

*TOLEDO CITY
PLAN COMMISSION
REPORT*

September 11, 2014

Toledo-Lucas County Plan Commissions

One Government Center, Suite 1620, Toledo, OH 43604

Phone 419-245-1200, FAX 419-936-3730

MEMBERS OF THE TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

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**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2014**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION (<i>HEARINGS BEGIN AT 2PM</i>)			
November 25	December 23	December 27	January 9
December 30	January 27	January 31	February 13
January 28	February 24	February 28	March 13
February 25	March 24	March 28	April 10
March 25	April 21	April 25	May 8
April 29	May 26	May 30	June 12
May 27	June 23	June 27	July 10
July 1	July 28	August 1	August 14
July 29	August 25	August 29	September 11
August 26	September 22	September 26	October 9
September 23	October 20	October 24	November 6*
October 21	November 17	November 21	December 4*
COUNTY PLANNING COMMISSION (<i>HEARINGS BEGIN AT 9AM</i>)			
December 9	January 6	January 10	January 22
January 13	February 10	February 14	February 26
February 10	March 10	March 14	March 26
March 10	April 7	April 11	April 23
April 14	May 12	May 16	May 28
May 12	June 9	June 13	June 25
June 9	July 7	July 11	July 23
July 14	August 11	August 15	August 27
August 11	September 8	September 12	September 24
September 8	October 6	October 10	October 22
October 6	November 3	November 7	November 19*
November 3	December 1	December 5	December 17*

* County deadlines are for Preliminary Drawings

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

September 11, 2014

2:00 p.m.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER

AT JACKSON BOULEVARD AND ERIE STREET

IN COUNCIL CHAMBERS

ON THE FOLLOWING CASES

AGENDA

ROLL CALL - Toledo City Plan Commission

PROOF OF NOTICE

SWEARING IN

MINUTES

FINAL PLATS

**ITEM
NO.**

CASE DESCRIPTION

- | | |
|-----------------|--|
| 1. SPR-29-14: | Major Site Plan Review for new multi-family building at 1500 College Drive, 3315 Valleston Parkway, 1517-1519 Secor Road and 1461 Secor Road (part) (bh) |
| 2. SUP-3003-14: | Amendment to Special Use Permit granted by Ordinance 400-12 to add greenhouse to existing school at 6149 Hill Avenue (bh) |
| 3. SUP-7005-14: | Special Use Permit for cell tower at 4330 Hill Avenue (gp) |
| 4. SUP-7006-14: | Special Use Permit for cell tower at 4621 Glendale Avenue (bh) |

DIRECTOR'S REPORT

CHAIRMAN'S REPORT

ADJOURNMENT

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GENERAL INFORMATION

Subject

- Request - An amendment to a Major Site Plan Review, originally approved via SPR-43-13, to facilitate the addition of one multi-family building
- Location - 1500 College Drive, 3315 Valleston Parkway, 1517 Secor Road, 1519 Secor Road & part of 1461 Secor Road.
- Owner - Sean Barley
Campus Crest
2100 Rexford Road
Charlotte, NC 28211
- Engineer - Gregory Feller
Feller, Finch and Associates, Inc.
1683 Woodlands Drive
Maumee, OH 43537

Site Description

- Zoning - RM24 Multi Dwelling Residential
- Area - ± 19.768 acres
- Frontage - ± 375' on Secor Road
± 550' on Valleston Pkwy.
+ 55' on Dorr Street
- Existing Use - Multi Dwelling Residential
- Proposed use - Multi Dwelling Residential

Area Description

- North - Single Family Residential and Bike Trail / RS6 & CO
- South - Multi Dwelling Residential and Commercial / CR
- East - The University of Toledo & Mixed Residential and Commercial / CR
- West - Undeveloped / RD6, RS9, RS6

Parcel History

- P-2-65 - Request off-street parking for apartment building in a residential zoning district.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- Z-249-66 - Request for zone change from R-1 Single-family residential to R-4 Multi-dwelling Residential (PC Denied 9/29/66)
- Z-154-87 - Request for zone change from R-1 Single-family Residential, C-2 Restricted Office and C-3 Commercial District to R-3 Two-family Residential (PC approved 9/24/87, Ord. 844-87, 10/13/87)
- S-33-87 - Request for preliminary drawing review for College Station Plat (PC approved 10/22/87)
- CUP-155-87 - Request for community unit plan for apartment complex (PC approved, 9/24/87, Ord. 856-87, 10/20/87)
- CUP-255-88 - Request for amendment to community unit plan originally approved via Ord. 856-87 (PC approved, 1/5/89, Ord. 71-89, 1/24/89)
- CUP-263-89 - Request for amendment to community unit plan originally approved via Ord. 856-87 and amended by Ord. 71-89. (PC approved, 1/4/90, Ord. 132-90, 1/30/90)
- Z-8008-13 - Request for zone change from RD6, RS9, CO & CR to RM24 (PC approved 9/12/13, Ord. 558-13, 11/26/13)
- SPR-43-13 - Request for Major Site Plan Review to facilitate a raze and rebuild of several existing multi-family buildings and a commercial building (PC approved 12/5/13)

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan
Dorr Street Vision Plan

STAFF ANALYSIS

The applicant is requesting an amendment to a Major Site Plan Review, originally approved via SPR-43-13, on a site located at 1500 College Drive, 3315 Valleston Parkway, 1517 Secor Road, 1519 Secor Road & part of 1461 Secor Road. The 19.768-acre site consists of four (4) lots currently occupied by multi dwelling apartment buildings & one (1) commercial building. The Plan Commission approved a site design of nine (9) four-story multi-family buildings and a clubhouse building with eight (8) suite-style units on December 5, 2013. The amendment will facilitate the addition of one (1) building increasing the number of units to 389 and the beds to 894. A neighborhood meeting was held August 6, 2014. The case was deferred from August 14, 2014 Plan Commission hearing to provide additional time to hold a second neighborhood meeting. This meeting was held on August 27, 2014.

Surrounding land uses include a mixed residential neighborhood to the North; apartment and commercial uses to the South, a mixed residential/commercial building to the East and an undeveloped area to the West. The plan approved in 2013 indicates that amenities will include a clubhouse, pavilion and outdoor swimming pool. Dumpster facilities are currently offered throughout the development.

Parking and Circulation

As previously approved, the existing access points from Dorr Street, Secor Road and Valleston Parkway will remain and parking will be distributed throughout the development via internal circulation drives. The drives encircle the perimeter of the site in a manner that provides easy access to parking from each of the buildings. The site plan includes a “roundabout” in the front of the new clubhouse location however the overall parking and circulation design (access points, drive aisles and parking locations) remain relatively unchanged.

TMC§1107.0304 *Off-Street Parking Schedule “A”* requires one and one-half parking spaces per unit plus one parking space per every ten units for visitor parking. The amendment includes a reconfiguration in the parking area layout in the vicinity of the new building. The previous plan had a parking requirement of 616 spaces with 675 being provided. The amendment requires a minimum of 623 spaces be provided. The applicant is proposing 670 spaces a net reduction of five (5) spaces.

Coverage & Building Height

Pursuant to TMC§1106.0302B *Multiple Buildings on a Lot – Intensity and Dimensional Standards*, no more than forty (40) percent of the gross parcel acreage be devoted to coverage by buildings, street pavement, driveway pavement and parking area pavement. The amendment is proposing site coverage of fifty (50) percent, ten (10) percent over the maximum allowed. SPR-43-13 was approved with site coverage of 48.8 percent. City Council approved a coverage waiver as part of the Z-8008-13, to allow up to fifty (50) percent coverage.

STAFF ANALYSIS (cont'd)

Coverage & Building Height (cont'd)

The maximum height permitted in the RM24 district is thirty-five (35) feet. The applicant was also granted a height waiver by City Council as part of Z-8008-13, to allow for heights to not exceed fifty-one (51) feet. The applicant has indicated that the four (4)-story building will be the same design as the previously approved buildings and will not exceed fifty-one (51) feet.

Density

The proposed RM24 Multi dwelling Residential zoning district permits twenty (20) units per acre or a maximum of 395 units for the subject property. The applicant is proposing 389 units for a density of 19.68 units per acre. As a result, the proposed density is in compliance with TMC§1106.0101 *Residential Districts – Intensity and Dimensional Standards*.

Landscaping

The site is existing and per TMC§1114.0500 *Nonconforming Developments – Appearance Upgrades*, it is only required to be brought closer into compliance with the 2004 zoning code landscape requirements. The applicant will continue to be required to comply with the landscaping requirements outlined in SPR-43-13. This landscaping referenced in this amendment will be subject to the areas of the new amended development.

In addition, a ten (10) foot landscape buffer with a solid fence was previously approved along the northern property lines where the site abuts the residential neighborhood (for the portion of the site to be redeveloped). Currently, a solid fence exists with to varying widths of manicured grass in both areas. The amended site plan indicates the use of decorative fencing along this property line. Staff is requesting that solid fencing be installed to the north of the new building and detention pond to help screen the development from the single-family neighborhood.

Interior site landscaping for multi-dwelling residential uses of one (1) tree per 500 square feet of building coverage and twenty (20) square feet of interior landscaping per parking space was previously approved. Staff recommends that the amended portion of the site to be redeveloped continue to be brought into compliance with these standards.

Building Design

New multi-dwelling developments are required to comply with two (2) design standards as set forth in TMC§1109.0100 *Multi-Dwellings and Duplexes*. First, the buildings must face either a street or driveway and have a main entrance facing the street or driveway. This front entrance should include certain architectural elements that emphasize the entrance. The renderings included with this amendment meet the requirement for entrance architectural elements.

STAFF ANALYSIS (cont'd)

Building Design (cont'd)

The second design standard requires that connecting walkways be provided for internal pedestrian circulation, connecting the buildings to the parking area and the overall development. The new building has a sidewalk that connects it to a parking area as well as the other building and common areas of the proposed development.

The applicant has submitted color renderings that indicate the use of materials including brick, cultured stone veneer and other materials yet to be determined. Staff has requested that the applicant submit a revised elevation clarifying all type of materials to be used and percentages of each material. The new building will be of the same design as the buildings approved as part of SPR-43-13.

Recommendation

Staff recommends approval of the site plan review for two (2) reasons. First, the proposed use conforms to the Toledo 20/20 Comprehensive Plan and the Dorr Street Vision Plan, which targets this site for neighborhood commercial and multi family residential uses. Second, the proposed use is consistent with the uses of nearby properties.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve SPR-29-14, an amendment to a Major Site Plan Review, originally approved via SPR-43-13, to facilitate the addition of one multi-family building for a site located at 1500 College Drive., 3315 Valleston Parkway, 1517 Secor Road, 1519 Secor Road & part of 1461 Secor Road for the following two (2) reasons:

1. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC 1111.0706.C Review & Decision-Making Criteria);
2. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

The staff recommends that the Toledo City Plan Commission approve SPR-29-14, an amendment to a Major Site Plan Review, originally approved via SPR-43-13, to facilitate the addition of one multi-family building for a site located at 1500 College Drive, 3315 Valleston Parkway, 1517 Secor Road, 1519 Secor Road & part of 1461 Secor Road, subject to the following forty-two (42) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines. The pedestrian ramps at the intersection of College Dr. and Secor Rd. shall be removed and replaced in order to conform to the standards listed above.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. Existing drives along Secor Road that will not be reused shall be removed and the area restored to match the adjacent landscape. Curb drops through unused drives shall be removed and replaced with full height curb to match the adjacent curb. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.
5. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
6. Plans shall be submitted to the Division of Engineering Services for review and approval.
7. Plans for the water service shall be submitted to and approved by the Ohio EPA prior to starting construction of the water service.
8. If existing public water facilities are in conflict and must be relocated, they will be relocated by the City of Toledo at the owner's cost.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

9. Storm drainage service for this site is available subject to: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The “Subdivision Rules & Regulations” of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and “The Comprehensive Ditch Plan.”
10. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100’) from the development boundaries if requested.
11. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo requirements for the sanitary, storm, water and roadway utilities. This understanding will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Tim Grosjean, ph. 419-245-1344

12. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

13. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers and underground detention, are encouraged. Designs incorporating green infrastructure, such as wet ponds, extended detention, bio-retention, or grassy swales, etc., may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
14. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
15. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
16. No construction work, including grading will be permitted without approved plans and inspection.
17. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
18. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
19. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developer's cost.
20. Any existing sewers under proposed buildings shall be relocated or abandoned. Developer shall verify any sewers to be abandoned are no longer in service.
21. Developer shall be responsible for meeting the requirements of the Ohio EPA anti-degradation policy. Requirements shall be met before any taps are made into the sanitary sewer system.
22. Any sanitary sewer manholes in or near pavement shall have solid lids installed on them.

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services

23. Sewer and Drainage Services recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
24. Sewer and Drainage Services recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to Sewer and Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

25. Hydrants are required within 350' of all portions of a building or structure. If existing private hydrants are to remain, they must be serviced and maintained as required by the Ohio Fire Code and referenced standards.
26. Building identification is required on all new/existing buildings.

Building Inspection

27. Demolition of the existing building will require a demolition permit issued from the City of Toledo through its Division of Building Inspection requiring termination of all utilities. Documentation from Columbia Gas and Toledo Edison/Energy One must be provided to Building Inspection that this has occurred. If the existing water and sewer taps are to be re-used, the applicant/contractor must identify this to the Department of Public Utilities and secure their release for the demolition permit to be processed and issued.
28. Construction of any new building, or building additions to existing structures, will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for plan review and approval showing the construction to be in compliance with the City of Toledo's building, mechanical and fire codes, by referenced standards, those of the State of Ohio. Plans must identify the correct building type, use group, occupancy load, plumbing fixture count, egress and emergency egress locations, emergency evacuation routes and other life-safety and ADA compliancy facilities, in accordance with the Administrative Code of the Ohio Building Code Chapter 106.
29. Any new fence and new signs will require separate plan reviews and permits.

STAFF RECOMMENDATION (cont'd)

Division of Transportation

No concerns or objections.

Plan Commission

30. All conditions outlined in SPR-43-13 and Ordinance 558-13 still apply.
31. Maximum building height is not permitted to exceed fifty-one (51) feet.
32. Gross parcel acreage coverage shall not exceed fifty (50) % by buildings, street pavement, driveway pavement and parking area pavement.
33. The applicant shall submit a revised elevation for the new building that identifies all exterior materials to be used and the percentage of materials per façade. All building facades visible from any right-of-way shall consist of a minimum seventy-five (75) percent high quality material. Elevations submitted as part of SPR-43-13 still apply.
34. The building materials of the addition shall meet the requirements of TMC 1109.0500 Building Façade Materials and Color. Elevations shall be submitted to meet the approval of the Plan Director. Exterior building materials shall not include concrete blocks, concrete panels or wood sheet goods. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors. The submitted elevations appear to meet the requirements of TMC 1109.0500 Building Façade Materials and Color.
35. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping area.
36. Dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks, **shall be noted on revised site plan.**
37. A minimum of 623 parking spaces shall be provided per Toledo Municipal Code Section 1107.0500.
38. A minimum of fifty (50) bicycle spaces shall be provided per Toledo Municipal Code Section 1107.0900.
39. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval (landscaping conditions only apply to the portion of the site subject to this amendment). Such plan shall include:

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- a. In addition to the other landscape requirements for buffer areas, frontage greenbelts, and landscaping for parking lot areas, the following shall be provided: one 2-inch caliper tree for every 500 square feet of building coverage (footprint); foundation plantings along all portions of the building that are visible from the public rights-of-way; and landscaping at all major building entrances; **shall be noted on revised landscape plan.**
- b. Total interior landscaping shall be twenty (20) square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with six (6) inch by eighteen (18) inch concrete curbing; **shall be noted on revised landscape plan.**
- c. All parking spaces must be within 100 linear feet of a landscaped area; **shall be noted on revised landscape plan.**
- d. All landscaped areas must have a minimum dimension of at least nine (9) feet and be at least 160 square feet in area; **shall be noted on revised landscape plan.**
- e. Topsoil must be back filled to provide positive drainage of the landscape area; **shall be noted on revised landscape plan.**
- f. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **shall be noted on revised landscape plan.**
- g. Landscape terminal islands must be provided at the end of each parking row; **shall be noted on revised landscape plan.**
- h. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each ten (10) parking spaces within the parking lot; **shall be noted on revised landscape plan.**
- i. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten (10) feet in width; **shall be noted on revised landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- j. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **shall be noted on revised landscape plan.**
 - k. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details; **shall be noted on revised landscape plan.**
 - l. Type A Landscape buffers are required along the northern property line where abutting the single family neighborhood and shall be ten (10) feet wide with a solid fence; **shall be noted on revised landscape plan.**
 - m. The location, height and materials of any fencing to be installed and maintained; **shall be noted on revised landscape plan.**
 - n. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **acceptable as depicted on site plan.**
 - o. The location, lighting and size of any signs, all signage is subject to TMC§1387.
40. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.
41. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
42. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

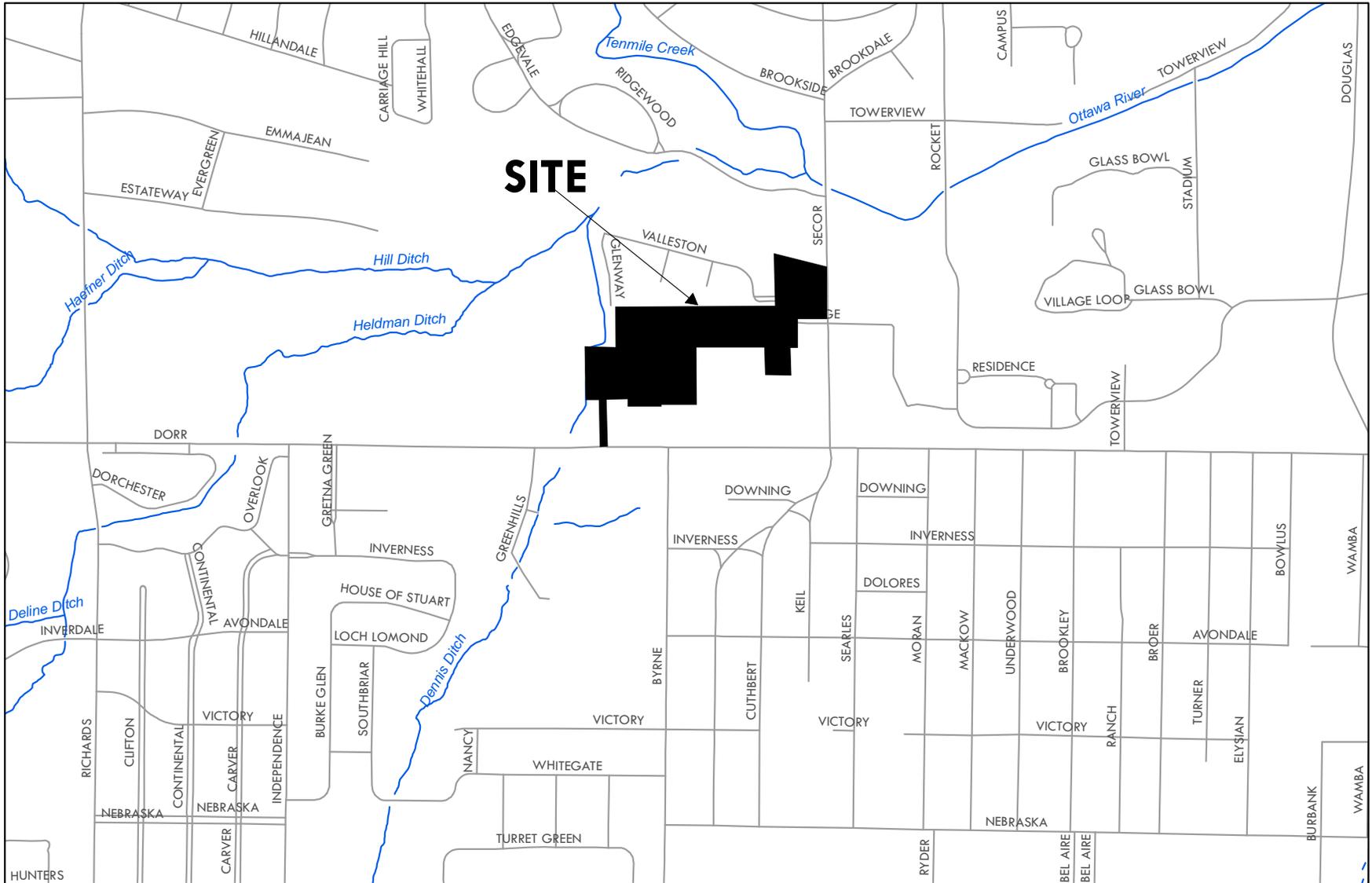
REF: SPR-29-14. . .September 11, 2014

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-29-14
DATE: September 11, 2014
TIME: 2:00 P.M.

BH/ks
Four (4) sketches follow

GENERAL LOCATION

SPR-29-14
ID 81

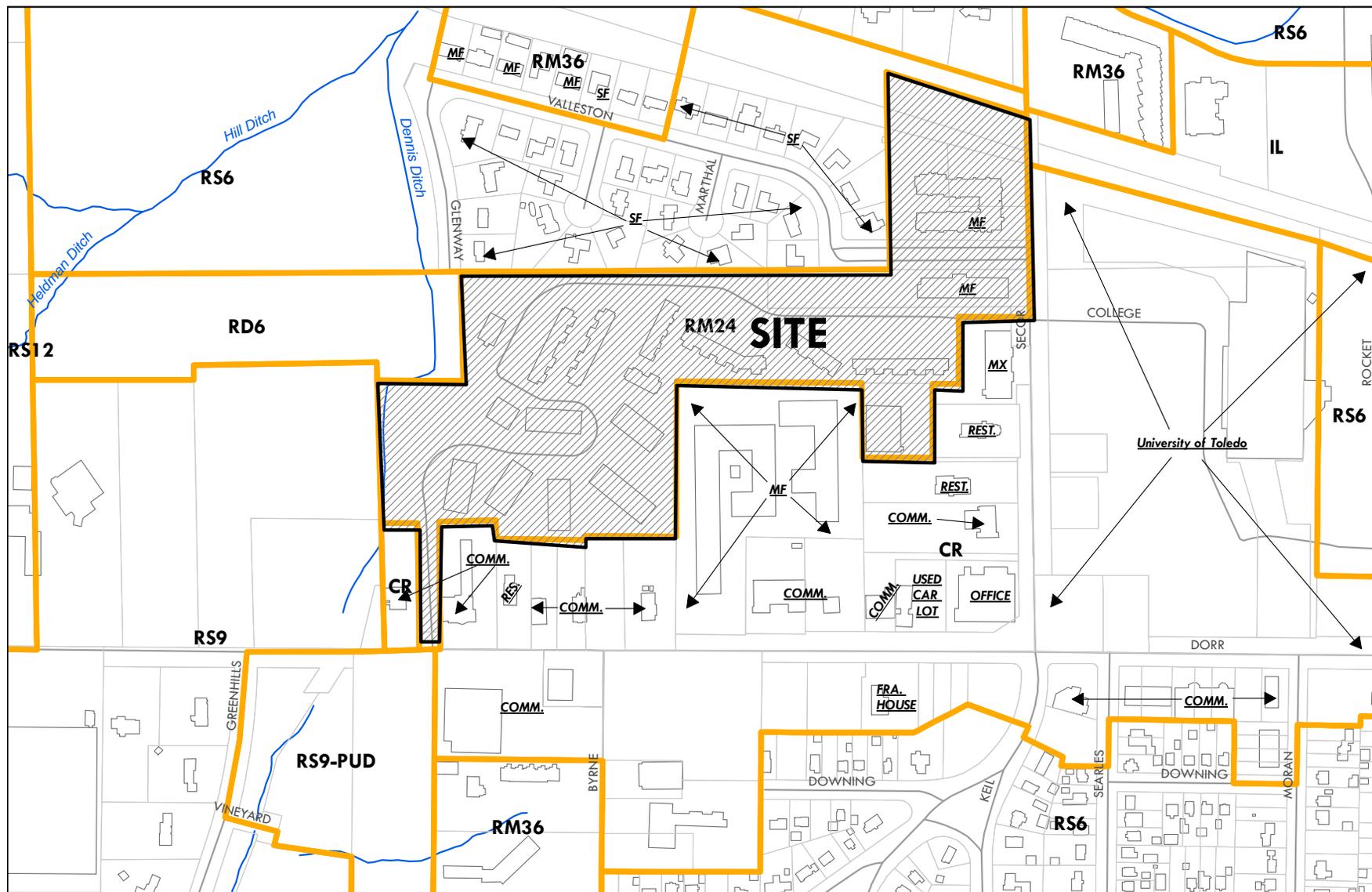


ZONING & LAND USE

SPR-29-14
ID 81

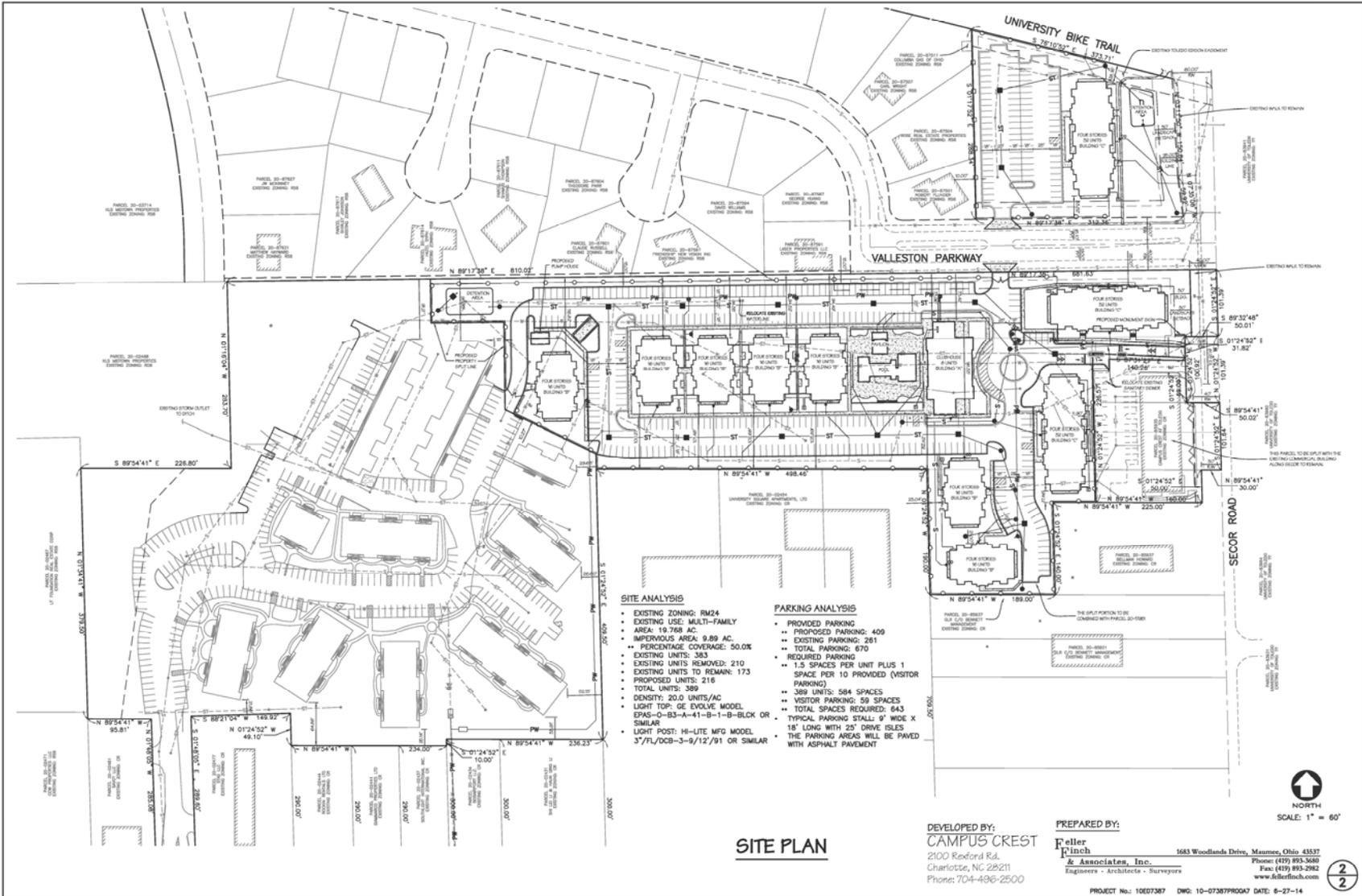


1 - 15



SITE PLAN

SPR-29-14
ID 81



SITE ANALYSIS

- EXISTING ZONING: RM24
- EXISTING USE: MULTI-FAMILY
- AREA: 19,768 AC.
- IMPERVIOUS AREA: 9.89 AC.
- PERCENTAGE COVERAGE: 50.0%
- EXISTING UNITS: 383
- EXISTING UNITS REMOVED: 210
- EXISTING UNITS TO REMAIN: 173
- PROPOSED UNITS: 216
- TOTAL UNITS: 389
- DENSITY: 20.0 UNITS/AC
- LIGHT TOP: GE EVOLVE MODEL
- EPAS-D-83-A-41-B-1-B-BLCK OR SIMILAR
- LIGHT POST: HI-LITE MFG MODEL 37/FL/DCB-3-9/12/91 OR SIMILAR

PARKING ANALYSIS

- PROVIDED PARKING:
 - PROPOSED PARKING: 409
 - EXISTING PARKING: 261
 - TOTAL PARKING: 670
- REQUIRED PARKING:
 - 1.5 SPACES PER UNIT PLUS 1 SPACE PER 10 PROVIDED (VISITOR PARKING)
 - 389 UNITS: 584 SPACES
 - VISITOR PARKING: 59 SPACES
 - TOTAL SPACES REQUIRED: 643
- TYPICAL PARKING STALL: 9' WIDE X 18' LONG WITH 25' DRIVE ISLES
- THE PARKING AREAS WILL BE PAVED WITH ASPHALT PAVEMENT

SITE PLAN

DEVELOPED BY:
CAMPUS CREST
2100 Redford Rd.
Charlotte, NC 28211
Phone: 704-486-2500

PREPARED BY:

**Feller
Inch
& Associates, Inc.**
Engineers • Architects • Surveyors

1683 Woodlands Drive, Maumee, Ohio 43537
Phone: (419) 893-3680
Fax: (419) 893-2962
www.fellerinch.com

PROJECT No.: 10E27387 DWG: 10-07387PROG07 DATE: 8-27-14



2
2

ELEVATION #1

SPR-29-14
ID 81



Front/Rear Elevation



Side Elevation

Color Legend:



Windows, doors and Gutters
"White" per manufacturer



Trim Color
"Almond" or similar



SW 6279 "Black Swan"
or similar



Queen Sz. Brick - Color
"Mt Vernon Red" or similar



Cultured Stone Veneer
Nichols or approved equals



Roof Shingles "Charcoal" or
Similar

Design Visualization
Version 10-17-13

Stantec



Campus Crest
The Grove - Building 'B'
Toledo, OH.

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GENERAL INFORMATION

Subject

- Request - Amendment to Special Use Permit granted by Ordinance 400-12 to add a greenhouse to an existing school
- Location - 6149 Hill Avenue
- Applicant - Imagine Hill Avenue
6149 Hill Avenue
Toledo, OH 43615
- Owner - Roman Catholic Diocese of Toledo
Our Lady of Lourdes
6149 Hill Avenue
Toledo, Ohio 43615
- Engineer - Matt Lewandowski
Lewandowski Engineers
234 N Erie Street
Toledo, OH 43604

Site Description

- Zoning - RS6 Single-Dwelling Residential District
- Area - ± 18.016 acres
- Frontage - ± 1652.5 feet on Clarion Avenue
- Existing Use - Charter School

Area Description

- North - Single-family & Commercial Uses / RM36 & CN
- East - Commercial & Developmental Disabilities Group Living Facility / RS6
- South - Single-family Residential / RS6
- West - Single-family Residential / RS6

Parcel History

- SUP-4008-12 - Special Use Permit for the operation of a charter school (PC approved 6/14/12, Ord. 400-12 approved 7/31/12)

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting an amendment to a Special Use Permit granted by Ordinance 400-12 to add a greenhouse to the existing school located at 6149 Hill Avenue. The site is the current location of the Imagine Hill Avenue Environmental School (former Our Lady of Lourdes School). The Special Use Permit covered “Split A” & “Split B” as indicated on the site plan, both of which are long term leased areas by the applicant. This case was deferred from the May 8, 2014 Plan Commission hearing at the request of the property owner to further review the location of the greenhouse.

Surrounding land uses include a mixture of commercial and single-family residential uses to the north, a developmental disabilities group living facility to the east and single-family residential to the south and west.

The addition of the greenhouse is not anticipated to change the overall operations of the school in terms of enrollment or required parking. The elementary school was approved for 275 students with 21 staff/faculty. The required parking for a school of this size is 27 automobile and 50 bicycle spaces. The required parking will continue to be provided in the rear of the school and via the leased parking lot to the east of the church.

No additional landscaping was required as part of the original proposal of the current proposal. The school is setback approximately 400 feet from Hill Avenue and is located in a wooded setting. Based on the existing vegetation in the area, this site meets or exceeds the requirements for required landscaping.

The Toledo 20/20 Comprehensive Plan targets this area for single-family residential land uses. The intent of the single-family residential future land use designation is to accommodate the development of single dwelling units on individual lots. It may also include libraries, schools, churches, and community centers. As a result, the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 Review and Decision-making Criteria.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-3003-14, an amendment to a Special Use Permit granted by Ordinance 400-12 to add a greenhouse to the existing school located at 6149 Hill Avenue, to Toledo City Council for the following three (3) reasons:

STAFF RECOMMENDATION (cont'd)

1. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan;
2. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC 1111.0706.C Review & Decision-Making Criteria);
3. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-3003-14, an amendment to a Special Use Permit granted by Ordinance 400-12 to add a greenhouse to the existing school located at 6149 Hill Avenue, to the Toledo City Council, subject to the following twenty (20) conditions:

Engineering Services

1. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from the One Stop Shop, ph. (419) 245-1220.
2. Storm drainage service for this site is available subject to: the Criteria and Regulations of the Departments of Public Utilities and Public Service; the Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; the Toledo City Charter; the "Subdivision Rules & Regulations" of the Toledo-Lucas County Plan Commission; the City of Toledo Infrastructure Design Plan."
3. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
4. No construction work, including grading, will be permitted without approved plans and inspection.
5. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at www.ci.toledo.oh.us/Departments/PublicUtilities/DivisionofEngineeringServices/PlanReviewProcess/tabid/355/Default.aspx. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, the Division of Engineering Services to set up a pre-submittal meeting. This is suggested so that there is a full understanding of the City of Toledo's requirements for the sanitary, storm, water, and roadway utilities. This will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

Contact Information is:

Division of Engineering Services: ph. (419) 245-1315, fax (419) 936-2850

Sanitary Sewers: Mike Elling, ph. (419) 936-2276

Storm Water Drainage: Lorie Haslinger, ph. (419) 245-3221

Water: Andrea Kroma, ph. (419) 936-2163

Roadway: Tim Grosjean, ph. (419) 245-1344

6. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over one (1) acre must submit an NOI to and obtain a permit from the Ohio EPA.
7. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ storm water detention and post-construction storm water BMPs as specified in the City of Toledo Infrastructure Design and Construction Activities. Designs incorporating low impact development solutions such as grassy swales, and bio-retention areas in lieu of curb, storm sewers and underground detention are encouraged. Designs incorporating green infrastructure such as wet ponds, extended detention, bio-retention, or grassy swales, etc. may be eligible for a percent reduction in the property's storm water utility fee through the Storm Water Credit Program.
8. A site specific Storm Water Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit.
9. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
10. The City has recently put in a LOMR request with FEMA based on a USGS study which will affect the floodplain boundaries of Heldman Ditch. The preliminary maps show that the new proposed location of the greenhouse will be within the floodplain. Therefore being in or adjacent to a flood hazard zone, this area is subject to Toledo Municipal Code, Chapter 1110, which must be complied with in full.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

11. To allow for maintenance access; structures, permanent fences, walls or other obstructions are not permitted within 12 feet (12') of the top of bank or ordinary high water mark of Heldman Ditch or within the floodway. Clearing of vegetation/storage of materials/development within 40 feet (40') of the ordinary high water mark of Heldman Ditch is discouraged due to water quality impacts.

Sewer & Drainage Services

12. Sewer and Drainage Services recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
13. Sewer and Drainage Services recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to Sewer and Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

14. A fire hydrant is required to be within 600' of a "U" utility building. (OFC507.5.1 Excep 1)

Building Inspection

15. A greenhouse, whether built by conventional site-construction methods, fabricated from a manufactures kit, or installed as a pre-built unit on a foundation will require stamped drawings of the structure and its foundation or anchoring system on the property submitted to the Division of Building Inspection for review and approval in accordance with the administrative code of the Ohio Building Code and the associated mechanical, electrical and fire codes.
16. The structure is shown not to be involved with the floodplain, however it is to be located at the edge of Heldman Ditch, shown on FEMA's flood insurance rate map panel 39095C0064E. Any construction or involvement of the floodplain will require a floodplain development permit and possible flood proofing construction.

Division of Transportation

No objections or concerns

STAFF RECOMMENDATION (cont'd)

Plan Commission

17. Use of the road to the rear of the property is limited to employee parking, deliveries and emergency vehicles. Signage shall be installed indicating restricted access.
18. All conditions outlined in Ordinance 400-12, still apply.
19. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
20. No permits shall be issued until arrangements satisfactory to the Director of the Toledo City Plan Commission have been made for compliance with the conditions as set forth above.

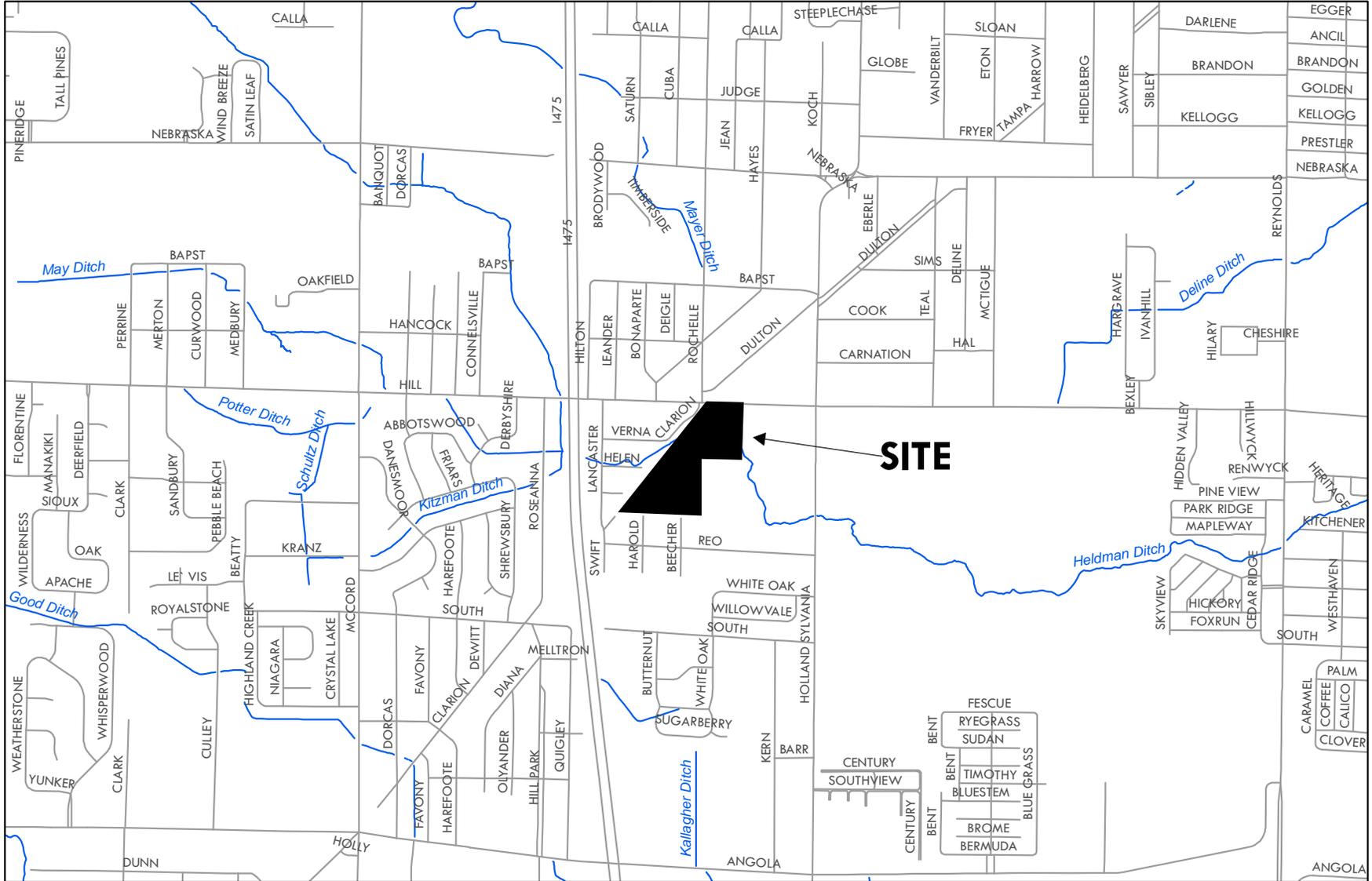
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-3003-14
DATE: September 11, 2014
TIME: 2:00 p.m.

CITY COUNCIL COMMITTEE
PLANNING AND ZONING
DATE: October 15, 2014
TIME: 4:00 p.m.

BH/ks
Three (3) sketches to follow

GENERAL LOCATION

SUP-3003-14
ID 128



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GENERAL INFORMATION

Subject

- Request - Special Use Permit for a new cellular tower
- Location - 4330 Hill Avenue
- Applicant - Michael Linnenkugel
4330 Hill Avenue
Toledo, OH 43607
- Co-Applicant - Skyway Towers, LLC
C/O: Carrie Torrey
20525 Amberfield Drive
Suite 102
Land O Lakes, FL 34638
- Contact - PBM Wireless Services, LLC
C/O: Brian Ramirez
15 Victory Hill
Coatesville, IN 46121
- Engineer - Harper Engineering, Inc.
C/O: David W. Harper
815 Superior Avenue
Suite 1514
Cleveland, OH 44114
- Surveyor - Rolling & Hocevar, Inc.
C/O: Andrew G. Planet
257 South Court Street, Suite 6
Medina, OH 44256

Site Description

- Zoning - RS6 Single Family Residential
- Area - ±6.58 acres
- Frontage - ±556' along Hill Avenue
- Existing Use - Greenhouse and Accessory Buildings
- Proposed Use - Addition of a Cellular Tower

GENERAL INFORMATION (cont'd)

Area Description

North	-	Single Family Homes / RS6
South	-	Multi-Family Homes, Vacant Commercial / CR
East	-	Single Family Homes / RS6
West	-	Single Family Homes, Apartments / RS6, RM36

Parcel History

No record on file

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is requesting a special use permit for a cell tower to be located at 4330 Hill Avenue. The site consists of a ±6.58 acre parcel that is occupied by a greenhouse and accessory use buildings. The site is zoned single family residential and is adjacent to various residential uses. A special use permit is required because the site is located in a residentially zoned district.

The applicant is proposing to develop a free standing wireless tower and associated equipment shelter building. The proposed tower will be 130' in height including a 10' tall lightning rod. The entire 3,600 square foot development site is required to have an 8 foot high privacy fence or wall constructed around the perimeter of the wireless facility, as measured from the finished grade. There are no parking requirements associated with the proposed development.

Wireless Facilities are required to have a setback distance from the property line in all directions equal to the height of the tower. The elevation submitted shows a tower that is 130' tall and setback ±124' from the eastern property line. The tower will need to be shifted 6' to the west to be in compliance with the required setback. The site plan indicates existing gravel access roads and a proposed gravel turnaround will be utilized as ingress and egress for the facility. The Toledo Municipal Code requires all drive aisles to be paved with a dust free material. The proposed gravel turnaround is required to be paved with a dust free material.

STAFF ANALYSIS (cont'd)

Design

The site plan and elevation indicates that the proposed wireless cellular tower will be of a galvanized monopole design. The proposed fencing is chain link with barbed wire. Pursuant to TMC§1105.0303 the use of barbed wire, razor wire, concertina wire or the like is not permitted. Additionally, TMC1108.1801 requires that a privacy fence or wall be installed. The proposed fence does not meet this criteria. Elevations show proposed future addition of antennas to the monopole. The addition of antennas to a wireless facility need not be reviewed as a Special Use Permit amendment but shall comply with all applicable zoning districts.

No signals, lights or other illumination shall be permitted, unless required by FAA regulation, other federal or state law, or otherwise in section TMC§1104.1801(E). When lighting of a tower is required, it shall be placed on the tower and designed in such a way as to minimize glare on adjacent residential properties. Lighting of accessory structures for security purposes is permissible but shall be so arranged so as to direct and reflect light away from any adjacent residential property or public way.

Landscaping

Per TMC§1104.1800(C)(2), wireless telecommunications facilities are to be landscaped in accordance with the screening requirements of section 1108.0203. For purposes of said section, a wireless facility shall be reviewed as an industrial use regardless of the zoning district in which the facility is located. According to the Landscaping and Screening Matrix, a Type A landscape buffer is required on all 4 sides of the facility. The facility is required to have a solid board-on-board fence and a 10 foot wide landscape buffer on the exterior of the fence. A landscape plan has not been submitted as part of the special use permit review.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for single family residential uses. The intent of the RS6 Single Family Residential district is to accommodate the development of single dwelling units on individual lots. The districts are intended to create, maintain and promote housing opportunities for individual households, although they do permit nonresidential uses that are typically compatible with residential neighborhoods. The proposed development conforms to the current zoning of the site and meets the stated purpose of the zoning code.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-7005-14, a request for a Special Use Permit for a new cellular tower located at 4330 Hill Avenue, to the Toledo City Council, for the following three (3) reasons:

STAFF RECOMMENDATION (cont'd)

1. The proposed use conforms with the current zoning of the site;
2. The proposed use meets the stated intent of the zoning code (TMC§1111.0706.A); and
3. The proposed use complies with the Toledo 20/20 Comprehensive Plan.

The staff further recommends that the Toledo City Plan Commission approve SUP-7005-14, a request for a Special Use Permit for a new cellular tower located at 4330 Hill Avenue, to the Toledo City Council, subject to the following twenty-six (26) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. Storm drainage service for this site is available subject to: the Criteria and Regulations of the Departments of Public Utilities and Public Service; the Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; the Toledo City Charter; the “Subdivision Rules & Regulations” of the Toledo-Lucas County Plan Commission; the City of Toledo Infrastructure Design Plan”.
2. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
3. No construction work, including grading, will be permitted without approved plans and inspection.
4. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at:www.ci.toledo.oh.us/Departments/PublicUtilities/DivisionofEngineeringServices/PlanReviewProcess/tabid/355/Default.aspx. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This is suggested so that there is a full understanding of the City of Toledo’s requirements for the sanitary, storm, water, and roadway utilities. This in turn helps to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

Contact Information is:

Division of Engineering Services: ph. (419) 245-1351, fax (419) 936-2850

Sanitary Sewers: Mike Elling, ph. (419) 936-2276

Storm Water Drainage: Lorie Haslinger, ph. (419) 245-3221

Water: Andrea Kroma, ph. (419) 936-2163

Roadway: Tim Grosjean, ph. (419) 245-1344

5. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over one (1) acre must submit and NOI to and obtain a permit from the Ohio EPA.
6. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ storm water detention and post-construction storm water BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions such as grassy swales, and bio- retention areas in lieu of curb, storm sewers and underground detention are encouraged. Designs incorporating green infrastructure such as wet ponds, extended detention, bio-retention, or grassy swales, etc. may be eligible for a percent reduction in the property's storm water utility fee through the Storm Water Credit Program.
7. A site specific Storm Water Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit.
8. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.

Sewer & Drainage Services

9. Sewer and Drainage Services recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services (cont'd)

10. Sewer and Drainage Services recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect to the public sewer system if this has not been done in the past (2) years. An electronic copy (DVD/memory stick) shall be provided to Sewer and Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

No comments and/or recommendations for the site plan review.

Transportation

11. The proposed “gravel access drive and turnaround” shall be surfaced with concrete, bituminous asphalt, or other dust free material other than gravel or loose fill.

Building Inspection

12. Although the structure depicted in the proposed site drawings is labeled a monopole cell tower in an equipment area, any construction and/or erection of an occupied structure will require construction documents stamped by a State of Ohio licensed design professional to be submitted to Division of Building Inspection of plan review and approval showing the structure’s construction to be in compliance with the Ohio Building Code and the associated mechanical, electrical codes and fire codes.
13. Details of the foundation of the monopole cell tower will need to be submitted for plan review, showing the construction to be in compliance with the Ohio Building Code.
14. The plans call for barbed wire on the chain link fence. The use of barbed wire is prohibited by TMC§1105.0303, particularly as this location as this property is zoned residential and the adjacent properties are zoned residential.
15. The use of a gravel driveway is prohibited, as the driveway should be constructed of an impervious material.

STAFF RECOMMENDATION (cont'd)

Plan Commission

16. Wireless Facilities shall be designed to reasonably blend into the surrounding environment through the use of neutral colors (such as gray), screening, landscaping and architecture, unless the Federal Aviation Administration, or other federal or state authorities, require otherwise. Tower shall be constructed of galvanized metal.
17. No commercial advertising shall be allowed on a tower or antenna, except for antennas attached to an existing and approved sign. Towers may have safety or warning signs in appropriate places.
18. Mobile or immobile equipment not used in direct support of a wireless facility shall not be stored or parked on the site, unless repairs to the facility are being made.
19. The Wireless Facilities shall be setback from the property line in all directions a distance at least equal to the height of the tower or 100 feet, whichever is greater, if the site is in or abuts a Residential district or Household Living or Group Living areas. **Not compliant as depicted on site plan.**
20. The tower or antenna shall be constructed so that if failure does occur, it will collapse into itself and will not fall onto structures near the site.
21. Towers shall be of a monopole design, and guyed or lattice towers are prohibited.
22. Fence shall meet the criteria as set forth in TMC 1104.1801(C)(1) *Wireless Telecommunication Facilities*. Fence shall be an 8 foot privacy fence or wall, as measured from the finished grade of the site, constructed around the perimeter of the Wireless Facility. **The use of barbed wire is not permitted.**
23. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A Type A Landscape buffer is required along all four sides of the wireless facility and shall be twenty-five feet (25') in width or ten feet (10') in width with a solid fence. **Plantings may consist of shrubs only, and no canopy trees;**
 - b. The location, number, height, diameter and species of any materials to be planted and maintained shall meet the standards included in TMC§1108.0400 Landscape Materials Standards;

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- c. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties) **No signals, lights or other illumination shall be permitted, unless required by the FAA;**
 - d. The location and type of any proposed fencing. The fencing is subject to the approval of the Director of the City of Toledo Plan Commission.
 - e. **If applicable.** The location, lighting and size of any signs, all signage is subject to TMC§1387. No commercial advertising shall be allowed on a tower or antenna, except for antennas attached to an existing and approved sign. Towers may have safety or warning signs in appropriate places.
- 24. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
 - 25. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.
 - 26. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.

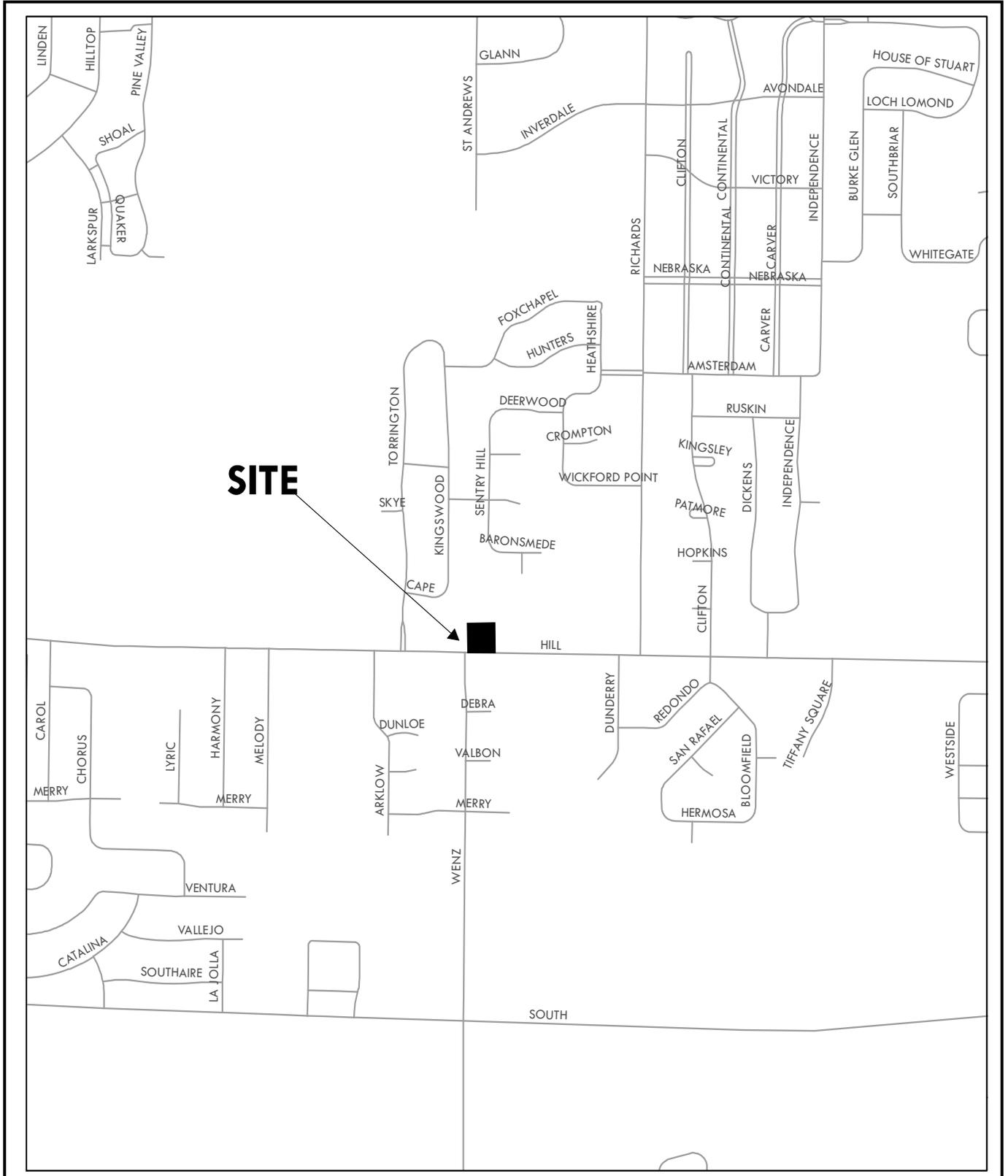
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-7005-14
DATE: September 11, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: October 15, 2014
TIME: 4:00 P.M.

GP/ks
Five (5) sketches follow

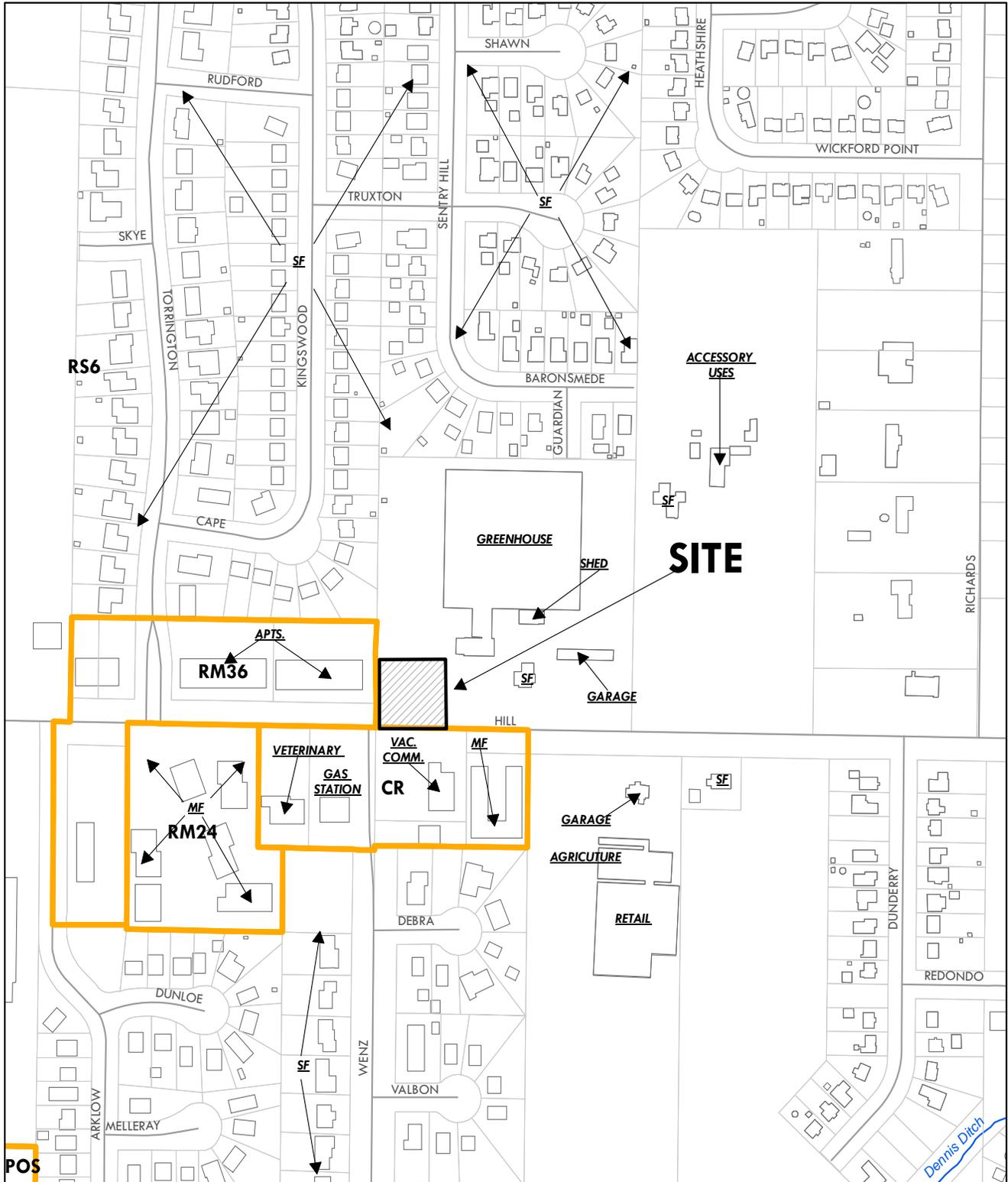
GENERAL LOCATION

SUP-7005-14
ID 83



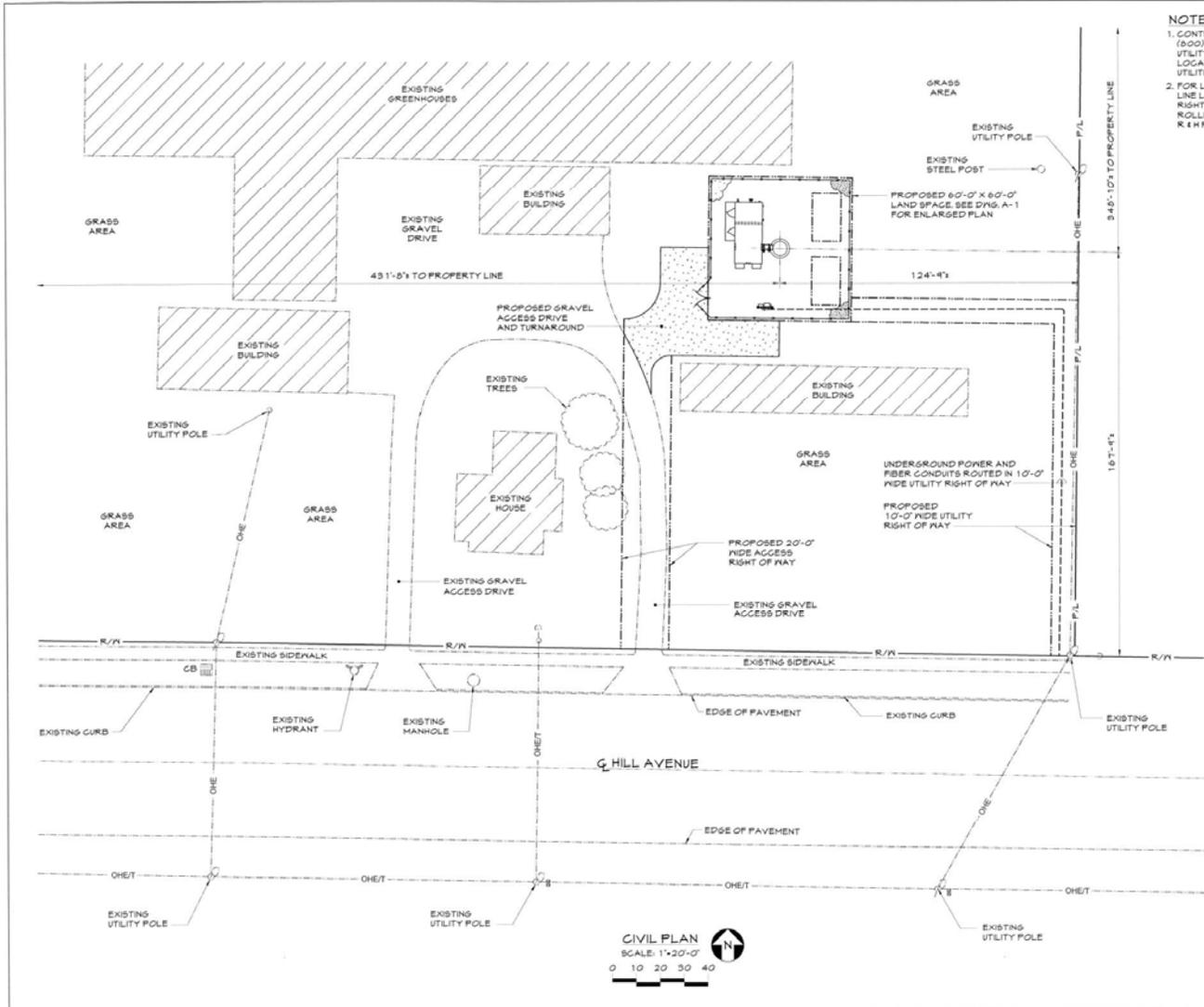
ZONING & LAND USE

SUP-7005-14
ID 83



CIVIL PLAN

SUP-7005-14
ID 83



- NOTES:**
1. CONTRACTOR TO CALL "QUIPS" AT (800) 362-2764 OR OTHER LOCAL JOINT UTILITY LOCATOR SERVICE TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 2. FOR LEGAL DESCRIPTIONS, PROPERTY LINE LOCATIONS/ BEARINGS, LAND SPACE, RIGHT OF WAYS, ETC. SEE SITE SURVEY BY ROLLINS & HOEVAR, INC. REFERENCE R 4 H PROJECT NO. 50,417-26.

NEW PAR dba

HARPER ENGINEERING, INC.
TELECOM GROUP
315 Superior Ave. Suite 1514
Cleveland, OH 44114
Phone: (216)344-3555
Fax: (216)344-3556

SKYWAY TOWERS
SITE #OH-08861

Rev.	Description	Date	Mgr.
0	For Zoning	07/23/14	GJB

Engineer's Seal

SITE NAME:
RICHARDS ROAD

SITE NUMBER:
TOLD-235

4330 HILL AVENUE
CLEVELAND, OH 44107

CIVIL PLAN

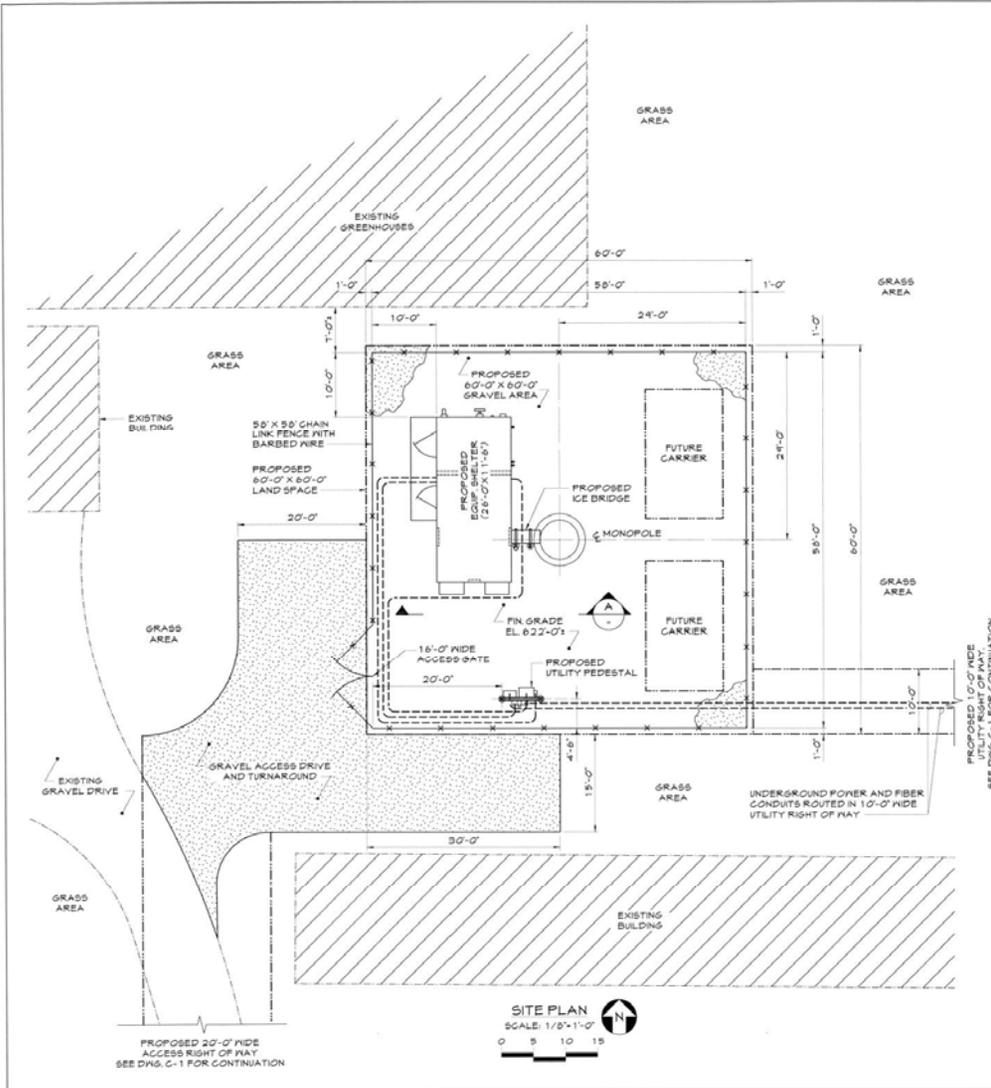
SHEET No./Rev. **C-1/0**

SCALE AS NOTED
DRAWN BY: JEF
CHECKED BY: GJB
DATE: 06/19/14
FILE: 4-144-116

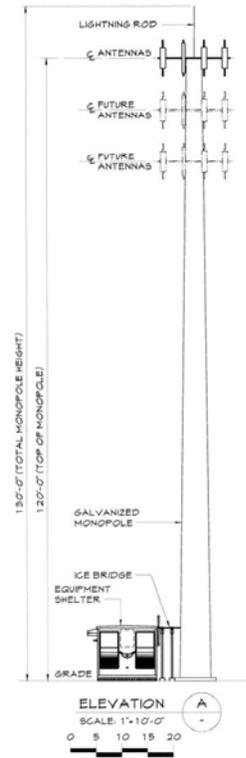
3-11

SITE PLAN & ELEVATION

SUP-7005-14
ID83



- NOTES:**
- CONTRACTOR TO CALL "O.U.P.S" AT (800) 362-2764 OR OTHER LOCAL JOINT UTILITY LOCATOR SERVICE TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 - FOR LEGAL DESCRIPTIONS, PROPERTY LINE LOCATIONS / BEARINGS, LAND SPACE, RIGHT OF WAYS, ETC. SEE SITE SURVEY BY ROLLING THORPE/AR, INC. REFERENCE R-4H PROJECT NO. 50,441-26.



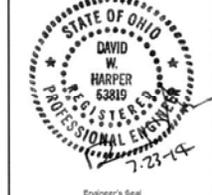
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HARPER ENGINEERING, INC.
TELECOM GROUP
815 Superior Ave. Suite 1514
Cleveland, OH 44114
Phone: (216)344-3555
Fax: (216)344-3556

SKYWAY TOWERS
SITE #OH-08861

Rev.	Description	Date	Mgr.
0	For Zoning	01/23/14	GJB



SITE NAME:
RICHARDS ROAD

SITE NUMBER:
TOLD-235

4330 HILL AVENUE
TOLEDO, OH 43607

SITE PLAN & ELEVATION

SHEET No./Rev.: A-1/0

SCALE AS NOTED
DRAWN BY: HEP
CHECKED BY: GJB
DATE: 08/13/14
FILE: R-144-116

3-12

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GENERAL INFORMATION

Subject

- Request - Special Use Permit for a New Cell Tower
- Location - 4621 Glendale Avenue
- Applicant - AT&T Mobility
John R Sindyla, Esq.
7425 Royalton Road
North Royalton, OH 44133
- Owner - Bethel Baptist Church
4621 Glendale Avenue
Toledo, Ohio 43614

Site Description

- Zoning - RS12 Single Dwelling Residential
- Area - ± 5.25 acres
- Frontage - ± 140 feet on Glendale Avenue
- Existing Use - Church

Area Description

- North - Single-family Residential / RS12
- East - Church and Single-family Residential / RS12
- South - Single-family Residential / RS12
- West - Funeral Home / RS12

Parcel History

No parcel history on file.

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a special use permit to construct a new one hundred twenty-eight (128) foot stealth wireless communication facility and accessory garage at 4621 Glendale Avenue. The applicant is leasing a sixty-two (62) foot by sixty-two (62) foot portion of the site. The property is zoned RS12 single dwelling residential and is developed with a church and a parking lot. The new tower is proposed in the rear of the property.

Surrounding land uses include single-family residences to the North and South, a church and single-family residences to the east and a funeral home to the west.

Design and Location

Pursuant to TMC 1104.1804.C – Freestanding wireless facilities must be constructed of galvanized metal and of a monopole design. In addition, a tower of over 120 feet in height must be designed to accommodate the proposed antenna and two (2) comparable antennas at varying heights. The applicant is requesting a waiver of the tower design standards requiring the use of a monopole and galvanized metal. The “Stealth” design will consist of a bell tower façade around the proposed interior tower. The interior tower design will consist of three (3) individual poles with platform spaces thought-out to accommodate a minimum of two (2) comparable antennas. The overall tower is proposed to be one-hundred twenty-eight (128) feet in height and will attempt to match the existing color of the church. In addition, the façade will include crosses on all sides.

When located in or abutting a residentially zoned district, a wireless facility shall be setback from the property line in all directions a distance at least equal to the height of the tower or 100 feet, whichever is greater. The proposed tower is forty-five (45) feet from the western property line. The tower could be moved to the east as much as sixty-five (65) feet without compromising any other setbacks, however a waiver of eighteen (18) feet would still be required.

A neighborhood meeting is scheduled for September 3, 2014 to discuss the overall project. Staff is seeking neighborhood input regarding the design and location of the proposed tower. Following this meeting, staff will make a final recommendation regarding the design and location.

Parking and Circulation

Wireless Telecommunications Facilities do not have a parking requirement. However, access to the site will be required for maintenance purposes. The site plan submitted proposed the use of gravel in the drive area. Pursuant to TMC1107.1900 *Design Standards* – off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways shall be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill. The Department of Transportation has objected to the use of gravel in this area.

STAFF ANALYSIS (cont'd)

Landscaping

Wireless Facilities shall be designed to reasonably blend into the surrounding environment through the use of neutral colors, screening, landscaping and architecture. Any wireless facility sited on the ground shall have an eight (8) foot high privacy fence or wall around the perimeter of the wireless facility and be landscaped in accordance with the screening requirements. A wireless facility shall be deemed an industrial use regardless of the zoning district in which the facility is located. Therefore, a Type A buffer is required around the perimeter of the fence.

The proposed stealth tower was designed to reasonably blend with the existing church use. In addition the proposal included the use of a six (6) foot solid vinyl fence and evergreen plantings evenly spaced every on all sides. The number of shrubs proposed is consistent with a Type A buffer. The applicant will be required to raise the height of the vinyl fence to eight (8) feet.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for single-family residential uses. The intent of the single-family residential designation is to accommodate the development of single dwelling units on individual lots. The single-family residential district may also include libraries, schools, churches, and community centers. Based on the nature of the proposed use and its location, the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 *Review and Decision-making Criteria*.

Staff will make recommendations regarding the following potential waivers after the neighborhood meeting:

Chapter 1104.1800 Wireless Telecommunications Facilities

Sec. 1104.1804 Freestanding Wireless Facilities – C. 1. Required Setback

A waiver of eighty-three (83) feet of the one hundred twenty-eight (128) foot required wireless facility setback along the western residentially zoned property line.

Sec. 1104.1804 Freestanding Wireless Facilities – C. 4. Monopole Design

A waiver of monopole design, allowing for a unique stealth tower design.

Sec. 1104.1804 Freestanding Wireless Facilities – C. 5. Galvanized Metal

A waiver of use of galvanized metal, allowing for a unique stealth tower design.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-7006-14, a special use permit for a new cell tower, located at 4621 Glendale Avenue, to Toledo City Council for the following two (2) reasons:

1. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan; and
2. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-7006-14, a special use permit for a new cell tower, located at 4621 Glendale Avenue, to the Toledo City Council, subject to the following twenty-five (25) conditions:

The conditions of approval are as follows and are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. The proposed project earth disturbed area is greater than 2500 square feet therefore project requires storm water review and approval subject to: the Criteria and Regulations of the Departments of Public Utilities and Public Service; the Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; the Toledo City Charter; the "Subdivision Rules & Regulations" of the Toledo-Lucas County Plan Commission; the City of Toledo Infrastructure Design Plan."
2. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
3. No construction work, including grading, will be permitted without approved plans and inspection.
4. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at www.ci.toledo.oh.us/Departments/PublicUtilities/DivsionofEngineeringServices/PlanReviewProcess/tabid/355/Default.aspx. A pre-plan submittal meeting may be scheduled to ensure that there is a full understanding of the City of Toledo storm water requirements. Contact information for storm water drainage is: Lorie Haslinger, ph. (419) 245-3221 and Andy Stepnick, ph. (419) 245-1338.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

5. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over one (1) acre must submit an NOI to and obtain a permit from the Ohio EPA.
6. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ storm water detention and post-construction storm water BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities.
7. A site specific Storm Water Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit.
8. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
9. Designs incorporating low impact development solutions such as grassy swales and bio-retention areas in lieu of curb, storm sewers and underground detention are encouraged. Designs incorporating green infrastructure such as wet ponds, extended detention, bio-retention, or grassy swales, etc. may be eligible for a percent reduction in the property's storm water utility fee through the Storm Water Credit Program.

Sewer & Drainage Services

10. Sewer and Drainage Services recommends that all private sewer lines (both storm & sanitary) be cleaned and inspected.
11. Sewer and Drainage Services recommends that the private sanitary lines (after they have been cleaned) be televised from the building (or private cleanout) to where they connect with the public sewer system. An electronic copy (DVD/memory stick) shall be provided to Sewer and Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

No concerns of objections.

STAFF RECOMMENDATION (cont'd)

Building Inspection

12. Although the structure depicted in the proposed site drawings is labeled an equipment shelter, any construction and/or erection of an occupied structure will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for plan review and approval showing the structure's construction to be in compliance with the Ohio Building Code and the associated mechanical, electrical codes and fire codes.
13. Details of the foundation of the cell tower will need to be submitted for plan review, showing the construction to be in compliance with the Ohio Building Code.
14. The proposed vinyl fencing will require a separate permit issued from the Division of Building Inspection.

Division of Transportation

15. The proposed gravel access maneuvering areas shall be surfaced with concrete, with bituminous asphalt, or other dust free material other than gravel or loose fill.
16. Parking stalls shall not be permitted in front of the drives that access the subject land space.

Plan Commission

17. No commercial advertising shall be allowed on a tower or antenna, except for antennas attached to an existing and approved sign. Towers may have safety or warning signs in appropriate places.
18. Mobile or immobile equipment not used in direct support of a wireless facility shall not be stored or parked on the site, unless repairs to the facility are being made.
19. The tower or antenna shall be constructed so that if failure does occur, it will collapse into itself and will not fall onto structures near the site.
20. Fence shall meet the criteria as set forth in TMC 1104.1801(C)(1) *Wireless Telecommunication Facilities*. Fence shall be an 8 foot privacy fence or wall, as measured from the finished grade of the site, constructed around the perimeter of the Wireless Facility.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

21. The tower shall be designed, and shall have the capacity in all respects, to accommodate both the applicant's antenna and at least two comparable antennas. Towers shall be designed to allow for future rearrangement of antennas upon the tower and to accept antennas mounted at varying heights (TMC 1104.1804.C.3).
22. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. The shrubs required for the Type A Buffer are 4 per every 100 linear feet; **acceptable as depicted on landscape plan.**
 - b. Topsoil must be back filled to provide positive drainage of the landscape area; **shall be noted on revised landscape plan.**
 - c. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **shall be noted on revised landscape plan.**
 - d. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **acceptable as depicted on landscape plan.**
 - e. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **acceptable as depicted on landscape plan.**
 - f. The location, lighting and size of any signs, all signage is subject to TMC§1387; **shall be noted on revised landscape plan.**
23. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.
24. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

25. No permits shall be issued until arrangements satisfactory to the Director of the Toledo City Plan Commission have been made for compliance with the conditions as set forth above.

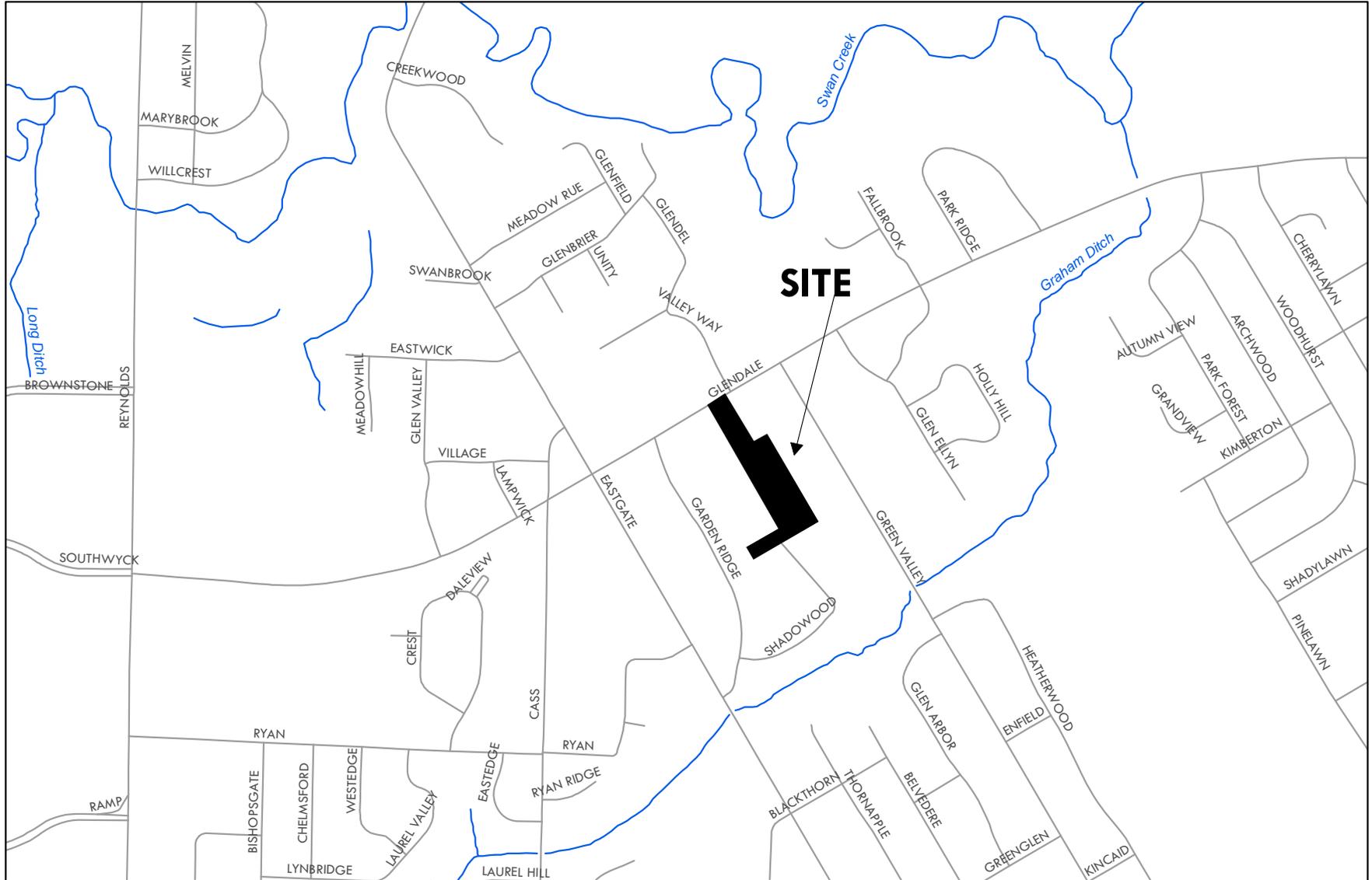
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-7006-14
DATE: September 11, 2014
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: October 15, 2014
TIME: 4:00 p.m.

BH/ks
Six (6) sketches to follow

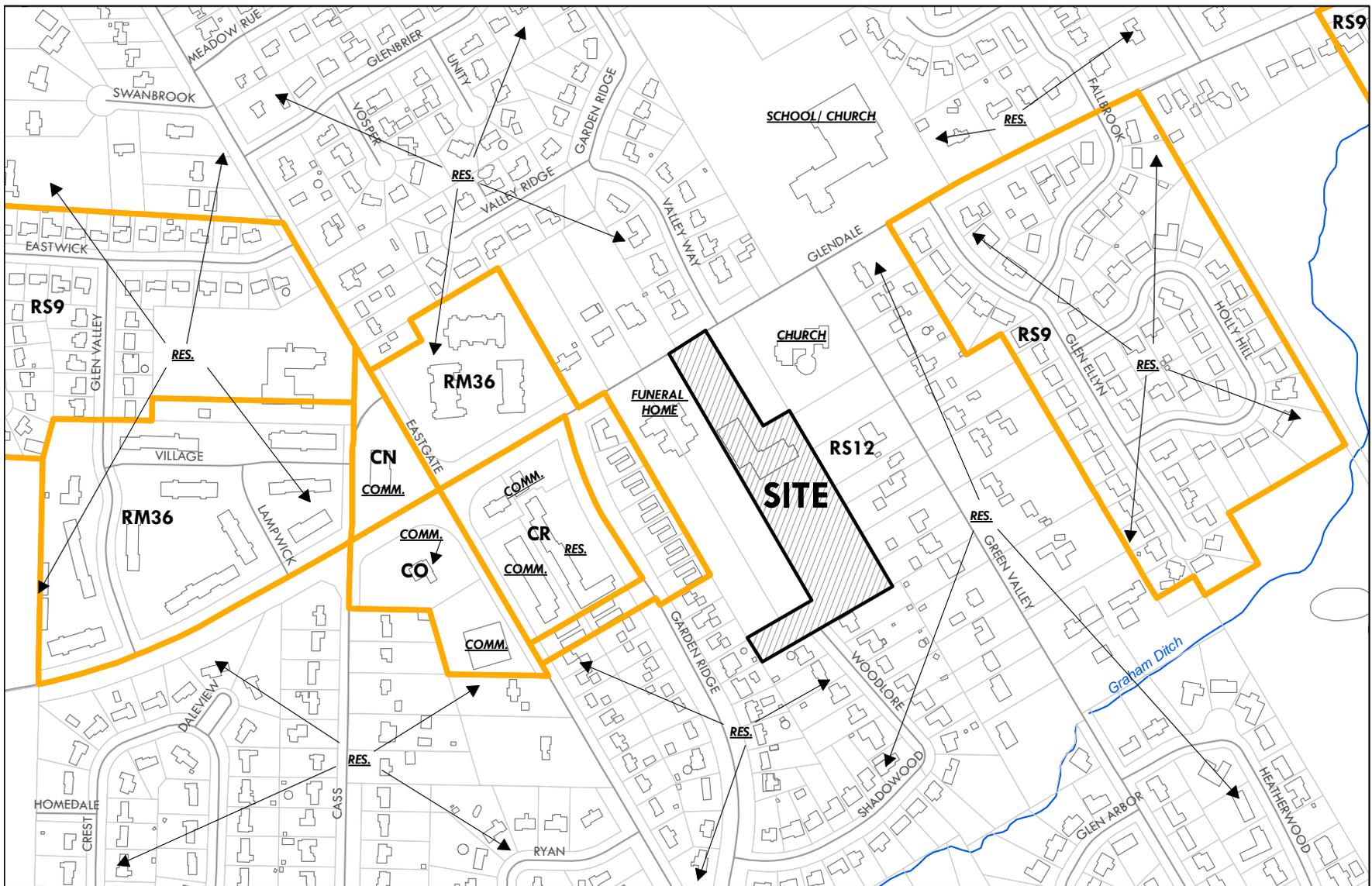
GENERAL LOCATION

SUP-7006-14
ID 141



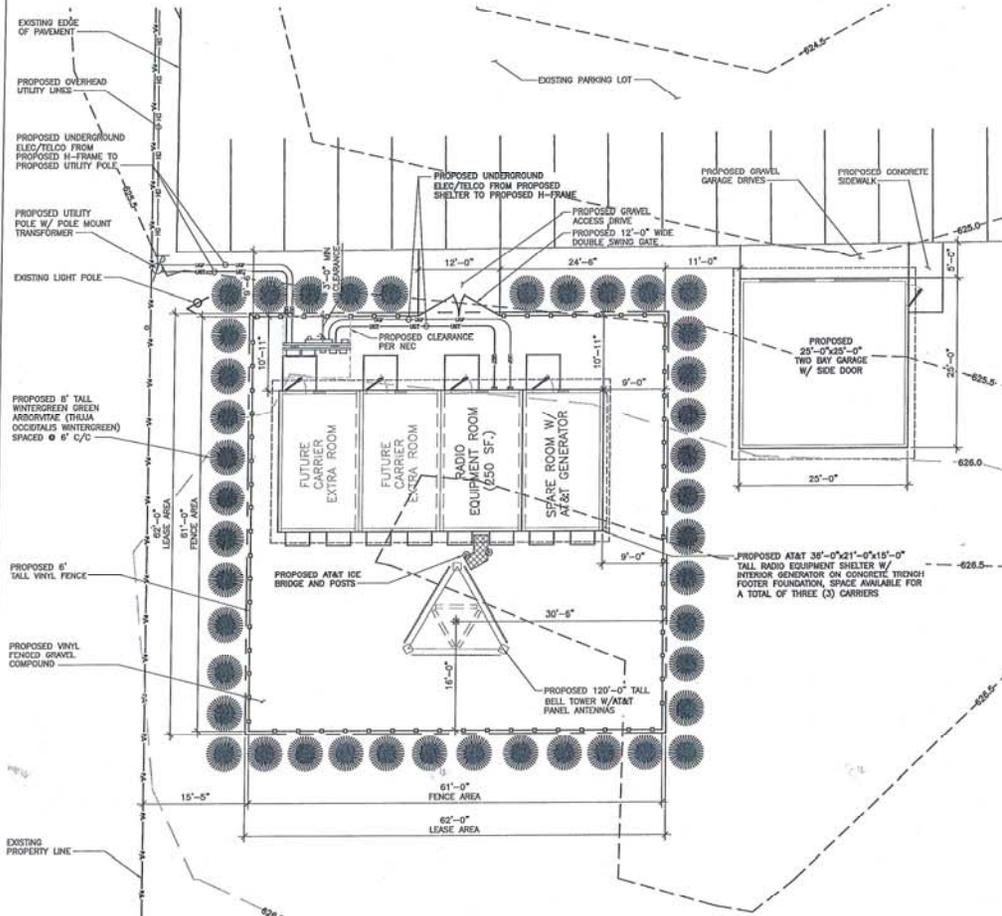
ZONING & LAND USE

SUP-7006-14
ID 141



LANDSCAPE PLAN

SUP-7006-14
ID 141



DETAILED SITE PLAN

22'x34' SCALE: 1/8" = 1'-0"
11'x17' SCALE: 1/16" = 1'-0"



GENERAL NOTES

1. THE SUBCONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY CONSTRUCTION OPERATIONS ON THE SITE AND ANY OTHER UTILITY COMPANY THAT IS A NONMEMBER OF THESE SERVICES:
OHIO UTILITIES PROTECTION SERVICE: 800-362-2764
BLACK & VEATCH P.A.C. PATRICK ANDES, O. 614-793-4740;
C. 614-313-8362; EMAIL: ANDES@BVA.COM
AT&T FACILITY: TONY ROSS, O. 443-845-7030; C. 440-376-4300
GPO GROUP: ED BLOOM; O. 330-972-2100; EBLOCK@GPOGROUP.COM
2. THE SUBCONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, INCLUDING SUBSURFACE CONDITIONS PRIOR TO BIDDING. THE SUBCONTRACTOR SHALL OBTAIN PERMISSION OF OWNER VIA GPO GROUP PRIOR TO SITE ENTRY FOR THE PURPOSE OF VERIFICATION OF EXISTING SITE CONDITIONS.
3. THE SUBCONTRACTOR SHALL PROVIDE A QUALIFIED COMPANY FOR ALL CONCRETE TESTING, BEARING CAPACITY TESTING AND INSPECTION OF REINFORCING STEEL. PRIOR TO CONCRETE INSTALLATION, TESTING FIRM COORDINATION SHALL BE PERFORMED BY THE SUBCONTRACTOR. TESTING SERVICE COST SHALL BE BORNE BY THE SUBCONTRACTOR.
4. EXISTING UTILITIES ARE SHOWN FROM (FIELD DATA, SURVEY, DATA) AND ARE NOT NECESSARILY COMPLETE OR ACCURATE. THE SUBCONTRACTOR SHALL BE RESPONSIBLE TO LOCATE, EXPOSE AND DETERMINE IF CONFLICTS EXIST WITH THE PROPOSED IMPROVEMENTS. THE SUBCONTRACTOR SHALL NOTIFY THE ENGINEER (GPD ASSOCIATES) IN ORDER TO RESOLVE ANY CONFLICTS. EXISTING UTILITY LINES, DRAIN OR FIELD TILE DAMAGED SHALL BE REPAIRED OR REPLACED, AS NEEDED, IN LIKE KIND AND CHARACTER, AND AT THE EXISTING GRADE PRIOR TO CONSTRUCTION.
5. THE SUBCONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL REQUIRED TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES OR GOVERNING LOCAL AGENCY.
6. THE SUBCONTRACTOR SHALL PROVIDE CERTIFIED COPIES OF ALL LABORATORY TESTS TO THE ENGINEER AND THE OWNER AT THE COMPLETION OF THE TESTS.
7. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF ALL GOVERNING AGENCIES THAT REQUIRE SITE INSPECTION OF THE WORK AND/OR SIMPLY NOTIFICATION.
8. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM THE CONSTRUCTION ACTIVITIES, INCLUDING BUT NOT LIMITED TO PAVEMENT, FINISHED GRASSES, LANDSCAPING, BUILDINGS, SURVEY MARKERS, ETC.
9. ALL WORK SHALL BE CONFINED TO THE LEASE AND/OR ACCESS AREAS (EXCEPT GRADING), UNLESS AGREEMENT AND CONSENT OF THE PROPERTY OWNER IS OBTAINED.
10. THE SUBCONTRACTOR SHALL PERFORM GRADING AND FINISH GRADE THE SITE IN SMOOTH AND CONTINUOUS SLOPES, REMOVE EXCESS EXCAVATION FROM THE SITE, AND PROVIDE CLEAN ENGINEERED BACKFILL WHERE NEEDED FROM OFFSITE.
11. THE SUBCONTRACTOR SHALL AT THE COMPLETION OF WORK REMOVE ALL DEBRIS FROM THE SITE AND AREAS DISTURBED, PERFORM FINAL GRADING, AND SEED AND MULCH ALL AREAS DISTURBED (WHERE APPLICABLE).
12. REMOVE TOPSOIL FROM COMPOUND AND DRIVE AREA (SEE NO. 10) SITE COMPOSITION: ACCORDATE LIMITS TO EXTEND TO 1" BEYOND FENCE LIMITS.
-PROOF ROLL (20 TON MIN) SUBGRADE
-GEOTEXTILE (UNDER BASE) ENTIRE ACCORDATE LIMITS
-4" ASPH/OT #57 BASE
-4" ODOT 304
-2" FINISH COURSE #57
(TO BE PLACED AFTER MAJOR CONSTRUCTION ITEMS ARE COMPLETE)
13. THE SUBCONTRACTOR SHALL PREPARE A COMPLETE AS-BUILT SET OF PLANS AND CONDITIONS, AND SUBMIT SAME TO THE ENGINEER WITHIN 7 DAYS OF COMPLETION OF CONSTRUCTION. THE AS-BUILT PLANS SUBMITTED TO THE ENGINEER SHALL INCLUDE A DRAWING WITH DIMENSIONS SHOWING THE LOCATION OF THE BUILDING, TOWER PLATFORM ANTENNA ORIENTATION, ALL NEW UTILITIES, GROUNDING GRID AND NEW FENCE WITHIN THE LEASE AREA OR PROPERTY AND BE CERTIFIED BY A PROFESSIONAL SURVEYOR.
14. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING, INCLUDING OSH, NEEDED TO COMPLETE ALL THE CONSTRUCTION SHOWN HEREON.
15. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK.
16. ALL WORK ON POWER COMPANY POLE SHALL BE PER POWER COMPANY REQUIREMENTS. CONTACT POWER COMPANY BEFORE ANY WORK.
17. CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UNDERGROUND UTILITIES IN AREAS OF WORK. HAND DIG IF NECESSARY.



BLACK & VEATCH
4 PENN CENTER, SUITE 320
PITTSBURGH, PA 15219

REV	DATE	DESCRIPTION
A	10-20-14	ISSUED FOR REVIEW
B	10-20-14	MULTI-METHOD REVIEW & DATE CHANGE

REVIEW AND COMMENT FOR REVIEW PURPOSES ONLY

MAUMEE - OH10770
4621 GLENDALE AVE.
TOLEDO, OH 43614
DETAILED SITE PLAN & GENERAL NOTES

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
RECORD	-

PROJECT NUMBER	DESIGNER
SAB	NMT

JOB NO.
2013748.75

03

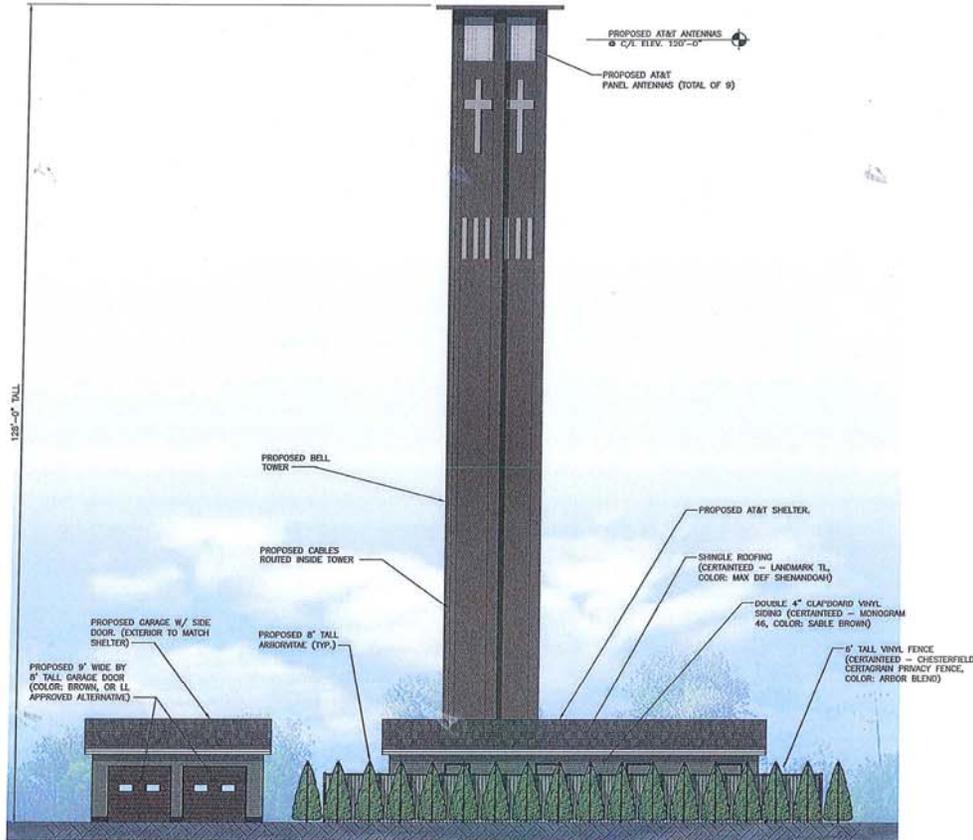
4-12

TOWER ELEVATION

SUP-7006-14
ID 141

*CONTRACTOR SHALL REFER TO LATEST RFGS FROM AT&T FOR FIBER TRUNK REQUIREMENTS PRIOR TO CONSTRUCTION. REF AT&T LTE GUIDE LINES REV. 1.9 PAGE 13 TABLE 2.1.2.
**CONTRACTOR SHALL REFER TO LATEST RFGS FROM AT&T FOR DC POWER TRUNK REQUIREMENTS PRIOR TO CONSTRUCTION. REF AT&T LTE GUIDE LINES REV 1.9 PAGE 14 TABLE 2.1.3.

MINOR SITE PLAN REVIEW



TOWER ELEVATION

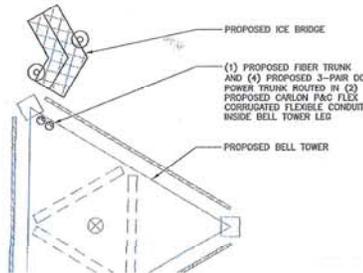
SCALE: N.T.S.

PROJECT DESCRIPTION

PROPOSED SHELTER		
QTY	PART #	ITEM
2	COPPER D-LINE SB550084XU	FIB RACK
1	EMERSON MEASURE 710	DC POWER RACK
1	EMERSON MEASURE 24BA1200-23	BATTERY RACK (BBU)
1	RAYCAP DC12-48-60-8M	SURGE PROTECTION UNIT (INDOOR)
1	RAYCAP DC06-48-60-8M	SURGE PROTECTION UNIT (INDOOR)
1	ROSENBERGER RB-SLFC001-000	FIBER DISTRIBUTION PANEL
1	ALCATEL-LUCENT #NODEB 9926	LTE BASE BAND UNIT (BBU)
1	ALCATEL-LUCENT #NODEB 9396	UMTS BASE BAND UNIT (BBU)
1	PCTEL P#GPS-TMG-HR-SP1-26NCB	LTE GPS UNIT
1	PCTEL P#GPS-TMG-HR-SP1-26NCB	UMTS GPS UNIT
2	ROSENBERGER CXK01-EB110116	4" CABLE ENTRY PORT
1	HOFFMAN ENCLOSURE AC24R20BHC	TELCO BOX
1	XXX	METER
2	ADC DIM-1C2033	SND DSX PANEL
1	ANDREW ATJ0200-A01004	RET CONTROLLER
1	INTERSECT MP3320042-3R	AC SERVICE ENTRANCE PANEL & MANUAL TRANSFER SWITCH

PROPOSED SITE		
QTY	PART #	ITEM
2	SITE PRO IS24D-216V	ICE BRIDGE

PROPOSED TOWER		
QTY	PART #	ITEM
9	ANDREW S8N1-1D65658	ANTENNAS LTE/UMTS
6	ALCATEL-LUCENT RRH2x60-1900	UMTS RRH'S
3	ALCATEL-LUCENT RRH2x40-07-L-AT	LTE RRH'S
4	SITE PRO 1 M042461-K	GROUND BARS
1	RAYCAP DC6-48-60-18-0F	SURGE PROTECTION UNIT
1	RAYCAP DC6-48-60-0-0F	SURGE PROTECTION UNIT
18	ROSENBERGER FB-L98B-035-5000	FIBER JUMPER
9	ROSENBERGER WR-V51225T-DRDA	DC POWER JUMPER
2	PCTEL P#GPS-TMG-HR-SP1-26NCB	2" FLEX CORRUGATED FLEXIBLE CONDUIT
2	SITE PRO 1 GRP214-C	2-1/4" CLOSED HOISTING GRP (FOR 2" CONDUIT)
4	ROSENBERGER WR-V066T	DC POWER TRUNK
4	ROSENBERGER CX062-HGRSP	HOISTING GRPS (FOR DC POWER TRUNK)
1	ROSENBERGER FB-L98B-034-75000	FIBER TRUNK
9	ANDREW	RET CABLE



COAX ROUTING DETAIL

1



Black & Veatch



BLACK & VEATCH
4 PENN CENTER, SUITE 506
PITTSBURGH, PA 15229

REV	DATE	DESCRIPTION

REVIEW AND COMMENT FOR REVIEW PURPOSES ONLY

MAUMEE - OH070
4621 GLENDALE AVE.
TOLEDO, OH 43614

TOWER ELEVATION

ISSUED FOR	DATE
PERMIT	-
BID	-
CONSTRUCTION	-
RECORD	-

PROJECT NUMBER	DESIGNER
EAB	GEB

JOB NO.
2013748.75

04

GARAGE ELEVATIONS

SUP-7006-14
ID 141

MINOR SITE PLAN REVIEW



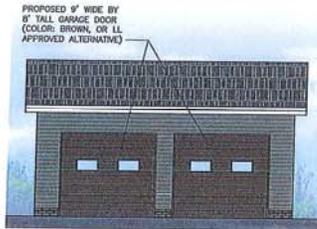
GARAGE SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



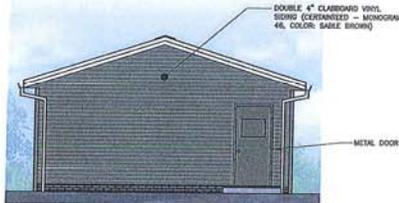
GARAGE WEST ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE NORTH ELEVATION

SCALE: 1/4" = 1'-0"



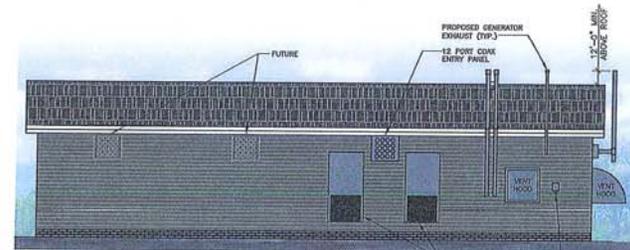
GARAGE EAST ELEVATION

SCALE: 1/4" = 1'-0"



SHELTER NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SHELTER SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



SHELTER WEST ELEVATION

SCALE: 1/4" = 1'-0"



SHELTER EAST ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING EXTERIOR FINISH NOTES:

1. SIDING:
CERTAINTED - MONOGRAM 40
DOUBLE 4" CLAYBORND VINYL SIDING
COLOR: SABLE BROWN
2. TRIM:
SOFFITS
COLOR: BROOKSTONE
3. MISCELLANEOUS:
DOORS, A/C UNITS, ELECTRIC PANELS,
GUTTERS, DOWNSPOUTS AND FASCIA
COLOR: FENICE STRIKE CLAY
4. INTERIOR:
-PRIME W/OKE COAT OF SHERWIN WILLIAMS
INTERIOR WHITE PRIME & ONE COAT OF
"OFF WHITE" SHERWIN WILLIAMS LATEX
INTERIOR PAINT. INSTALL 4" HIGH WHITE
VINYL SPACE MOULDING



BLACK & VEATCH
4 PENN CENTER, SUITE 308
PITTSBURGH, PA 15276

ISSUE DATE	DESCRIPTION

REVIEW AND COMMENT FOR REVIEW PURPOSES ONLY

MAUMEE - OH0770
4621 GLENDALE AVE.
TOLEDO, OH 43614

SHELTER ELEVATIONS

ISSUED FOR:	PERMIT	CONSTRUCTION	RECORD

PROJECT NUMBER: 2013748.75

05

4 - 14

STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
CHRISTINE CUNNINGHAM
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

DIVISION OF FORESTRY
COMMISSIONER
2201 OTTAWA PARKWAY
TOLEDO, OH 43606
419-936-2326

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET
TOLEDO, OH 43601
419-245-6802

DIVISION OF WATER
RECLAMATION
COMMISSIONER
3900 N. SUMMIT STREET
TOLEDO, OH 43611
419-727-2602

DIVISION OF INSPECTION
COMMISSIONER
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
JEFF GRABARKIEWICZ
130-A W. DUDLEY
MAUMEE, OH 43537
419-893-1966

DIVISION OF TRANSPORTATION
COMMISSIONER
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
COMMISSIONER
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
KEITH EARLEY
1049 S. MCCORD ROAD
HOLLAND, OH 43528
419-213-2860

SERVICE DEPARTMENT
EDWARD MOORE, DIRECTOR
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD
TOLEDO, OH 43611
419-539-6078

LUCAS COUNTY
SANITARY ENGINEER
JIM SHAW
111 S. McCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT.
LANA GLORE, ENV. HEALTH SERV.
635 N. ERIE STREET ROOM 352
TOLEDO, OH 43604
419-213-4209

A T & T
ATTN: DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43604
419-245-7000

BUCKEYE CABLESYSTEM, INC.
GARY KASUBSKI
4818 ANGOLA ROAD
TOLEDO, OH 43615
419-724-3821

VERIZON
BRAD SNYDER
300 W. GYPSY LANE
BOWLING GREEN, OH 43402
419-354-9452

WATERVILLE GAS
JAMIE BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

OHIO GAS
MIKE CREAGER
13630 AIRPORT HWY.
SWANTON, OH 43558
419-636-1117

TIME WARNER
RAY MAURER
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

EMBARQ
117 E. CLINTON STREET
NAPOLEON, OH 43545
419-599-4030

CENTURYLINK
TIM R. TAYLOR
375 E. RIVERVIEW AVE.
NAPOLEON, OH 43502

Toledo - Lucas County General Street Map

