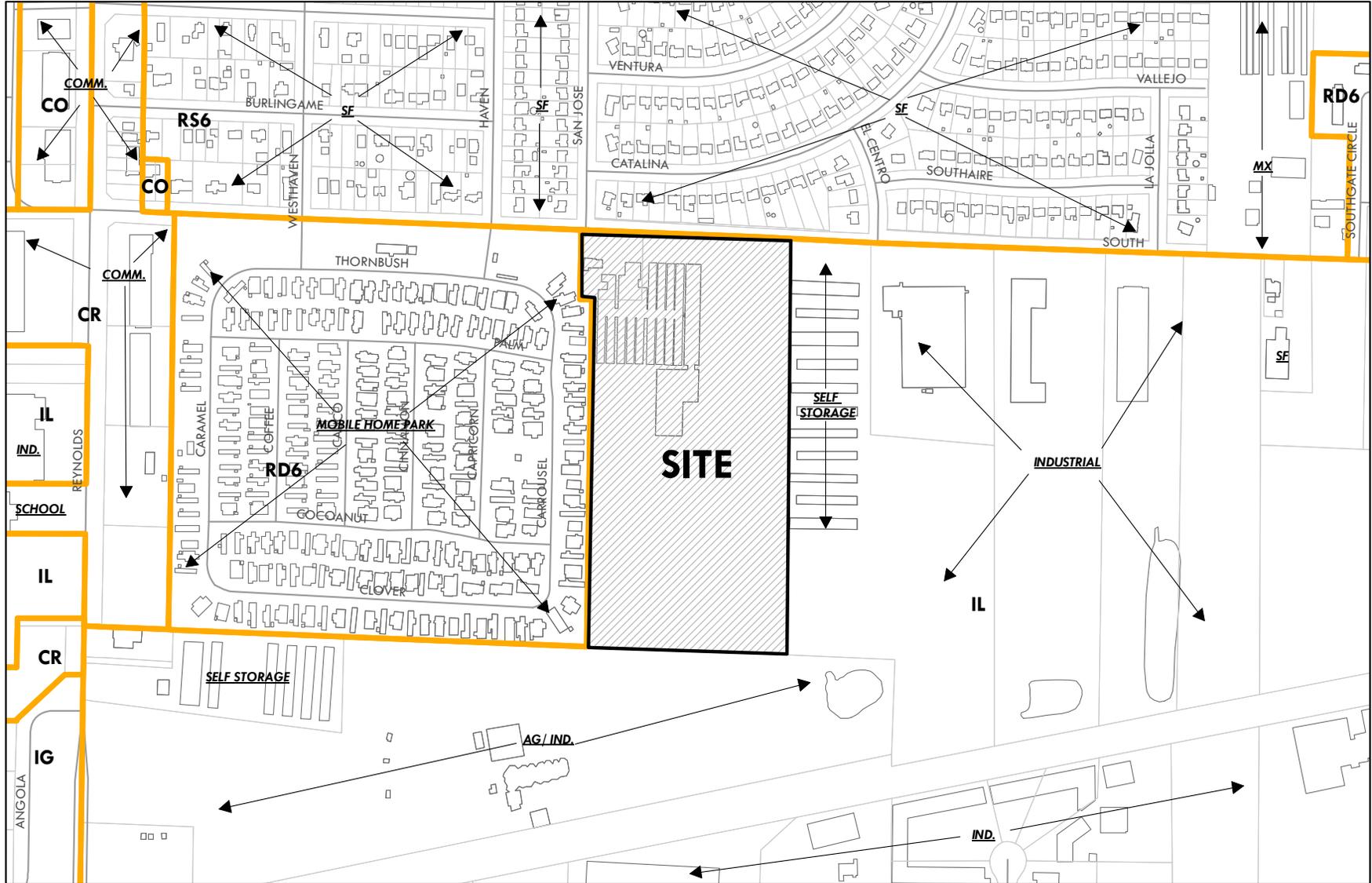
TIME: 4:00 P.M.

BH/bp

Two (2) sketches follow

ZONING & LAND USE

Z-9006-14
ID 108



9 - 6

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GENERAL INFORMATION

Subject

- Request - Request for a Special Use Permit for the operation of a used auto sales lot
- Location - 4718, 4724 & 4730 Summit Street
- Applicant - Randall R Shirk
6642 Fawn Lane
Maumee, OH 43537
- Engineer - Curtis Hong
Hong Inc.
300 Phillips Ave, Suite 4
Toledo, OH 43612

Site Description

- Zoning - CR Regional Commercial
- Area - ± .58 Acres
- Frontage - ± 175' along Summit Street and
± 150' along 109th Street
- Existing Use - Vacant Bank
- Proposed Use - Used Car Lot

Area Description

- North - Residential and Commercial Uses / CR & RS6
- South - Commercial Uses / CR
- East - Single dwelling Residential / RS6
- West - Commercial, Lt Industrial and Religious Uses / CR

Parcel History

No case history on file.

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit to operate a used automobile sales lot on the site located at 4718, 4724 & 4730 Summit Street. The .58-acre site is located at the northeast corner of Summit and 109th Streets. The property was formally used as a bank that contained two (2) drive-thru lanes. The 3,000 square foot main office building will be repurposed as a sales office.

Surrounding land uses include a single family residence and commercial uses to the north, a church and commercial uses to the south, single family residential uses to the east and an automotive garage to the west.

The site plan offers thirty-seven (37) parking spaces. The applicant has indicated that eight (8) spaces will be used for customer and employee parking and the remaining twenty-nine (29) spaces for open display areas. Based on the size of the open display area and the size of the sales office the site has a parking requirement of seven (7) spaces for customers/employees. TMC 1104.0308 requires customer and employee parking spaces be clearly delineated on the site plan. As a result, staff is requesting that open display areas and the employee parking areas be better defined on the site plan.

The site plan offers a two-way traffic pattern throughout the site to maximize the display area. The site currently has four (4) curb cuts; the applicant is proposing to reduce the number to one (1), exiting onto Summit Street. The Division of Transportation has indicated that a minimum twenty-five (25) foot wide drive aisle is not being maintained in the area of the existing storage shed (former ATM building). Subsequently, staff is requesting the storage building be removed as part of this project. The existing office building will remain and serve as the sales office.

The site is existing and therefore only required to be brought closer into compliance with the landscape requirements of the 2004 zoning code. A fifteen (15) foot frontage greenbelt is proposed along both right-of-ways, with the exception of the existing drive-thru exit. Staff is requesting that the existing drive-thru canopy and concrete island be removed and the area landscape to provide a consistent fifteen (15) foot frontage greenbelt along the 109th Street right-of-way. A ten (10) foot Type A buffer with solid wooden fencing is offered along the rear and side of the property in addition to the existing evergreen foundation plantings located around the office building. As a result, the site will be brought significantly closer into compliance in terms of landscaping.

The Toledo 20/20 Comprehensive Plan targets this area for Neighborhood Commercial land uses. The Neighborhood Commercial district was established for predominantly small and medium scale commercial uses that serve neighborhoods. Based on the future land use designation, current zoning, proposed use and location staff has found that the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 *Review and Decision-making Criteria*.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-9008-14, a request for a Special Use Permit for the operation of a used auto car lot located at 4718, 4724 & 4730 Summit Street, to Toledo City Council for the following three (3) reasons:

1. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan;
2. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC 1111.0706.C Review & Decision-Making Criteria);
3. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-9008-14, a request for a Special Use Permit for the operation of a used auto car lot located at 4718, 4724 & 4730 Summit Street, to the Toledo City Council, subject to the following twenty-seven (27) conditions:

Engineering Services

1. All existing substandard sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

3. Plans submitted indicate earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan for this project shall be submitted for stormwater approval.
4. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for stormwater detention and post-construction stormwater BMP's.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

5. Plans are also subject to the: Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The “Subdivision Rules & Regulations” of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and “The Comprehensive Ditch Plan.”
6. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
7. Designs incorporating low impact development solutions, such as grassy swales, and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged and may be eligible for a percent reduction in the property’s stormwater utility fee through the Stormwater Credit Program.
8. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
9. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
10. No construction work, including grading will be permitted without approved plans and inspection.
11. A pre-submittal stormwater meeting is not required; however, one may be requested by contacting Andy Stepnick at 419-245-1338 or Lorie Haslinger at 419-245-3221.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Tim Grosjean, ph. 419-245-1344

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services

12. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
13. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Fire Prevention

No concerns or objections.

Transportation

14. Twenty-five (25) foot drive aisles shall be maintained through-out the site to accommodate two-way traffic; the remaining drive aisle width adjacent to the existing one (1) story storage building does not meet this requirement.

Building Inspection

15. Any alterations of or additions to existing structures, or the construction of any new structures will submission of stamped construction documents to the Division of Building Inspection for plan review and approval in accordance with the Ohio Building Code (OBC) and the associated mechanical and electrical codes. This project may require a change of use of the building on the site leading to a new certificate of occupancy.
16. Any signs of fencing will require separate plan review and permits.

Plan Commission

17. Incorporate curbs or other substantial permanent barriers to prevent encroachment of the vehicles into the required setback and landscape areas. (TMC 1108.0302.B. Use Regulations).
18. Elevated displays lifts or metal structures used in conjunction with the display of motor vehicles shall be permitted only within those areas specifically designated upon the site plan and shall not be allowed in any required front yard. (TMC 1104.0302.A. Use Regulations).

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

19. A 50' separation measured along the street frontage between open display sales lot and a residential district boundary line shall be maintained and seven (7) parking spaces shall be denoted and reserved for "Customer and Employee only"; **shall be noted on revised site plan.**
20. All used motor vehicles parked or displayed outdoors shall conform to Chapter 337, Safety and Equipment, of the Traffic Code and shall be operable.
21. Repairs and services of vehicles shall be conducted wholly within an enclosed building permanently located on the site.
22. The existing carport/drive-thru area and storage shed shall be removed, **shall be noted on revised site plan.**
23. A dumpster location(s) shall be noted on a revised site plan and have a concrete pad surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
24. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A 15' Greenbelt is required along the Summit Street and 109th Street frontages and shall include one tree for every 30' of lot frontage and a solid evergreen hedge; **acceptable as depicted on plan.**
 - b. A 10' Type A landscape buffer is required when commercial zoning abuts residential zoning; **acceptable as depicted on landscape plan.**
 - c. Foundation plantings are required along all main and secondary entrances of the building that are visible from the public right of way, and landscaping at all major building entrances. (TMC 1108.0205.B Landscaping and Screening; **acceptable as depicted on plan.**
 - d. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **acceptable as depicted on plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- e. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **acceptable as depicted on plan.**
 - f. The location, height and materials for any fencing to be installed and maintained; **acceptable as depicted on plan.**
 - g. Fencing in the front yard setbacks of both Summit Street and 109th Street, shall not exceed 42” in height, **shall be noted on revised landscape plan.**
 - h. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); **shall be noted on revised landscape plan.**
 - i. The location, lighting and size of any signs.
25. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year.
26. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
27. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

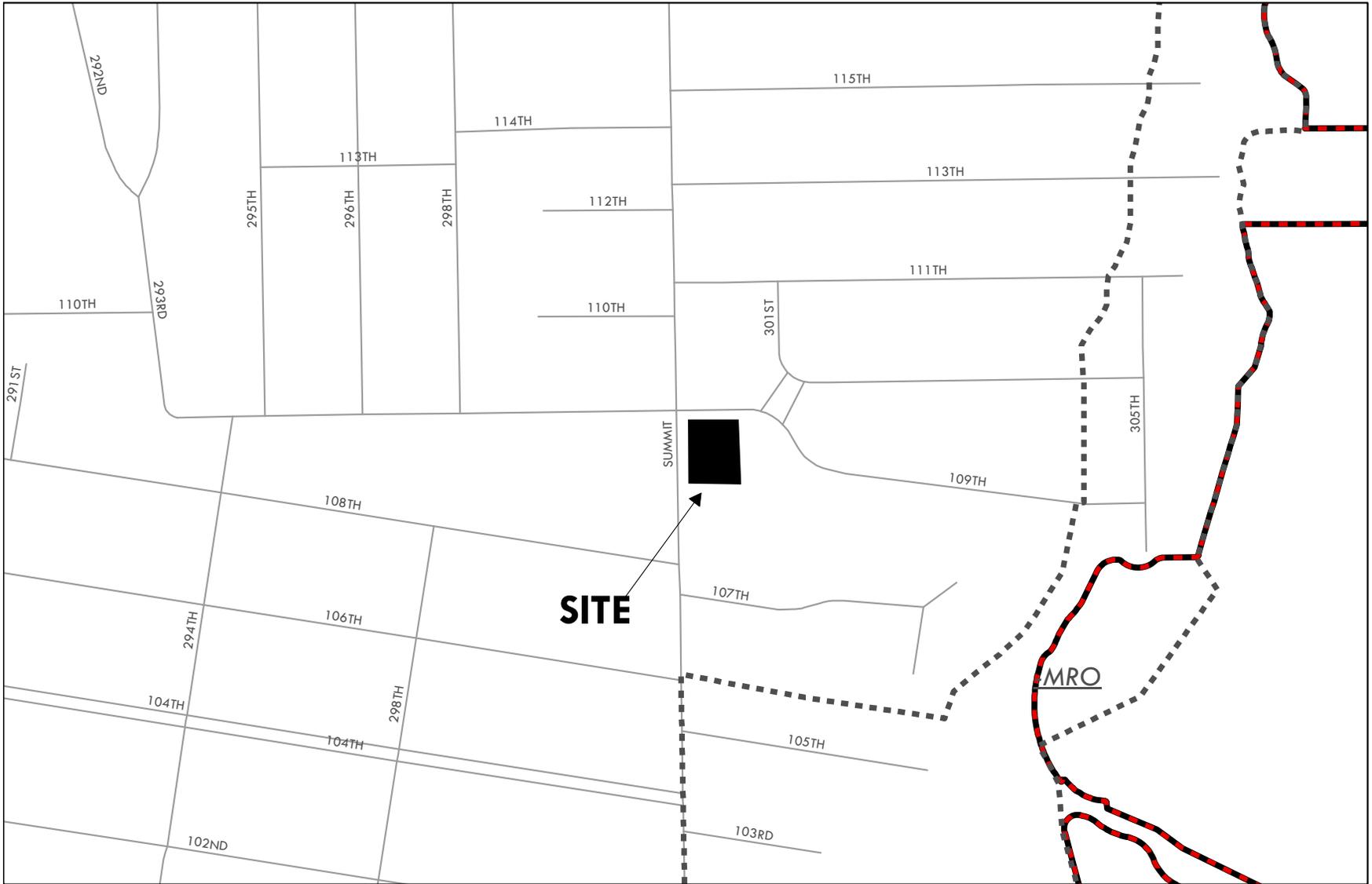
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-9008-14
DATE: November 6, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: December 10, 2014
TIME: 4:00 P.M.

BH/bp
Three (3) sketches follow

GENERAL LOCATION

SUP-9008-14
ID 63

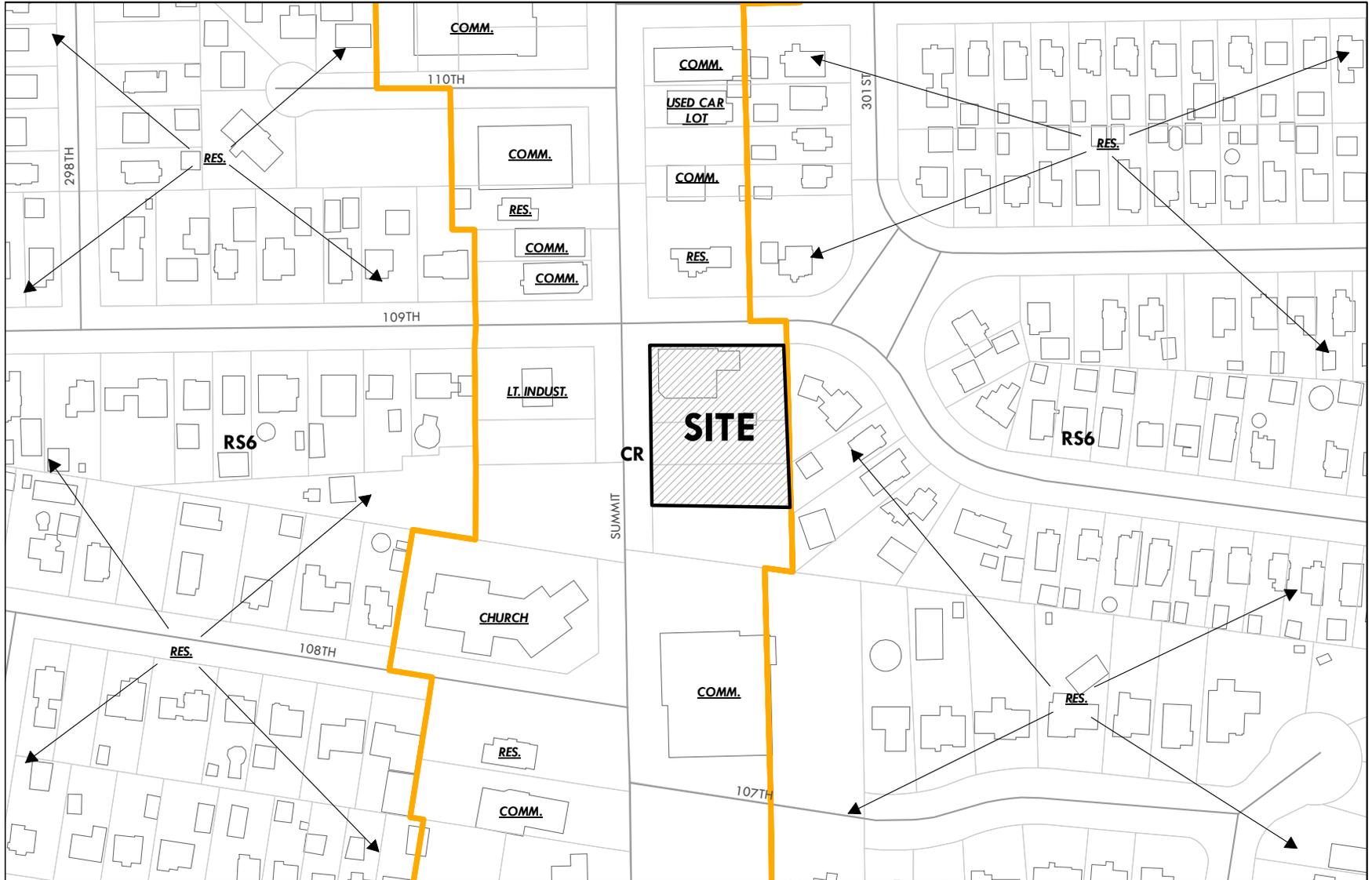


ZONING & LAND USE

SUP-9008-14
ID 63



10-9



GENERAL INFORMATION

Subject

- | | | |
|-----------|---|---|
| Request | - | Major Site Plan Review for a new 124 space off-site parking lot |
| Location | - | 980 N Westwood Avenue |
| Owner | - | Kury Housing
5309 Transportation Blvd
Cleveland, Ohio 44125 |
| Applicant | - | Aaron Pechota
NRP Group
5309 Transportation Blvd
Cleveland, Ohio 44125 |
| Engineer | - | Jeff Myers
Mannik Smith Group
1800 Indian Wood Circle
Maumee, Ohio 43537 |

Site Description

- | | | |
|--------------|---|---------------------------|
| Zoning | - | IG General Industrial |
| Area | - | ± 3.212 acres |
| Frontage | - | ± 237' on Westwood Avenue |
| Existing Use | - | Vacant Industrial |
| Proposed use | - | Off-Site Parking Lot |

Area Description

- | | | |
|-------|---|---------------------------------|
| North | - | Proposed Student Housing / RM24 |
| South | - | Car Wash / IL |
| East | - | Industrial / IG |
| West | - | Limited Manufacturing / IL |

Parcel History

- | | | |
|----------|---|---|
| SPR-8-14 | - | Major Site Plan Review for a new 121-space off-site parking lot (PC deferred 4/10/14) |
|----------|---|---|

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan
Dorr Street Vision Plan

STAFF ANALYSIS

The applicant is requesting a Major Site Plan Review to facilitate a new 124-space off-site parking lot for a site located at 980 N Westwood Avenue. Pursuant to TMC§1111.0800 applications for off-street parking with 60 or more spaces requires Major Site Plan Review. The applicant is currently redeveloping the property to the north into a student housing development that the off-site parking lot will serve. The 3.2-acre site is zoned IG and contained a vacant factory that was razed as part of the redevelopment. The Plan Commission approved a Major Site Plan Review for the student-housing complex on August 8, 2013 and this case was deferred from the April 10, 2014 Plan Commission hearing to provide the applicant additional time to address access and pedestrian issues.

Parking and Circulation

Upon completion, the student housing development to the north will consist of 200 units (596 beds) distributed among eight buildings and contain 381 parking spaces. The addition of the off-site parking lot will add 124-parking spaces for a total of 505 spaces.

TMC§1107.1400 *Alternative Access and Parking Plans* – the Director of Planning is authorized to approve alternative parking plan that permit off-street parking spaces in excess of the allowed 150% maximum and allows any or all of the off-street parking to be located off-site. The applicant submitted an alternative-parking plan that provides justification of an off-site parking lot that would exceed the 150% maximum off-street parking. The Director has determined that the alternative-parking plan is acceptable.

The off-site parking lot will be accessed via a curb cut onto Westwood Avenue, toward the south side of the site. This change to the site plan addresses the concern with student housing and industrial traffic utilizing a same access point. As a result, the curb cut to the north will continue to only serve the Sem-Com factory located to the rear of the subject property.

Landscaping

A thirty-foot (30') greenbelt is offered along the Westwood Avenue frontage. If combined with the property to the north a thirty-foot (30') greenbelt would be required. Therefore, staff supports a thirty-foot (30') greenbelt to allow for consistency between the two (2) sites, along all frontages. The greenbelt will consist of a decorative fence, deciduous trees and a solid hedge offered throughout the entire greenbelt and along the entire length of the Westwood Avenue frontage.

STAFF ANALYSIS (cont'd)

Landscaping (cont'd)

Interior parking lot landscaping requirement is two (2) canopy trees and six (6) shrubs for each ten (10) parking spaces within the parking lot. In addition, the applicant shall provide twenty (20) square feet of interior landscaping per parking space. The applicant is providing deciduous and evergreen trees in addition to shrubs throughout the parking lot site. The square footage and quantities provided are in compliance with the interior parking lot requirements. Pursuant to TMC§1108.0406 *Irrigation/Watering*, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition and shall be required for projects of over ½ acre in site area.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Light Industrial uses. The Light Industrial future land use district was intended to permit uses that are compatible with commercial and residential uses. The Dorr Street Vision plan stresses the need for student housing within close proximity to the University of Toledo, with the caveat that the locations be physically separated from any single-family residential areas. Based on the nature of the proposed use and its location, the proposal supports the goals of the Dorr Street Vision Plan and meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 Review and Decision-making Criteria.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve SPR-8-14, a request for Major Site Plan Review to facilitate a new 124-space off-site parking lot for a site located at 980 N Westwood Avenue, for the following two (2) reasons:

1. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC 1111.0706.C Review & Decision-Making Criteria);
2. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

The staff recommends that the Toledo City Plan Commission recommend approval of SPR-8-14, a request for major site plan review to facilitate a new 124-space off-site parking lot for a site located at 980 N Westwood Avenue, subject to the following twenty-five (25) conditions:

STAFF RECOMMENDATION (cont'd)

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All existing substandard sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

4. Plans submitted indicate earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan for this project shall be submitted for stormwater approval.
5. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for stormwater detention and post-construction stormwater BMP's.
6. Plans are also subject to the: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
7. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

8. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged and may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
9. A site-specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
10. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
11. No construction work, including grading will be permitted without approved plans and inspection.
12. Plans indicate locations where private storm sewers will cross property lines. Copies of the agreements and/or easements among the property owners shall be submitted for records.
13. A pre-submittal stormwater meeting is not required; however, one may be requested by contacting Andy Stepnick at 419-245-1338 or Lorie Haslinger at 419-245-3221.
14. A sanitary sewer agreement needs to be in place for the sanitary sewer that runs through this property and serves the Sem-Com Company.

Fire Prevention

No concerns or objections.

Sewer & Drainage Services

15. All storm drainage lines connected to the city storm main shall be metered according to the requirements of engineering services. In addition, a manhole with a minimum 4 foot deep sump to trap any sediment should be built over these storm lines. The pipes entering and exiting manhole "CB-32" should have 90 degree bends to trap floating debris. This manhole "CB-32" is to be built on private property and maintained privately. Each connection to the City storm system shall have a similar manhole/catch basin. The last inlet structure on the pipe existing the site could be built as a trapped manhole.

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services (cont'd)

16. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
17. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Building Inspection

18. Construction of a new parking lot, or re-construction or re-configuration of an existing parking lot, will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for review and approval showing the construction to be in compliance with the City of Toledo's engineering design codes and the building, mechanical and fire codes of the State of Ohio. Further, compliance must be shown with federal ADA regulations.
19. New fencing and new signs will require separate plan review and permits.

Division of Transportation

No objections or concerns.

Plan Commission

20. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces overhanging a pedestrian walkway or sidewalk and when adjoining a building.
21. The proposed four (4) foot ornamental steel fence shall continue the length of the northern property line to divide the parking lot from the industrial access road.
22. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Total interior landscaping shall be 20 square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing; **acceptable as depicted on landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- b. All parking spaces must be within 100 linear feet of a landscaped area; **acceptable as depicted on landscape plan.**
- c. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; **acceptable as depicted on landscape plan.**
- d. Topsoil must be back filled to provide positive drainage of the landscape area; **acceptable as depicted on landscape plan.**
- e. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **acceptable as depicted on landscape plan.**
- f. Landscape terminal islands must be provided at the end of each parking row; **acceptable as depicted on landscape plan.**
- g. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot; **acceptable as depicted on landscape plan.**
- h. Frontage greenbelts shall be constructed of grass, trees and shrub plantings. Greenbelt frontage landscaping shall be a minimum width of 30 feet, constructed of a solid evergreen hedge and provide a minimum of one tree for every 30 feet of frontage. Trees are not required to be evenly spaced and may be clustered; **acceptable as depicted on landscape plan.**
- i. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten feet (10') in width; **acceptable as depicted on landscape plan.**
- j. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **acceptable as depicted on landscape plan.**
- k. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details; **shall be noted on revised landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- l. The location, height and materials of any fencing to be installed and maintained; **shall be noted on revised landscape plan.**
 - m. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **acceptable as depicted on landscape plan.**
 - n. The location, lighting and size of any signs, all signage is subject to TMC§1387.
23. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commission of Inspection providing for the installation of required landscaping within one year. Landscaping shall be installed and maintained indefinitely.
24. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
25. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions set forth above.

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-8-14
DATE: November 6, 2014
TIME: 2:00 P.M.

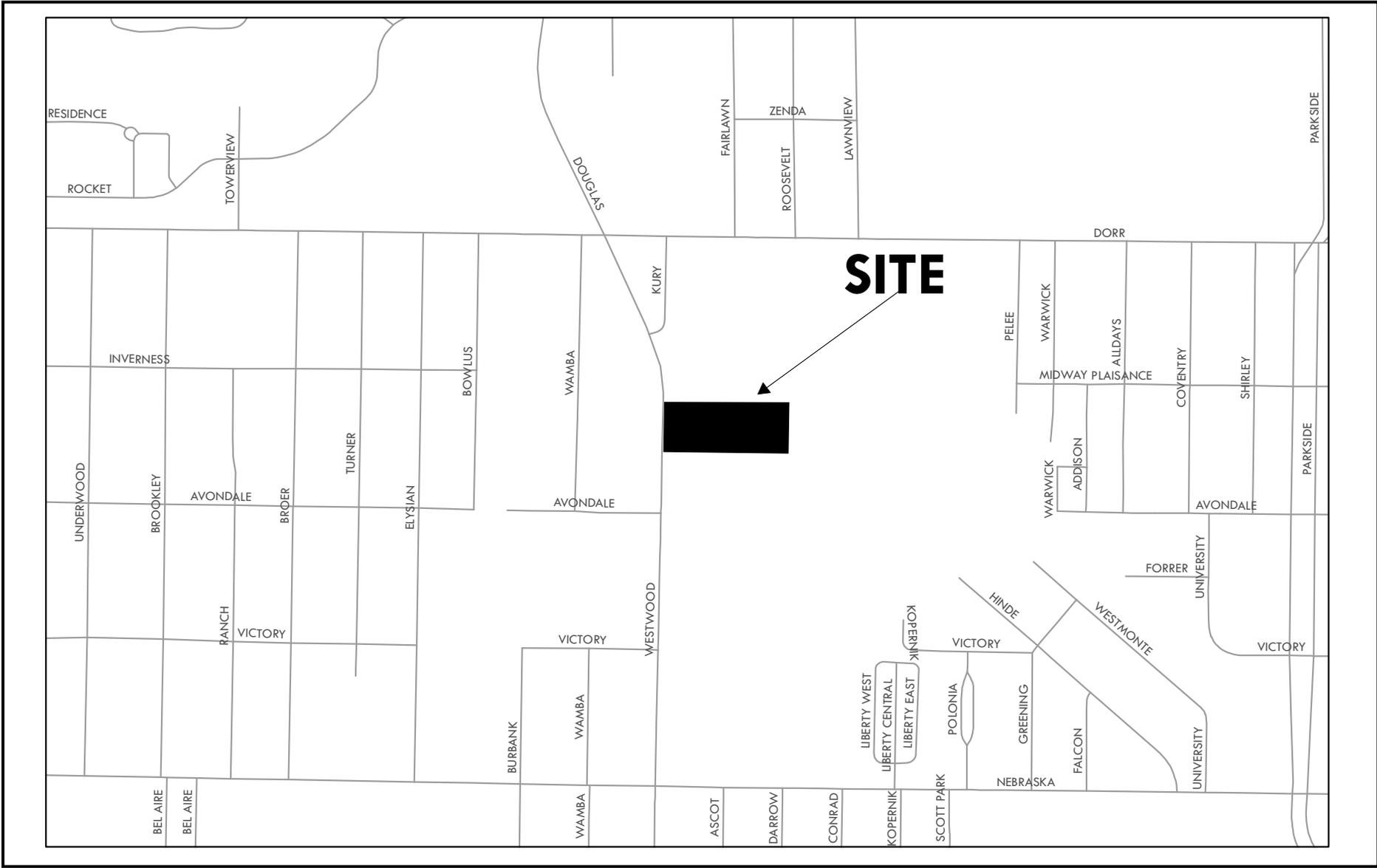
BH/bp
Five (5) sketches follow

GENERAL LOCATION

SPR-8-14
ID 47



6 - II

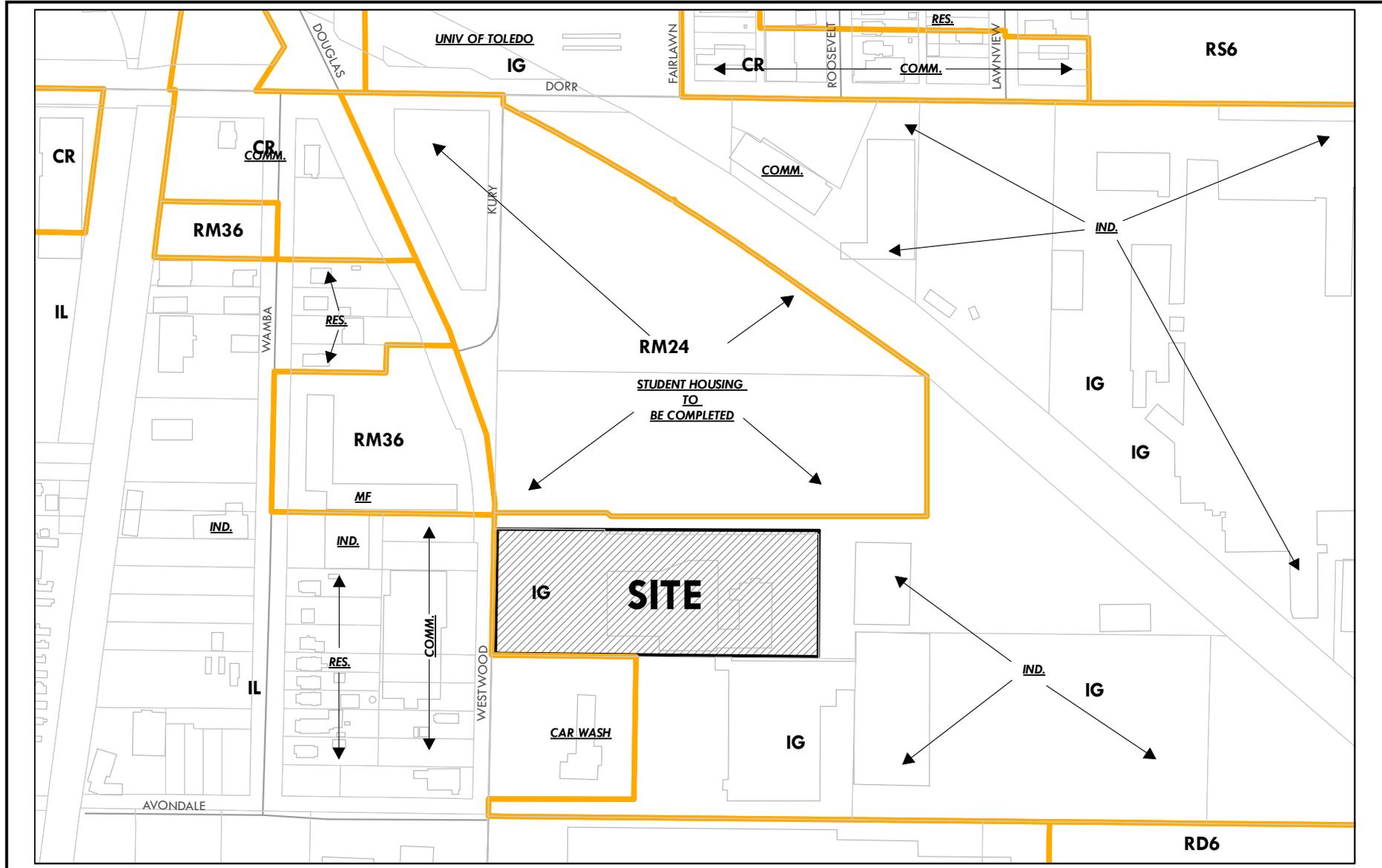


ZONING & LAND USE

SPR-8-14
ID 47

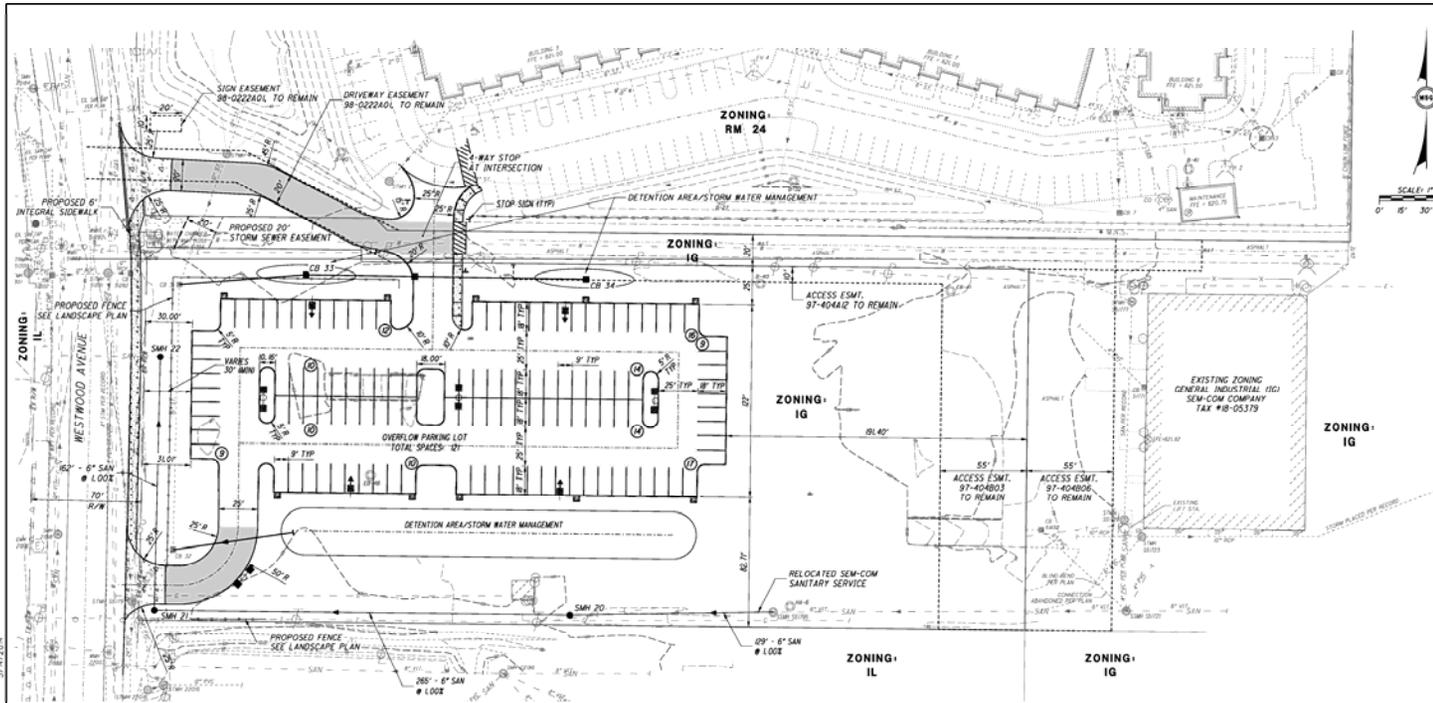


11 - 10



ORIGINAL SITE PLAN

SPR-8-14
ID 47



PAVING LEGEND	DETAIL NO./SHEET NO.
	LIGHT DUTY PAVEMENT 1/C9.0
	HEAVY DUTY PAVEMENT 2/C9.0
	CONCRETE PAVEMENT 3/C9.0
	CONCRETE SIDEWALK 4.5/C9.0
	6" CONCRETE CURB CITY OF TOLEDO TYPE A STD DMC 17
	6" INTEGRAL CURB 5/C9.0
	GROUTED COBBLESTONE RIPRAP 6.7/C9.0

CALCULATIONS

NORTH SITE PARKING:	381 SPACES
OVERFLOW PARKING:	121 SPACES
TOTAL:	502 SPACES
RATIO:	2.5 SQ./IN. 0.84 SQ./BED

PROPOSED FOR: **KURY HOUSING**
1230 N. WESTWOOD AVE.
TOLEDO, OHIO

RESIDENTIAL DEVELOPER: **Mannik Smith Group**
www.MannikSmithGroup.com

PROPOSED FOR: **OVERFLOW PARKING LOT FOR TOLEDO STUDENT HOUSING**
1230 N. WESTWOOD AVE.
TOLEDO, OHIO

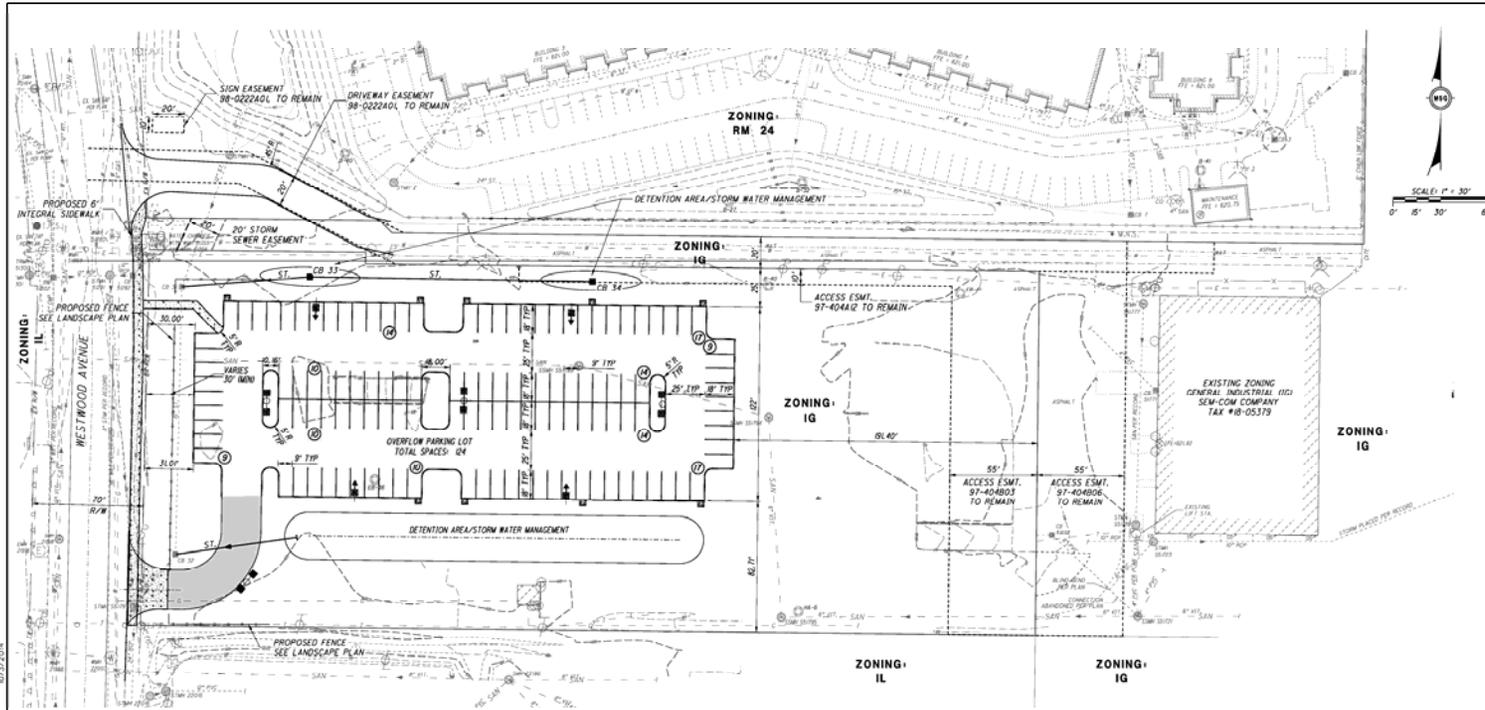
SITE PLAN

C5.0 / C11.2

11 - 11

REVISED SITE PLAN

SPR-8-14
ID 47



PAVING LEGEND	DETAIL NO./SHEET NO.
	LIGHT DUTY PAVEMENT 1/CS.0
	HEAVY DUTY PAVEMENT 2/CS.0
	CONCRETE PAVEMENT 3/CS.0
	CONCRETE SIDEWALK 4.5/CS.0
	6" CONCRETE CURB CITY OF TOLEDO TYPE A STD DMC 17
	6" INTEGRAL CURB 5/CS.0
	GROUTED COBBLESTONE RIPRAP 6.7/CS.0

PARKING CALCULATIONS	
TOTAL UNITS:	189 UNITS
TOTAL BEDS:	599 BEDS
NORTH SITE PARKING:	
OVERFLOW PARKING:	124 SPACES
TOTAL:	505 SPACES
RATIO:	2.5 SP/UNIT 0.84 SP/BED

 MANNIK SMITH GROUP 1230 N. WESTWOOD AVE. TOLEDO, OHIO 43604 TEL: 419.243.1234 WWW.MANNIKSMITHGROUP.COM	PREPARED FOR: KURY HOUSING 5888 TRANSPORTATION BLVD CLEVELAND, OH 44130	PROJECT NO.: DRAWN BY: CHECKED BY:
OVERFLOW PARKING LOT FOR TOLEDO STUDENT HOUSING 1230 N. WESTWOOD AVE. TOLEDO, OHIO		
SITE PLAN C5.0 / C11.2		

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STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
CHRISTINE CUNNINGHAM
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

DIVISION OF FORESTRY
COMMISSIONER
2201 OTTAWA PARKWAY
TOLEDO, OH 43606
419-936-2326

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET
TOLEDO, OH 43601
419-245-6802

DIVISION OF WATER
RECLAMATION
COMMISSIONER
3900 N. SUMMIT STREET
TOLEDO, OH 43611
419-727-2602

DIVISION OF INSPECTION
COMMISSIONER
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
JEFF GRABARKIEWICZ
130-A W. DUDLEY
MAUMEE, OH 43537
419-893-1966

DIVISION OF TRANSPORTATION
COMMISSIONER
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
COMMISSIONER
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
KEITH EARLEY
1049 S. MCCORD ROAD
HOLLAND, OH 43528
419-213-2860

SERVICE DEPARTMENT
EDWARD MOORE, DIRECTOR
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD
TOLEDO, OH 43611
419-539-6078

LUCAS COUNTY
SANITARY ENGINEER
JIM SHAW
111 S. McCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT.
LANA GLORE, ENV. HEALTH SERV.
635 N. ERIE STREET ROOM 352
TOLEDO, OH 43604
419-213-4209

A T & T
ATTN: DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43604
419-245-7000

BUCKEYE CABLESYSTEM, INC.
GARY KASUBSKI
4818 ANGOLA ROAD
TOLEDO, OH 43615
419-724-3821

VERIZON
BRAD SNYDER
300 W. GYPSY LANE
BOWLING GREEN, OH 43402
419-354-9452

WATERVILLE GAS
JAMIE BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

OHIO GAS
MIKE CREAGER
13630 AIRPORT HWY.
SWANTON, OH 43558
419-636-1117

TIME WARNER
RAY MAURER
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

EMBARQ
117 E. CLINTON STREET
NAPOLEON, OH 43545
419-599-4030

CENTURYLINK
TIM R. TAYLOR
375 E. RIVERVIEW AVE.
NAPOLEON, OH 43502

