

*TOLEDO CITY
PLAN COMMISSION
REPORT*

August 14, 2014

Toledo-Lucas County Plan Commissions

One Government Center, Suite 1620, Toledo, OH 43604

Phone 419-245-1200, FAX 419-936-3730

MEMBERS OF THE TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

TOLEDO CITY PLAN COMMISSION

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(Chairman)

CYNTHIA A. GERONIMO
(Vice Chairman)

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LUCAS COUNTY PLANNING COMMISSION

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**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2014**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION (<i>HEARINGS BEGIN AT 2PM</i>)			
November 25	December 23	December 27	January 9
December 30	January 27	January 31	February 13
January 28	February 24	February 28	March 13
February 25	March 24	March 28	April 10
March 25	April 21	April 25	May 8
April 29	May 26	May 30	June 12
May 27	June 23	June 27	July 10
July 1	July 28	August 1	August 14
July 29	August 25	August 29	September 11
August 26	September 22	September 26	October 9
September 23	October 20	October 24	November 6*
October 21	November 17	November 21	December 4*
COUNTY PLANNING COMMISSION (<i>HEARINGS BEGIN AT 9AM</i>)			
December 9	January 6	January 10	January 22
January 13	February 10	February 14	February 26
February 10	March 10	March 14	March 26
March 10	April 7	April 11	April 23
April 14	May 12	May 16	May 28
May 12	June 9	June 13	June 25
June 9	July 7	July 11	July 23
July 14	August 11	August 15	August 27
August 11	September 8	September 12	September 24
September 8	October 6	October 10	October 22
October 6	November 3	November 7	November 19*
November 3	December 1	December 5	December 17*

* County deadlines are for Preliminary Drawings

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

August 14, 2014

2:00 p.m.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER

AT JACKSON BOULEVARD AND ERIE STREET

IN COUNCIL CHAMBERS

ON THE FOLLOWING CASES

AGENDA

ROLL CALL - Toledo City Plan Commission

PROOF OF NOTICE

SWEARING IN

MINUTES

FINAL PLATS

DIRECTOR'S REPORT

CHAIRMAN'S REPORT

ITEM

NO.

CASE DESCRIPTION

- | | |
|-----------------|---|
| 1. SUP-6002-14: | Special Use Permit for cell tower at 755 Collins Park Drive (bh) |
| 2. SUP-4005-14: | Amendment to Special Use Permit, originally granted by Ordinance 200-06, to add fuel pumps to existing gas station at 3405 W. Central Avenue (tg) |
| 3. SPR-28-14: | Major Site Plan Review for new parking lot and site modifications at 3938 Glendale Avenue (bh) |
| 4. SPR-52-13: | Major Site Plan Review for NHA Health Clinic building and parking lot at 1317 and 1415 Jefferson Avenue, 1310 Monroe Street, 105-121 13 th Street, 110 14 th Street, and 118-136 14 th Street (tg) |

5. SUP-7002-14: Amendment to Special Use Permit, originally granted by Ordinance 487-08, to expand existing school at 3363 Hill Avenue (gp)
6. SPR-29-14: Major Site Plan Review for new multi-family building at 1500 College Drive, 3315 Valleston Parkway, 1517-1519 Secor Road and 1461 Secor Road (part) (bh)
7. OWE-34-14: Appeal of disapproval of Certificate of Appropriateness for new garage doors at 2721 Robinwood Avenue (mm)
8. Z-6004-14: Zone Change from CO to CR at 659 E. Broadway (bh)
9. SUP-3002-11: Review of Special Use Permit, referred to Plan Commission via Resolution 244-14 and originally granted by Ordinance 488-11, for a tow lot at 6231 Telegraph Road (bh)

ADJOURNMENT

GENERAL INFORMATION

Subject

- Request - Special Use Permit for a new cell tower
- Location - 755 Collins Park Avenue
- Applicant - New Par / Verizon Wireless
Nathan O. Meyer
6869 Windjammer Drive
Brownsburg, IN 46112
- Owner - City of Toledo
Real Estate Division
Jeanette Morell
1 Government Center, Suite 2250
Toledo, Ohio 43604
- Engineer - Harper Engineering, Inc
David W. Harper
815 Superior Ave, Suite 1514
Cleveland, OH 44114

Site Description

- Zoning - POS Parks and Open Space
- Area - ± 0.112 acres
- Frontage - ± 70 feet on Collins Park Avenue
- Existing Use - Park and Golf Course

Area Description

- North - Golf Course and Park / POS
- East - Single-family Residential / RS6
- South - Single-family Residential and Park / RS6 & POS
- West - Golf Course and Park / POS

Parcel History

- Z-176-79 - Zone Change from R-3 to Park (Ord. 603-79, approved 9/25/79)

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

Toledo Municipal Code Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a special use permit with a landscape waiver to construct a new one hundred sixty (160) foot freestanding wireless communication facility at 755 Collins Park Avenue. The applicant is leasing a seventy (70) foot by seventy (70) foot portion of the City owned ninety (90) acre park. The park is zoned POS Parks and Open Space and is developed with a public golf course. The new tower is proposed in the southeast corner of the property.

Surrounding land uses include single-family residences to the east and south and Collins Park to the north and west. As a note, the City of Toledo Water Treatment Plant is located to the east of the single-family residences across Collins Park Avenue.

Design and Location

Pursuant to TMC 1104.1804 C – Freestanding wireless facilities must be constructed of galvanized metal and of a monopole design. In addition, a tower of over 120 feet in height must be designed to accommodate the proposed antenna and two (2) comparable antennas at varying heights. The applicant has indicated that the proposed tower compiles with these regulations.

When abutting a residentially zoned district, a wireless facility shall be setback from the property line in all directions a distance at least equal to the height of the tower or 100 feet, whichever is greater. The site plan as submitted shows lease space of over 200 feet from all property lines. As a result, the proposed wireless communication facility is conforming to all setback requirements.

Parking and Circulation

Wireless Telecommunications Facilities do not have a parking requirement; however, access to the site will be required for maintenance purposes. Pursuant to TMC 1107.1900 *Design Standards* – off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways shall be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill. The site plan submitted with the special use permit indicates compliance with this requirement.

STAFF ANALYSIS (cont'd)

Landscaping

Wireless Facilities shall be designed to reasonably blend into the surrounding environment through the use of neutral colors (such as gray), screening, landscaping and architecture. Any wireless facility sited on the ground, as opposed to being attached to a structure shall have an eight (8) foot high privacy fence or wall around the perimeter of the wireless facility and be landscaped in accordance with the screening requirements. A wireless facility shall be deemed an industrial use regardless of the zoning district in which the facility is located, resulting in a Type A buffer requirement around the perimeter of the fence.

The applicant is proposing the use of an eight (8) foot high chain link fence with barbed wire and plantings evenly spaced every seven (7) feet on three (3) sides. The use of barbed wire is prohibited in all zoning districts, except industrial districts under certain conditions. In addition, The Division of Building Inspection objects to the use of barbed wire in this location. The prohibition of barbed wire is included as a condition of approval.

Pursuant to TMC 1108.0203 - Type A buffers consist of four (4) canopy trees and fifteen (15) shrubs per one hundred (100) linear feet. The applicant is requesting a waiver of the required Type A buffer along the western side of the leased area. This area currently consists of mature trees and is not visible from the public right-of-way. Staff supports a waiver of the Type A buffer in this area, however, requires plantings consistent with a Type A buffer be installed along the remaining three (3) sides and a solid eight (8) foot high privacy fence or wall be installed around the perimeter of the wireless facility.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for parks and open space uses. The intent of the parks and open space designation is to preserve and enhance major open space and recreational areas. Based on the nature of the proposed use and its location, the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 *Review and Decision-making Criteria*.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-6002-14, a special use permit for a new cell tower, located at 755 Collins Park Avenue, to Toledo City Council for the following two (2) reasons:

1. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan;
2. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

STAFF RECOMMENDATION (cont'd)

The staff recommends that the Toledo City Plan Commission make the following recommendation to the Toledo City Council on the waiver requested for a special use permit for a new cell tower, located at 755 Collins Park Avenue:

Chapter 1104.1800 Wireless Telecommunications Facilities

Sec. 1104.1801 All Wireless Facilities – C. 2. Screening

Approve a waiver of ten (10) feet from the required ten (10) foot Type A buffer along the western side of the lease area around the perimeter of the wireless facility.

The staff further recommends that the Toledo City Plan Commission recommends approval of SUP-6002-14, a special use permit for a new cell tower, located at 755 Collins Park Avenue to Toledo City Council, subject to the following twenty-eight (28) conditions:

The conditions of approval are as follows and are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **proposed** drive approaches within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
2. All commercial drive approaches shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
3. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.

4. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

5. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Please contact Andy Stepnick at 419-245-1338 for additional details.
6. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
7. Designs incorporating low impact development solutions, such as grassy swales, and bio-retention areas in lieu of curb, storm sewers and underground detention, are encouraged. Designs incorporating green infrastructure, such as wet ponds, extended detention, bio-retention, or grassy swales, etc., may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
8. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
9. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
10. No construction work, including grading, will be permitted without approved plans and inspection.

Sewer & Drainage Services

11. S&DS recommends that all private sewer lines (both storm & sanitary) be cleaned and inspected.
12. S&DS recommends that the private sanitary lines (after they have been cleaned) be televised from the building (or private cleanout) to where they connect with the public sewer system. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

STAFF RECOMMENDATION (cont'd)

Fire Prevention

No concerns of objections.

Building Inspection

13. Although the structure depicted in the proposed site drawings is labeled an equipment shelter, any construction and/or erection of an occupied structure will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for plan review and approval showing the structure's construction to be in compliance with the Ohio Building Code and the associated mechanical, electrical codes and fire codes.
14. The Division of Building Inspection objects to the use of barbed wire, prohibited by TMC 1105.0303, particularly as this location is in a Parks and Open Space (POS) zoning district used by the public for recreation and not in an industrial zoning district.

Division of Transportation

15. In accordance with the Toledo Municipal Code, gravel maneuvering areas shall be surfaced with concrete, with bituminous asphalt, or other dust free material other than gravel or loose fill.
16. The width of the apron and access drive does not meet the minimum width standard of 25' to accommodate for two-way traffic movement(s).

Plan Commission

17. The tower shall be designed to reasonably blend into the surrounding environment through the use of neutral colors. The tower is subject to setback requirements and shall have an eight (8) foot high privacy fence. The site shall be landscaped in accordance with the screening requirements of TMC 1108.0203, and is deemed an industrial use for this purpose. (TMC 1104.1801.C).
18. Pursuant to TMC 1105.0303 – *Barber Wire Prohibited* - the use of barbed wire in not permitted in POS zoning districts.
19. No commercial advertising shall be allowed on the tower or antenna (TMC 1104.1801.D).
20. No signals, lights or other illumination shall be permitted, unless required by FAA regulation, other federal or state law, or otherwise authorized (TMC 1104.1801.E).

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

21. The Wireless Facility shall be setback from the property line in all directions a distance at least equal to the height of the tower or 100 feet, whichever is greater, if the site is in or abuts a Residential district or Household Living or Group Living uses (TMC 1104.1804.C.1).
22. The tower shall be designed, and shall have the capacity in all respects, to accommodate both the applicant's antenna and at least two comparable antennas. Towers shall be designed to allow for future rearrangement of antennas upon the tower and to accept antennas mounted at varying heights (TMC 1104.1804.C.3).
23. Towers shall be of a monopole design, and guyed or lattice towers are prohibited (TMC 1104.1804.C.4).
24. Towers shall be constructed of galvanized metal (TMC 1104.1804.C.5).
25. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Topsoil must be back filled to provide positive drainage of the landscape area; **acceptable as depicted on landscape plan.**
 - b. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **acceptable as depicted on landscape plan.**
 - c. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **shall be noted on revised landscape plan.**
 - d. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **shall be noted on revised landscape plan.**
 - e. The location, lighting and size of any signs, all signage is subject to TMC§1387; **shall be noted on revised landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

26. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.
27. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
28. No permits shall be issued until arrangements satisfactory to the Director of the Toledo City Plan Commission have been made for compliance with the conditions as set forth above.

SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-6002-14
DATE: August 14, 2014
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: September 17, 2014
TIME: 4:00 p.m.

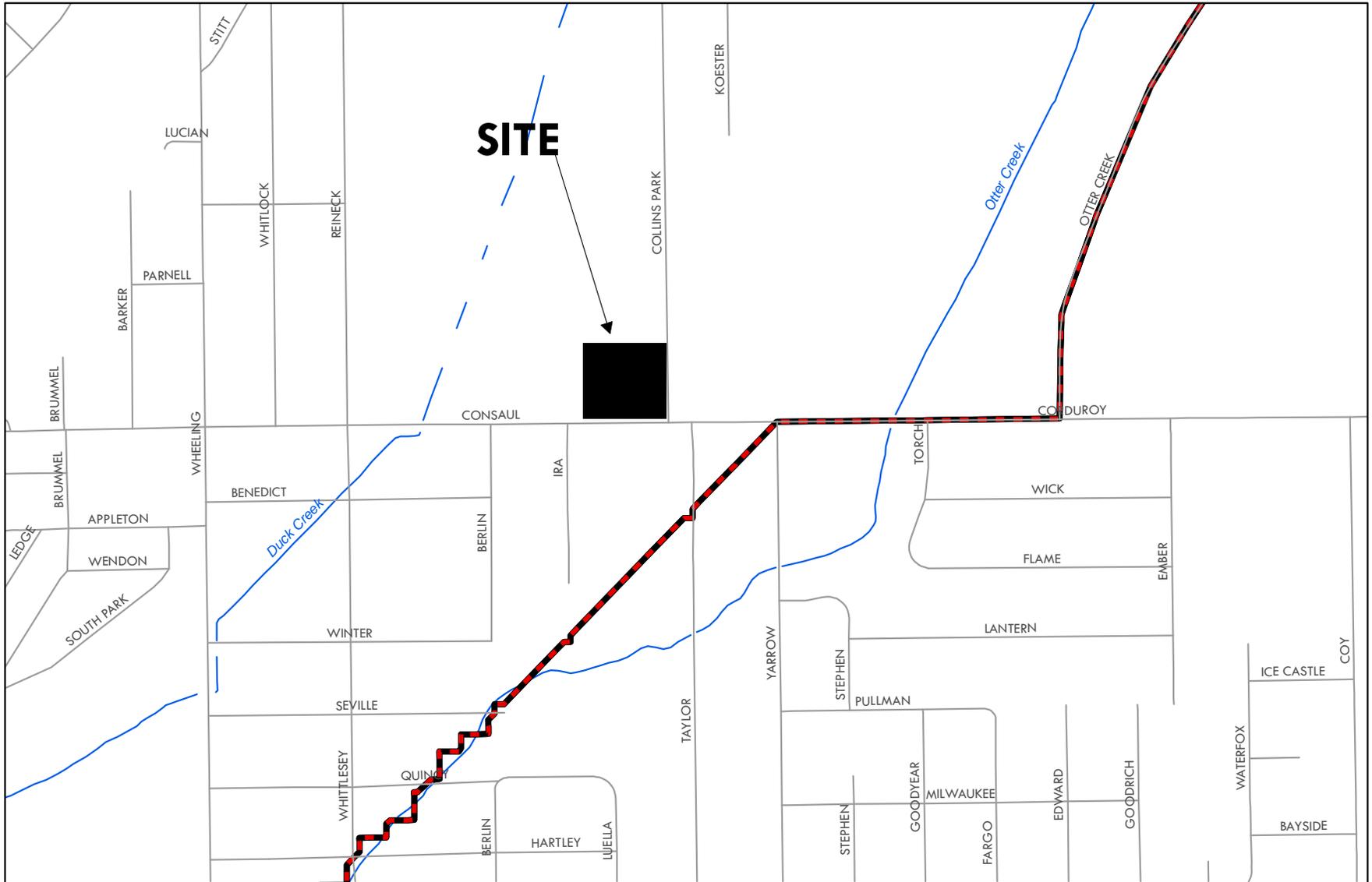
BH/bp
Four (4) sketches to follow

GENERAL LOCATION

SUP-6002-14
ID 24

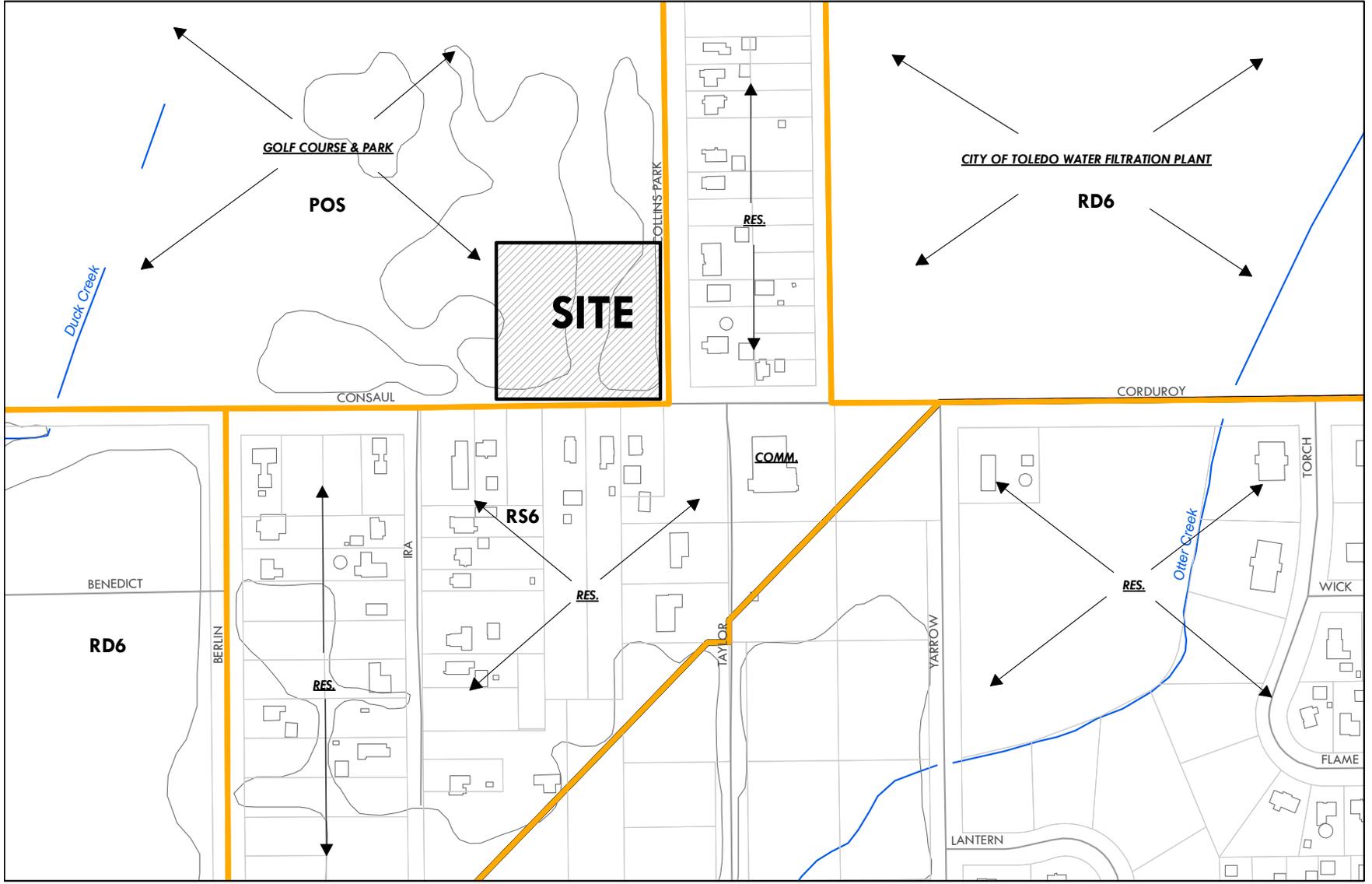


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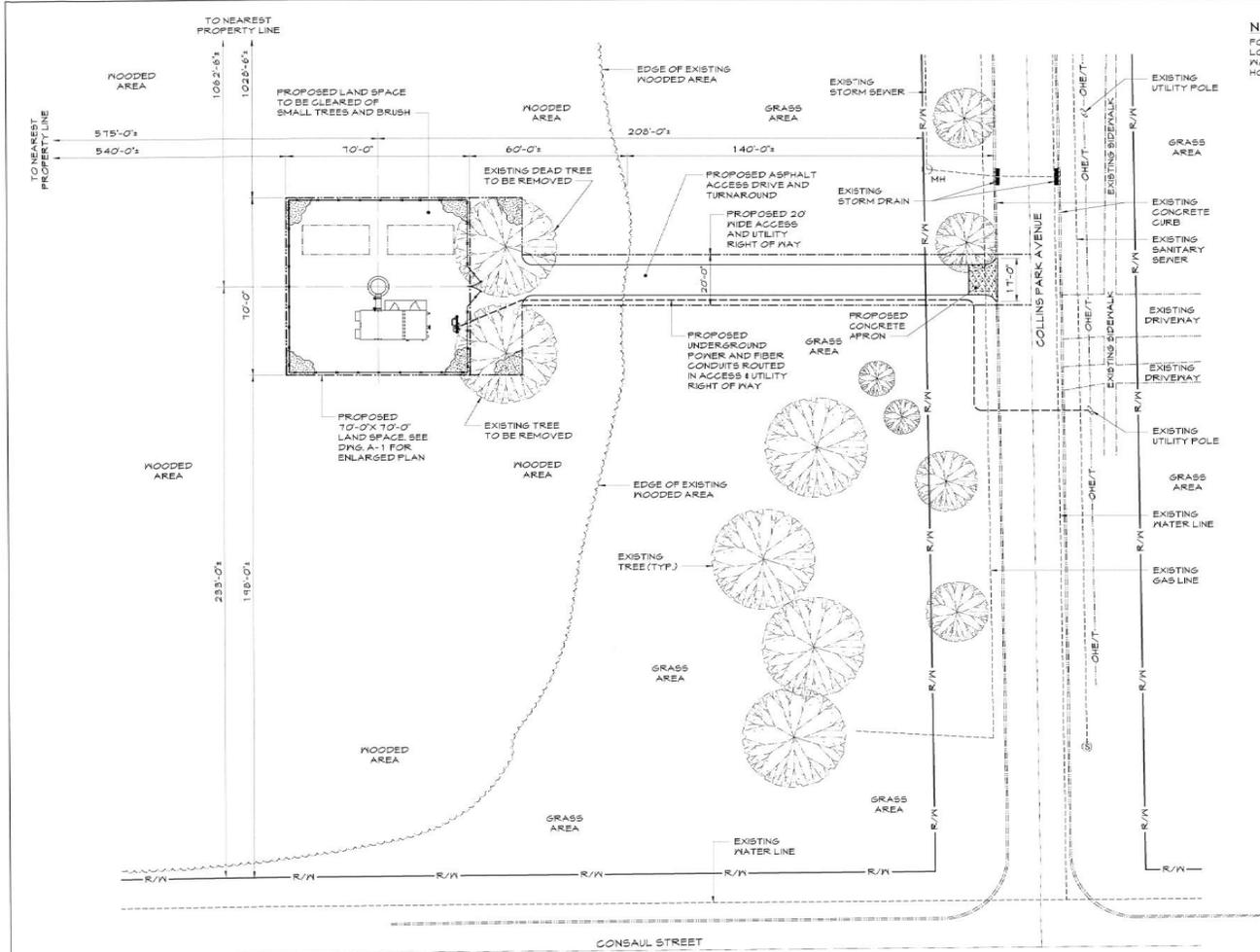
ZONING & LAND USE

SUP-6002-14
ID 24



SITE PLAN

SUP-6002-14
ID 24



NOTES:
FOR LEGAL DESCRIPTIONS, PROPERTY LINE LOCATIONS/BEARINGS, LAND SPACE RIGHT OF WAY'S, ETC. SEE SITE SURVEY BY ROLLING & HOCEVAR, INC. REFERENCE PROJ. # 50,491-34.

NEW PAR dba



HARPER ENGINEERING, INC.
TELECOM GROUP

815 Superior Ave. Suite 1514
Cleveland, OH 44114
Phone: (216)344-3855
Fax: (216)344-3856

DRAWING REVISIONS

Rev.	Description	Date	Mgr.
A	For Approval	07/23/14	DPH
B	For Approval	07/28/14	DPH

Engineer's Seal

SITE NAME:
OREGON NORTH

SITE NUMBER:
TOLD-241

155 COLLINS PARK AVENUE
TOLEDO OH, 43605

SHEET NAME:

CIVIL PLAN

SHEET No./Rev.	SCALE: AS NOTED
C-2/B	DRAWN BY: SJB CHECKED BY: SJB DATE: 04/18/14 FILE: 9-149-1512

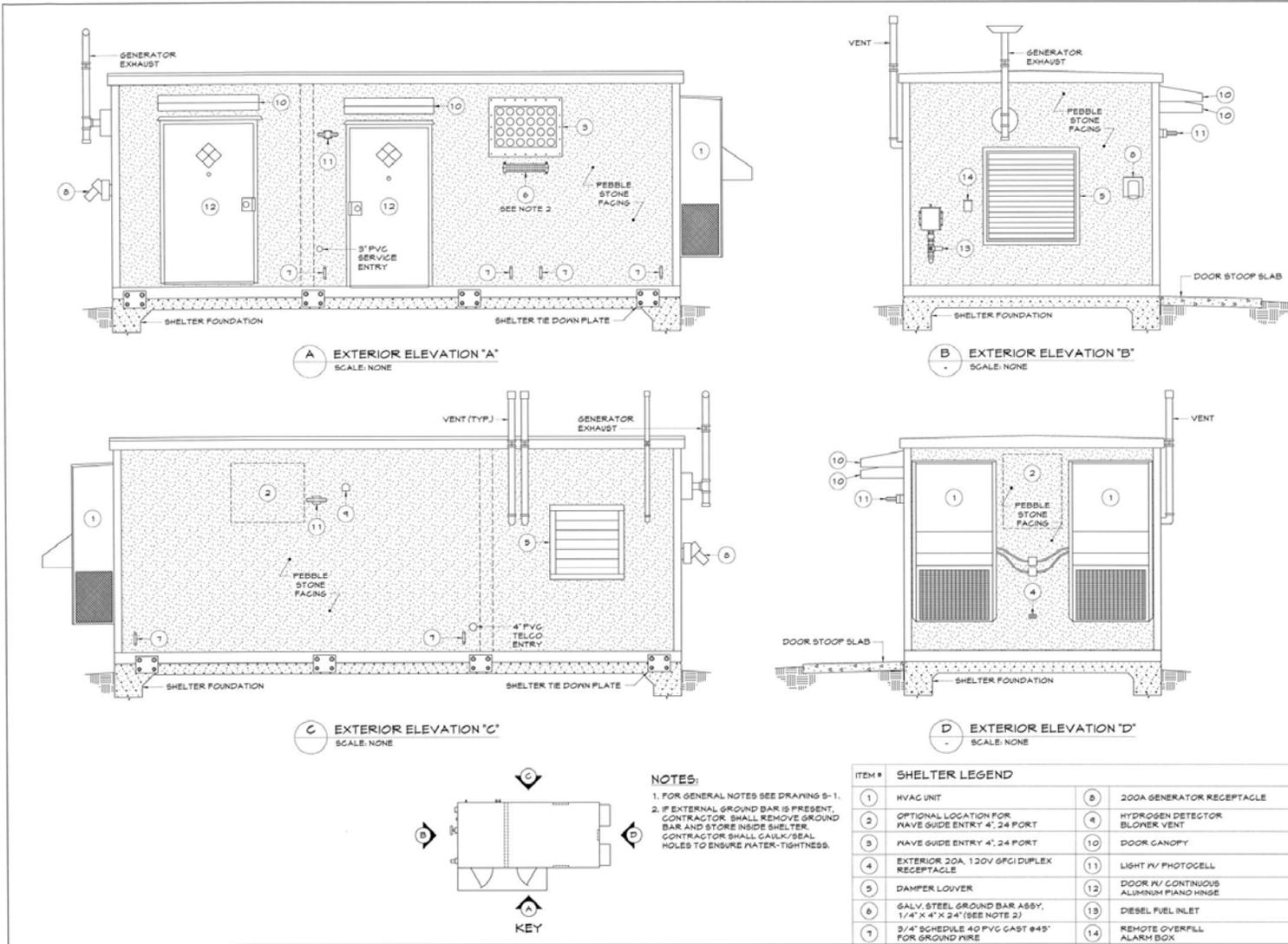
CIVIL PLAN
SCALE: 1"=20'-0"
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ELEVATION

SUP-6002-14
ID24

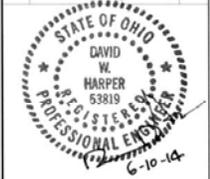


ITEM #	SHELTER LEGEND
1	HVAC UNIT
2	OPTIONAL LOCATION FOR WAVE GUIDE ENTRY 4", 24 PORT
3	WAVE GUIDE ENTRY 4", 24 PORT
4	EXTERIOR 20A, 120V GFCI DUPLEX RECEPTACLE
5	DAMPER LOUVER
6	6ALV. STEEL GROUND BAR ASSY, 1/4" X 4" X 24" (SEE NOTE 2)
7	3/4" SCHEDULE 40 P.V.C. CAST #45' FOR GROUND WIRE
8	200A GENERATOR RECEPTACLE
9	HYDROGEN DETECTOR BLOWER VENT
10	DOOR CANOPY
11	LIGHT IV/ PHOTOCELL
12	DOOR IV/ CONTINUOUS ALUMINUM PIANO HINGE
13	DIESEL FUEL INLET
14	REMOTE OVERFILL ALARM BOX

NEW PAR dba
verizonwireless
TELECOM GROUP
HARPER ENGINEERING, INC.
TELECOM GROUP
815 Superior Ave. Suite 1514
Cleveland, OH 44114
Phone: (216)344-3855
Fax: (216)344-3855

DRAWING REVISIONS

Rev.	Description	Date	Mgr.
A	For Approval	04/30/14	DNH
D	For Zoning	08/10/14	DNH



Engineer's Seal
SITE NAME:
OREGON NORTH
SITE NUMBER:
TOLD-241
155 COLLINS PARK AVENUE
TOLEDO, OH 43609

SHEET NAME:
SHELTER DETAILS
SHEET No./Rev.:
S-1/0
SCALE: AS NOTED
DRAWN BY: GJB
CHECKED BY: GJB
DATE: 04/10/14
FILE: 9-144-1312

GENERAL INFORMATION

Subject

- Request - Amendment to Special Use Permit for a gas station originally approved via ordinance 200-06, to add two additional gas pump islands
- Location - 3405 W. Central Avenue
- Applicant - Costco Wholesale Corporation
999 Lake Drive
Issaquah, WA 98027
- Consultant - Theodore R. Johnson
Suite 208
2311 W. 22nd Street
Oak Brook, IL 60523

Site Description

- Zoning - Regional Commercial with Sign Overlay / CR-SO
- Area - 13.3 acres
- Frontage - 200' along Central Avenue (approximate)
- Existing Use - Part of existing shopping center
- Proposed Use - Gas station/ convenience store
- Required Parking - 21 spaces (1 per pump, at pump, and 1 for enclosure)
- Proposed Parking - 21 spaces (including 16 at pumps and 1 in adjacent parking area)

Area Description

- North - Central Avenue, Commercial / CR
- South - Single Family Residential / RS9
- West - Single Family Residential / RS9
- East - Secor Road, Commercial, Church / CR, RM36, RS6

Parcel History

- S-71-55 - Request for preliminary drawing review, approved by Plan Commission on 12/29/55, final plat approved on 1/31/56, recorded on 2/1/56.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- M-24-59 - Request to annex area from Washington Township, known as the Westgate annexation area, approved by Plan Commission on 3/11/60, City Council approved on 4/14/60, Ord. 247-60. Establishment of interim zoning for same area, approved by Plan Commission on 3/11/60, City Council approved on 4/14/60, Ord. 248-60.
- Z-95-60 - Request to establish permanent zoning for Westgate annexation area, approved by Plan Commission on 6/2/60, City Council approved on 6/13/60, Ord. 406-60.
- Z-95-60 - Request for minor change to approved C-4 site plan, originally approved by Ord. 406-60, disapproved by Plan Commission on 6/15/89, City Council approved on 8/1/89, Ord. 773-89.
- Z-95-60 - Request for minor change to approved C-4 site plan, originally approved by Ord. 406-60 and amended by Ord. 773-89, approved by Plan Commission on 5/9/96, City Council approved on 5/29/96, Ord, 382-96.
- D-5-96 - Request for drive-thru review for automated teller machine, approved by Plan Commission on 5/9/96.
- SPR-73-05 - Request for major site plan review, companion case. PC approved 7/12/07.
- S-36-05 - Request for preliminary drawing review, companion case. PC approved 2/2/06
- SUP-12002-05 - Special Use Permit for a gas station. Ordinance 200-06, 3/28/06.

Applicable Plans and Regulations

Toledo Municipal Code (TMC), Chapter Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

This is an amendment to an existing Special Use Permit, originally granted via Ordinance 200-06, to add two additional gas pump islands for the existing Costco fuel facility located north of the Costco retail building on Central Avenue. The fuel facility is part of the larger Costco development developed in 2006. Currently this facility has 3 islands with a total of 6 pumps (12 pumping stations). Costco is seeking to expand this to 5 islands with a total of 10 pumps (16 pumping stations). This addition will result in the elimination of 36 parking spaces currently dedicated for the Costco retail building. However a total of 637 spaces for the retail establishment remain available, parking remains compliant.

The most significant impact for this site is the western entrance on Central Avenue. Recently, Costco installed a “pork chop” traffic diverter to deter drivers from turning left onto west-bound Central Avenue. This was to alleviate traffic congestion on the Costco site as vehicular traffic backed up onto the site and address safety concerns for the traveling public on Central Avenue. An additional concern has been the east-bound traffic on Central Avenue that backs up on Central Avenue while vehicles are attempting to enter the gasoline fueling facility. To alleviate this congestion on the public right-of-way the site plane indicates that a mountable median will be installed for a minimum of 110’ from the right of way line on Central Avenue back into the Costco parking lot. This will divert vehicles to utilize more of the drive aisle to access the fueling station and potentially eliminate any traffic issues on Central Avenue. This also will allow the fuel trucks to navigate over the mountable median to access the fuel tanks on the north side of the parking lot.

An elevation has been submitted indicating compliance with TMC 1104.0903. A Gasoline and Fuel Sales – General Requirements. The expanded canopy meets setbacks and design standards. The canopy will be similar to the existing facility and will consist of metal fascia and brick pillars.

A landscape plan has been submitted as part of the Special Use Permit amendment. This expansion is interior to the site and will result in a 5’6” median separating the fuel facility from the parking lot. Additionally, the site is in compliance with the Regional Commercial standards for frontage greenbelts.

The Toledo 20/20 Comprehensive Plan targets this site for regional and general commercial uses. Regional and General Commercial is predominantly large-scale commercial uses intended to accommodate auto-oriented development such as big box retail. The fueling station is considered an ancillary use to the retail development that serves the region and the neighborhood.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4005-14, an amendment to a Special Use Permit to add two additional gas pump islands to an existing gas station located at 3405 W. Central Avenue to Toledo City Council, for the following two reasons:

1. The proposal complies with all applicable provisions of the zoning code. TMC 1111.0706 (B).
2. The proposal is compatible with adjacent uses in terms of scale, site design, and operating characteristics, TMC 1111.0706 (C).

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-4005-14, an amendment to a Special Use Permit to add two additional gas pump islands to an existing gas station located at 3405 W. Central Avenue to Toledo City Council, subject to the following twenty-five (25) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **existing substandard** sidewalk and drive approaches within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.
3. Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.
4. Storm drainage service for this site is available subject to: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
5. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

6. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo requirements for the sanitary, storm, water and roadway utilities. This understanding will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Sanitary Sewers: Mike Elling, ph. 419-936-2276

Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221

Water: Andrea Kroma, ph. 419-936-2163

Roadway: Tim Grosjean, ph. 419-245-1344

7. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
8. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged. Designs incorporating green infrastructure, such as wet ponds, extended detention, bioretention, or grassy swales, etc., may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
9. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
10. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

11. No construction work, including grading will be permitted without approved plans and inspection.

Sewer & Drainage

12. All private sewer lines that are not being removed or properly abandoned (both storm & sanitary) should be cleaned and inspected.
13. The private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned should be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to Sewer and Drainage Services demonstrating the lines cleaning and integrity.

Division of Building Inspection

14. Construction of a new or alterations to an existing canopied gas pumping island will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for review and approval showing the construction to be in compliance with the city of Toledo's building, mechanical, and fire codes and, referenced standards, those of the State of Ohio.

Plan Commission

15. If applicable, dumpster location(s) shall be noted on a revised plan and have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
16. All conditions from Ordinance 200-06 remain in effect.
17. The canopy and columns shall be designed to meet the criteria of TMC 1104.0903 Gasoline and Fuel Sales – General Requirements. **Acceptable as depicted on elevation.**
18. Free air (with the capability of filling standard automobile tires), water and restrooms shall be provided and maintained during operating hours of the station per TMC 1104.0903 (D)
19. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping areas.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

20. Flat lens lighting shall be used for all outside lighting, including canopies.
21. Non-petroleum displays must be within twenty-five (25) feet of the building but not within twenty-five (25) feet of any right-of-way. The maximum height of such display shall not exceed five (5) feet.
22. A detailed site, lighting, sign, fencing and landscaping plan, for the modified landscape area only, shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; shall be noted on landscape plan.
 - b. Topsoil must be back filled to provide positive drainage of the landscape area; shall be noted on landscape plan.
 - c. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot (existing trees may be used for credits; shall be noted on landscape plan.
 - d. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot (existing trees may be used for credits; shall be noted on landscape plan.
 - e. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; shall be noted on landscape plan.
 - f. The location, height and materials for any fencing to be installed and maintained, shall be noted on landscape plan;
 - g. The location, lighting and size of any signs.
23. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

24. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
25. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-4005-14
DATE: August 14, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: September 17, 2014
TIME: 4:00 P.M.

TCG/bp
Seven (7) sketches follow

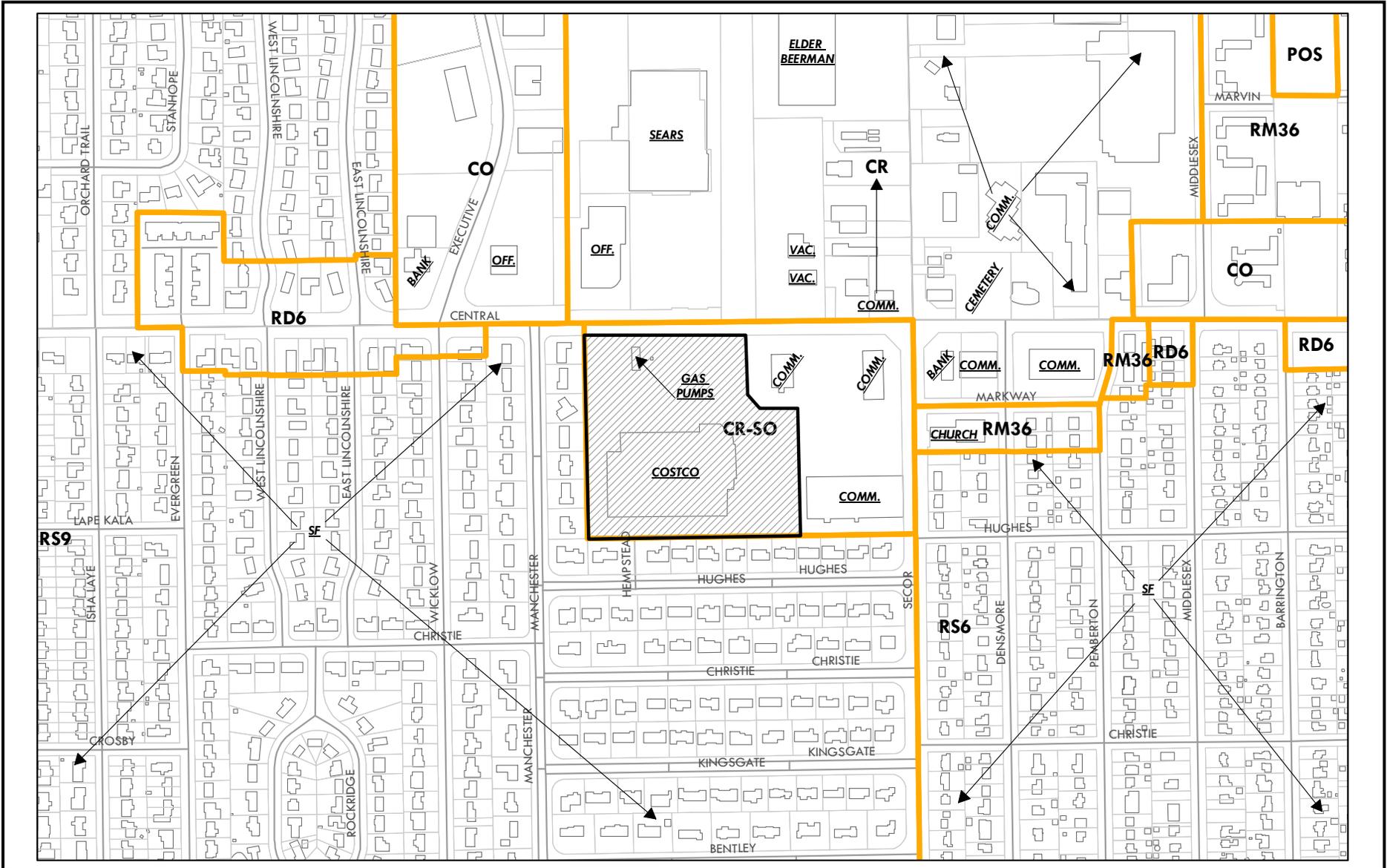
GENERAL LOCATION

SUP-4005-14
ID 79



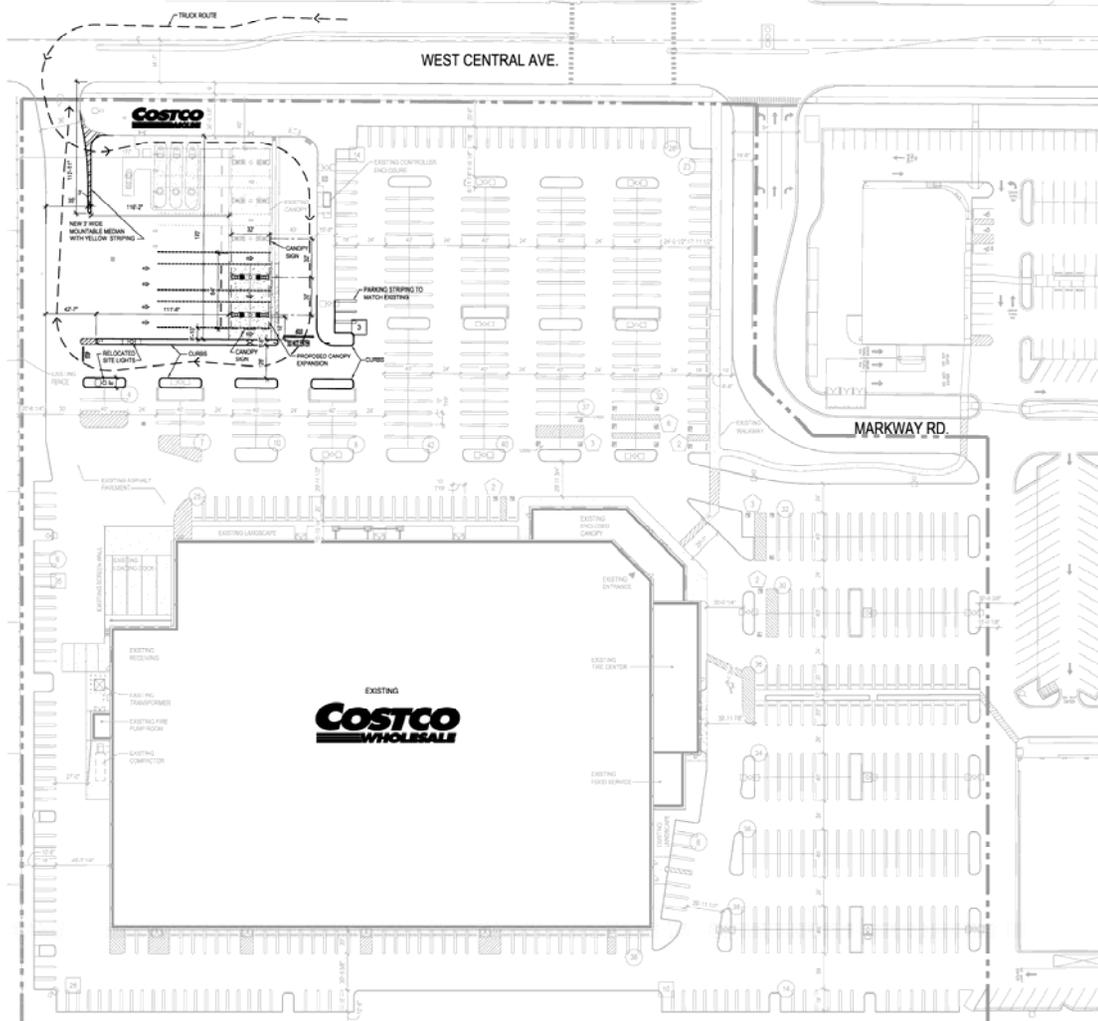
ZONING & LAND USE

SUP-4005-14
ID 79



SITE PLAN

SUP-4005-14
ID 79



PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: 3405 W. CENTRAL AVE.
TOLEDO, OHIO

ZONING: C-4

SITE AREA: 13.30 ACRES (579,489 S.F.)

JURISDICTION: CITY OF TOLEDO, OH

BOUNDARIES INFORMATION: THIS PLAN HAS BEEN PREPARED BY USING A DEVELOPER SITE PLAN PROVIDED BY TJ DESIGNS STRATEGIES, DATED 11/2/2005.

EXISTING BUILDING DATA:	
MAIN WAREHOUSE	145,704 S.F.
TIRE CENTER	5,200 S.F.
FOOD SERVICE	1,224 S.F.
EMPLOYEE LOCKER ROOM #2	1,520 S.F.
TOTAL BUILDING	153,648 S.F.
CONTROLLER ENCLOSURE	72 S.F.
PROPOSED BUILDING DATA:	
EXISTING FUEL CANOPY	2,516 S.F.
FUEL CANOPY EXPANSION	2,048 S.F.
TOTAL FUEL CANOPY	4,564 S.F.

COSTCO PARKING DATA:	
EXISTING PARKING PROVIDED:	
10' WIDE STALLS	566 STALLS
9' WIDE STALLS	85 STALLS
ACCESSIBLE STALLS	18 STALLS
TOTAL EXISTING PARKING	669 STALLS
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA:	4.35 STALLS
PROPOSED PARKING:	
10' WIDE STALLS	530 STALLS
9' WIDE STALLS	88 STALLS
ACCESSIBLE STALLS	18 STALLS
TOTAL PARKING	636 STALLS
NO. OF STALLS PER 1000 S.F. OF BUILDING AREA:	4.14 STALLS
TOTAL PARKING LOST	33 STALLS

NOTES: EXISTING CONDITIONS TO BE FIELD VERIFIED.

TOTAL EXISTING CAR STACKING	42 CARS
TOTAL EXISTING CAR STACKING LOST	-4 CARS
TOTAL CAR STACKING ADDED	28 CARS
TOTAL PROPOSED CAR STACKING	66 CARS

VICINITY MAP



MAJOR SITE PLAN REVIEW



COSTCO WHOLESALE

TOLEDO, OH
#1007
3405 WEST CENTRAL AVE.
TOLEDO, OH 43606

MULVANNY G2

1110 127th AVE. NE | SUITE 300
BELLEVUE, WA 98005
1-425-453-2000 | 1-425-453-2002

MulvaneyG2.com

05-0030-05
JUNE 19, 2014
CONCEPT SITE PLAN

DD11-04

COSTCO WHOLESALE

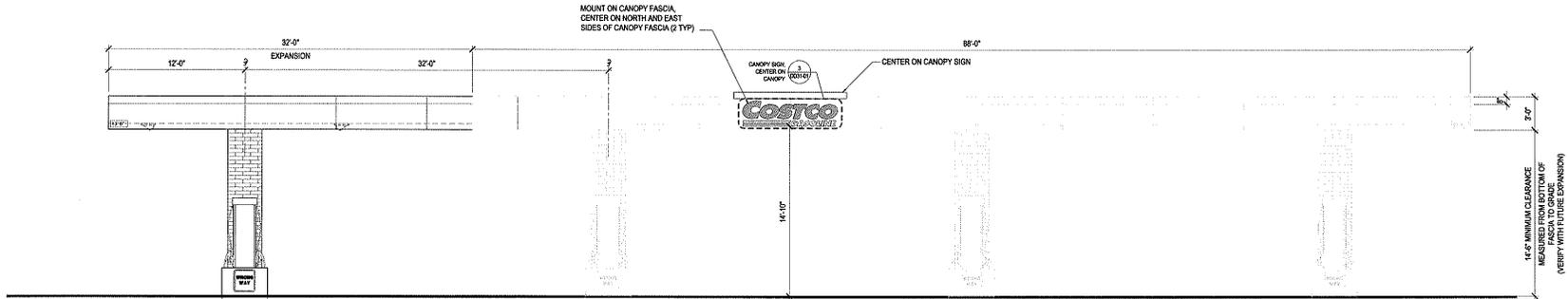
TOLEDO, OHIO

CONCEPT SITE PLAN

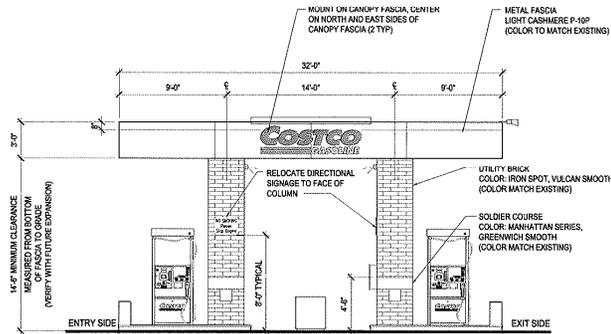
JUNE 19, 2014

ELEVATION

SUP-4005-14
ID 79



1 EAST CANOPY & DISPENSER ISLAND ELEVATION (WEST SIMILAR, NO SIGN)
SCALE: 1/4" = 1'-0"



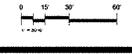
2 SOUTH CANOPY & DISPENSER ISLAND ELEVATION, NO SIGN (NORTH SIMILAR, WITH SIGN)
SCALE: 1/4" = 1'-0"

FUEL STATION SIGNAGE AREA				
QTY.	SIGN	SIZE	AREA	TOTAL AREA
2	COSTCO GASOLINE	8'-5 3/8" x 2'-4"	20 S.F.	40 S.F.
	TOTAL SIGNAGE AREA			40 S.F.



3 CANOPY SIGN
SCALE: 1/2" = 1'-0"

AMENDMENT TO
SPECIAL USE PERMIT



COSTCO
WHOLESALE

TOLEDO, OH
#1007
3405 WEST CENTRAL AVE.
TOLEDO, OH 43606

MULVANNY G2

1110 112TH AVE. NE | SUITE 600
BELLEVUE, WA | 98004
1 425 483 2000 | 1 425 483 2002

MulvannyG2.com

05-0030-05
APRIL 24, 2014
CONCEPT
ELEVATIONS

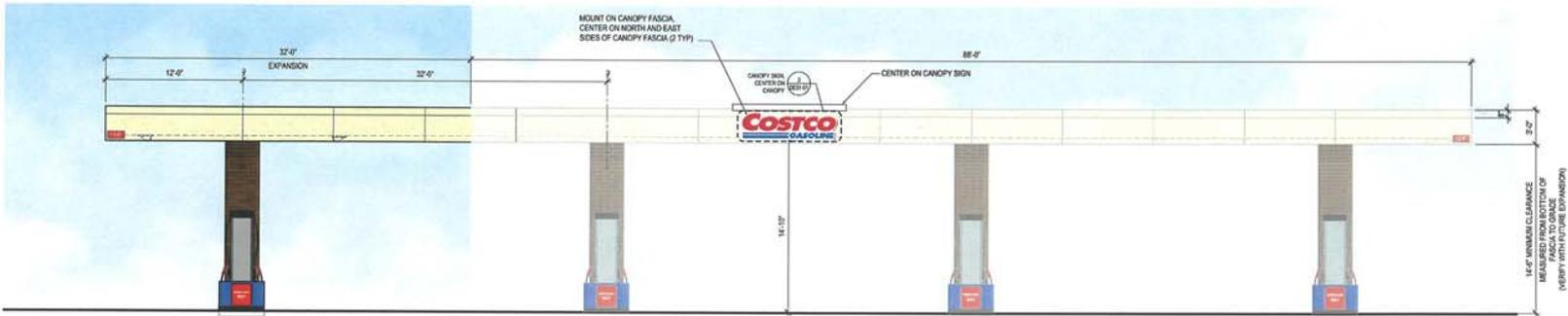
DD31-01

COSTCO WHOLESALE
TOLEDO, OHIO

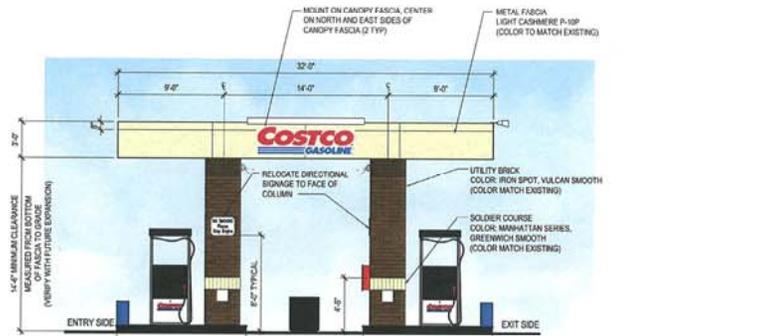
CONCEPT ELEVATIONS
APRIL 24, 2014

ELEVATION

SUP-4005-14
ID 79



① EAST CANOPY & DISPENSER ISLAND ELEVATION (WEST SIMILAR, NO SIGN)
SCALE: 1/4" = 1'-0"



② SOUTH CANOPY & DISPENSER ISLAND ELEVATION, NO SIGN (NORTH SIMILAR, WITH SIGN)
SCALE: 1/4" = 1'-0"

FUEL STATION SIGNAGE AREA			
QTY.	SIGN	SIZE	AREA
1	COSTCO GASOLINE	8'-5 3/8" x 2'-4"	20 S.F.
1	COSTCO GASOLINE	8'-5 3/8" x 2'-4"	20 S.F.
TOTAL SIGNAGE AREA			40 S.F.



③ CANOPY SIGN
SCALE: 1/2" = 1'-0"

AMENDMENT TO
SPECIAL USE PERMIT



COSTCO WHOLESALE
TOLEDO, OH
#1007
3405 WEST CENTRAL AVE.
TOLEDO, OH 43606

MULVANNY G2
1110 117TH AVE, NE | SUITE 000
BELLEVUE, WA | 98004
425.483.2000 | 425.483.2000
MulvannyG2.com

05-0030-05
APRIL 24, 2014
CONCEPT
ELEVATIONS

COSTCO WHOLESALE
TOLEDO, OHIO

CONCEPT ELEVATIONS
APRIL 24, 2014

DD31-01

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GENERAL INFORMATION

Subject

- Request - Major Site Plan Review for a new parking lot, picnic shelters, walking path, picnic tables and playground.
- Location - 3938 Glendale Avenue
- Applicant - Toledo Metroparks Board
5100 W Central Avenue
Toledo, OH 43615
- Architect - Philip G Enderle
The Collaborative
500 Madison Avenue
Toledo, OH 43604

Site Description

- Zoning - RS12 Single Dwelling Residential
- Area - ± 417 acres
- Frontage - ± 2,375' on Glendale Avenue
- Existing Use - Metropark
- Proposed use - Metropark

Area Description

- North - Metropark / RS12
- South - Single Dwelling Residential / RS9
- East - Single Dwelling Residential / RS12
- West - Metropark / RS12

Parcel History

- M-9-62 - Interim Zoning (Approved, 5/3/62)

Applicable Plans and Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a major site plan review for a new forty (40) space parking lot, a forty-three (43) space “future” parking lot, two (2) picnic shelters, a walking path, picnic tables and a playground at the Swan Creek Metropark (Glendale Avenue entrance), located at 3938 Glendale Avenue. Pursuant to TMC 1111.0706, a major site plan review is required because the number of proposed off-street parking spaces exceeds sixty (60) spaces.

Surrounding land uses includes a single-family neighborhood to the east, a single-family neighborhood across Glendale Avenue to the south and Metropark property to the north and west.

Parking and Circulation

The existing parking lot currently has eighty (80) spaces and the addition of forty (40) spaces will bring the parking lot total to 120 spaces. Additionally, the applicant is requesting approval to install a forty-three (43) space “future” parking lot at a later date. The parking lot will be accessed by an existing curb cut from Glendale Avenue, which will serve as a divider between the existing and new parking areas.

Site Design

Pedestrian walking and bicycle trails currently exist throughout the development. The new pedestrian trail will loop from the new parking area, along the wood line and connect to an existing “Stub” trail that currently ends at the existing playground area. Not only will the new loop trail serve as a point of recreation, it will also provide connectivity to the two (2) new picnic shelters and the new playground. Upon completion, the existing playground equipment will be removed and the area will be reseeded providing additional open space displaced by the new development. The Division of Transportation has requested that the drive aisles be widened to twenty-five (25) feet wide and the southern drive be aligned with the access drive of the opposing west parking lot.

Landscaping

The site is existing and per TMC§1114.0500 Appearance Upgrade for Nonconforming Development, the applicant is only required to bring the landscaping closer into compliance with the 2004 zoning code. The applicant submitted a detailed landscape plan for review. Existing mature trees currently exist and will serve as a greenbelt along the Glendale Avenue frontage. These trees are consistent with the mature landscaping along the existing Glendale Avenue parking area. In addition, the landscape plan indicates that a rain garden will be used for detention purposes. Multiple existing trees will be relocated and new trees will be installed around the new parking lot.

STAFF ANALYSIS (cont'd)

Landscaping (cont'd)

Although the new pedestrian path and picnic shelters will be located closer to the residential neighborhood to the east, a 150 foot wooded buffer currently exists between the park and the nearest residential use. With the relocation and installation of new and existing trees and the use of rain garden detention the site will be brought significantly closer into compliance in terms of landscaping.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for parks and open space uses. The intent of the parks and open space designation is to preserve and enhance major open space and recreational areas. Based on the nature of the proposed use and its location, the proposal meets the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 Review and Decision-making Criteria.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve SPR-28-14, a request for a major site plan review for a new parking lot, picnic shelters, walking path, picnic tables and playground for a site located at 3938 Glendale Avenue, for the following two (2) reasons:

1. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan;
2. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC 1111.0706.C Review & Decision-Making Criteria);

The staff recommends that the Toledo City Plan Commission approve SPR-28-14, a request a major site plan review for a new parking lot, picnic shelters, walking path, picnic tables and playground for a site located at 3938 Glendale Avenue, subject to the following nineteen (19) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **existing standard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced/upgraded to conform to current City of Toledo Construction Standards, Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

2. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.

3. Storm drainage service for this site is available subject to: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
4. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
5. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://www.ci.toledo.oh.us/Departments/PublicUtilities/DivisionofEngineeringServices/PlanReviewProcess/tabid/355/Default.aspx>. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo requirements for the sanitary, storm, water and roadway utilities. This understanding will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews and help to speed up the plan approval process.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Doug Stephens, ph. 419-936-2279

6. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

7. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers and underground detention, are encouraged. Designs incorporating green infrastructure, such as wet ponds, extended detention, bio-retention, or grassy swales, etc., may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
8. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
9. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
10. No construction work, including grading will be permitted without approved plans and inspection.

Sewer & Drainage Services

No concerns or objections.

Fire Prevention

No concerns or objections.

Building Inspection

11. Any construction and/or alterations of any buildings or structures on this site require stamped construction documents be submitted to the Division of Building Inspection for plan review and approval showing the improvements to be in compliance with the Ohio Building Code and the associated mechanical, electrical codes and fire codes.
12. Any signage or fencing will require separate permits.

Division of Transportation

13. The southernmost drive shall be aligned with the access drive of the opposing west parking lot.

STAFF RECOMMENDATION (cont'd)

Division of Transportation (cont'd)

14. In accordance with the Toledo Municipal Code, drive aisles shall be widened to 25' to accommodate two-way traffic.

Plan Commission

15. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces overhanging a pedestrian walkway or sidewalk and when adjoining a building.
16. Dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks, **shall be noted on revised site plan.**
17. A detailed landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. All parking spaces must be within 100 linear feet of a landscaped area; **acceptable as depicted on landscape plan.**
 - b. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; **acceptable as depicted on landscape plan.**
 - c. Topsoil must be back filled to provide positive drainage of the landscape area; **acceptable as depicted on landscape plan.**
 - d. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **acceptable as depicted on landscape plan.**
 - e. Landscape terminal islands must be provided at the end of each parking row; **acceptable as depicted on landscape plan.**
 - f. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot; **acceptable as depicted on landscape plan.**
 - g. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **acceptable as depicted on landscape plan.**
 - h. The location, height and materials of any fencing to be installed and maintained; **acceptable as depicted on landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

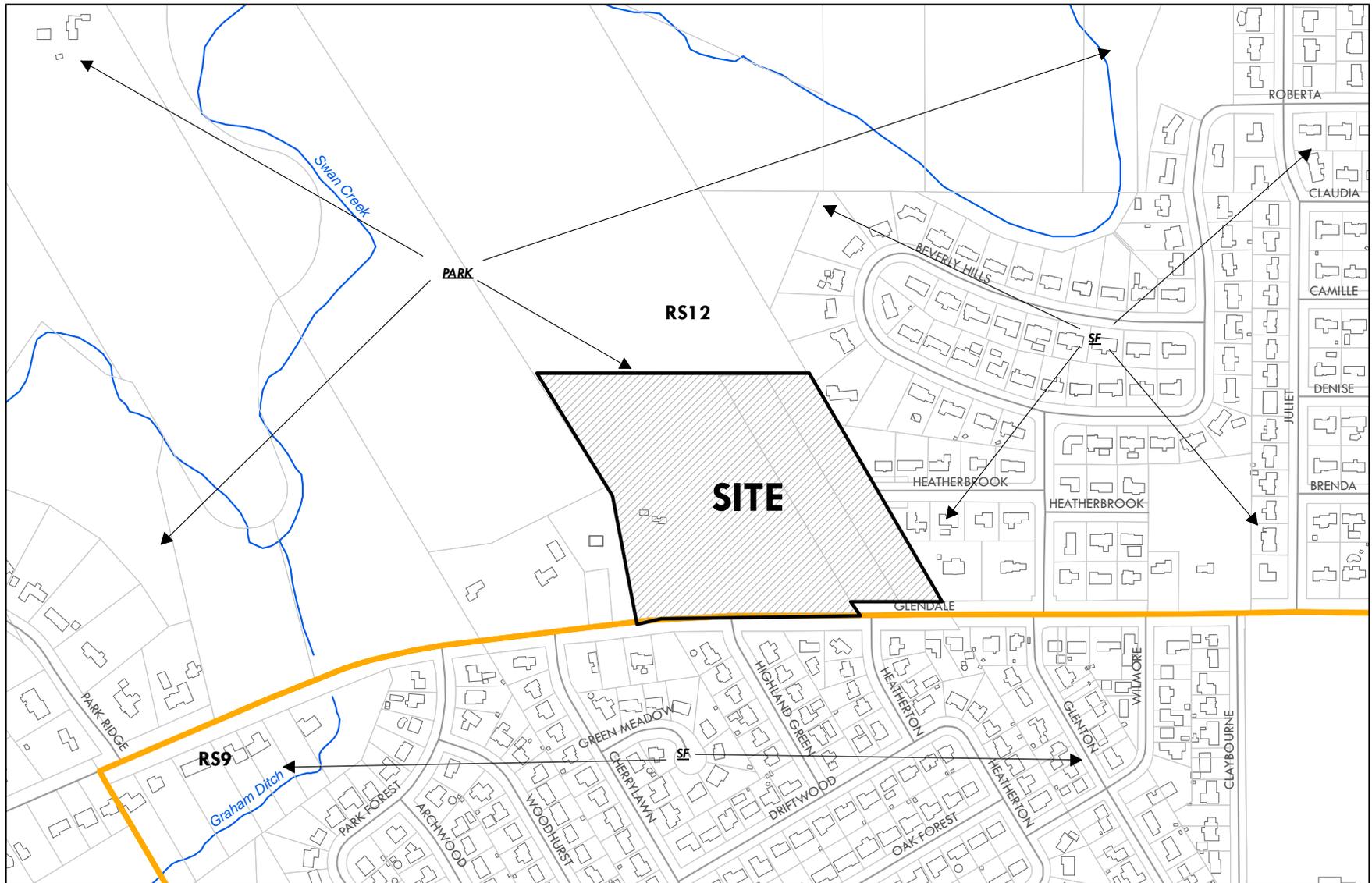
- i. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **acceptable as depicted on landscape plan.**
18. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
19. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions set forth above.

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-28-14
DATE: August 14, 2014
TIME: 2:00 P.M.

BH/bp
Five (5) sketches follow

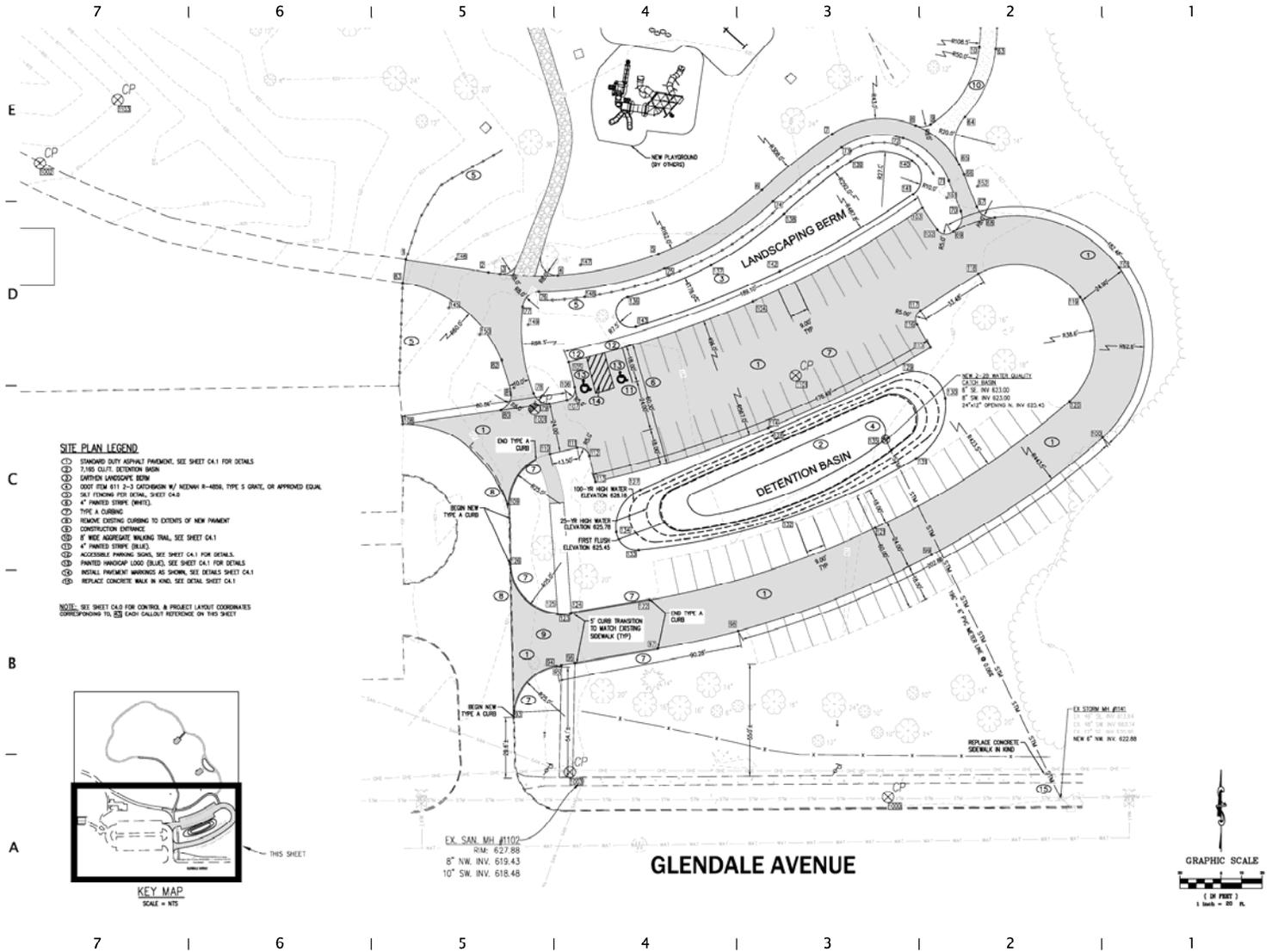
ZONING & LAND USE

SPR-28-14
ID 85



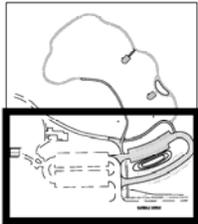
SITE PLAN

SPR-28-14
ID 85



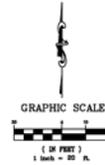
- SITE PLAN LEGEND**
- STANDARD DUTY ASPHALT PAVEMENT, SEE SHEET CA.1 FOR DETAILS
 - 7.560 CU.FT. DETENTION BASIN
 - WIDEN LANDSCAPING BERM
 - 100FT. DIA. 81.1' 2'-0" CIRCULARMAN H/J ACENWH 8-4856, TYPE S GRATE, OR APPROVED EQUAL
 - S&T FINISHING FOR DETAIL SHEET CA.8
 - 4" FINISHED STRIKE (SHED)
 - TYPE A CURBING
 - REMOVE EXISTING CURBING TO EXTENDS OF NEW PAVEMENT
 - CONSTRUCTION ENTRANCE
 - 8" WIDE AGGREGATE WALKING TRAIL, SEE SHEET CA.1
 - 4" FINISHED STRIKE (BLUES)
 - ACCESSIBLE PARKING SPACES, SEE SHEET CA.1 FOR DETAILS
 - PAINTED HANDCAP LOAD (BLUES), SEE SHEET CA.1 FOR DETAILS
 - INITIAL PAVEMENT MARKINGS AS SHOWN, SEE DETAILS SHEET CA.1
 - REPLACE CONCRETE WALK IN KIND, SEE DETAIL SHEET CA.1

NOTE: SEE SHEET CA.0 FOR CONTROL & PROJECT LAYOUT COORDINATES CORRESPONDING TO EACH CALLOUT REFERENCE ON THIS SHEET



EX. SAN. MH #1102
RIM: 627.88
8" NW. INV. 619.43
10" SW. INV. 618.48

GLENDALE AVENUE



PROJECT TITLE
Metroparks of the Toledo Area
Swan Creek
Metropark
2014 SITE IMPROVEMENTS
Glendale Avenue
Toledo, Ohio

CHECKED: XXX
APPROVED: XXX
TCI JOB NO. 106257

SHEET TITLE
Site & Utility Plan
- South

SHEET NO.
C2.0

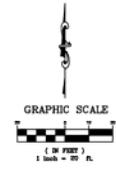
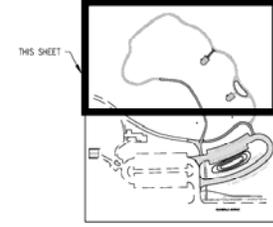
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SITE PLAN (WALK PATH)

SPR-28-14
ID 85



SITE PLAN LEGEND
 (10) 4" WIDE AGGREGATE WALKING TRAIL, SEE SHEET C41
 (15) 4" x 4" x 1" REINFORCED CONCRETE SLAB ON GRADE, SEE DETAIL SHEET C41
 NOTE: SEE SHEET C40 FOR CONTROL & PROJECT LAYOUT COORDINATES CORRESPONDING TO (10) EACH CALLOUT REFERENCE ON THIS SHEET



PROJECT TITLE
Metroparks of the Toledo Area
Swan Creek Metropark
2014 SITE IMPROVEMENTS
Glendale Avenue
Toledo, Ohio

CHECKED: XXXX
 APPROVED: XXXX
 TCI JOB NO. 106257

SHEET TITLE
Site & Utility Plan
- North

SHEET NO.
C2.1

Saved on: April 14, 2014 at 3:05 PM
 Drawing name: 100034--Scott Site Plan.dwg

3 - 11

GENERAL INFORMATION

Subject

- Request - Major Site Plan Review for a Health Clinic
- Location - 1415 & 1317 Jefferson and 1310 Monroe Street
- Applicant - Doni Miller
Neighborhood Health Association of Toledo
313 Jefferson Avenue
Toledo, OH 43604
- Architect - Scott Rossi, AIA
Rossi & Associates
970 S. Byrne Road
Toledo, Ohio 43609

Site Description

- Zoning - CR Regional Commercial District
- Overlay - Monroe St. Urban Neighborhood Overlay
- Area for building - ±1.37 ac.
- Area for parking lot - ±1.4 ac.
- Frontage - 300' on 15th Street
200' on Jefferson and Monroe Street
355' on 14th Street
260' on 13th Street
- Existing Use - Vacant Parcel (former Taylor Cadillac site)
- Proposed Use - Health Clinic
- Proposed Parking - 74 spaces
- Required Parking - 210 spaces (168 spaces with Transit stop)

Area Description

- North - Jefferson Avenue and Toledo Club / CR
- South - Monroe Street, Auto Paint Shop, Office / CR
- East - 13th Street and Commercial / CR
- West - 15th Street and Phoenix Academy School / CR

Parcel History

No case history on file.

GENERAL INFORMATION (cont'd)

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning Code
Toledo 20/20 Comprehensive Plan,
Monroe Street Redevelopment Plan

STAFF ANALYSIS

The applicant is proposing to construct a 42,006 s.f. health clinic on 1.37 acre parcel. The site is the former Taylor Cadillac property that has been vacant for a number of years. The proposal consists of a building on the west side of 14th Street with handicap parking and the main 70 space parking lot on the east side of 14th Street to serve employees and patients. This project will consolidate some of Neighborhood Health Associates (NHA) services into a larger facility. The corporate offices of NHA will remain at their current location on Jefferson Avenue.

The Uptown Association reviewed the proposal since the project is within their service area. The Uptown Association is supportive of NHA's project, but does have a few concerns with the proposed site plan. They are concerned that the proposed sidewalk shelter may become a gathering point and a potential security risk. Uptown had a covered bus stop within the District where they discovered illegal activities were taking place. The canopy roofs on the plan, especially 14th Street, should be metal and not a tarp. Uptown realizes NHA does not have any control over the razor fence on the Taylor Cadillac Property, but they suggest removing that fence once the NHA building is finished. That building will serve as a security parameter. They suggest replacing the remaining razor fence with a decorative fence. Uptown is concerned that the entrance on 15th Street will also become a gathering point and a potential security risk for similar reasons to the sidewalk shelter.

Parking and Circulation

The site plan indicates 74 parking spaces allocated for the clinic. This is 94 parking spaces short of the required 168 parking spaces with a transit stop. The clinic provides services for an underserved population. A significant portion of their patients do not drive or use public transportation. An alternative parking plan will need to be submitted to the Plan Commission for review and approval prior to any building permits being issued. This plan must detail the type of alternative proposed and the rationale for such a proposal, including supporting research on or documentation of parking demand for the proposed use. The applicant is proposing to use curb cuts onto 14th and 13th Street to access the main parking lot. Access to the main building will be off of 14th Street for drop off and pick up.

STAFF ANALYSIS (cont'd)

Landscaping

The site is within the Monroe Street Urban Neighborhood Overlay, therefore the applicant is required to comply with the Urban Landscape standards of the zoning code. The site plan shows the building situated along the Jefferson Avenue frontage between 15th and 14th Street. A landscape strip is provided around the perimeter of the building along street frontages. In addition, street trees are proposed along 14th Street on the east side of the building. Additional trees will need to be located within the property in front of the building along 14th Street. A forty-four (44') foot greenbelt is proposed along the parking lot on the east side of 14th Street. A fifty-nine (59') foot greenbelt is shown along Monroe Street for the parking lot. The corner of Monroe and 14th would be an ideal location for a sign (no sign location was designated on the plan). If a sign is installed at this location it should be a low profile sign to reflect the character of the Monroe Street corridor. A five (5') foot landscape buffer will be installed along the 13th Street frontage. Given the size and character of the parking lot a metal tube or solid bar fence shall be installed in the landscaping for the parking lot.

Per TMC 1108.0304.A., a land use buffer is required along adjacent properties. The landscape plan for the parking lot does not meet this requirement. The parking area on the northeast side of the parking lot that abuts the property to the north does not indicate any type of buffer. The revised landscape plan shall comply with TMC 1108.0304.A.

A chain link fence with barbed wire is located on the south side of the building adjacent to the Taylor Cadillac site. The applicant should work with Taylor Cadillac to have that fence removed and then relocated to tie into the building. This will help with the aesthetics of the site and yet still provide security for both sites.

Dumpsters

The site plan indicates that the dumpster for the clinic is located at the southwestern corner of the building. The proposed location is in compliance with TMC 1108.0304.B *Dumpster and Trash Receptacle Screening*. This section states that dumpsters shall not be located in the public right-of-way. The proposed location meets the TMC requirement.

Building Elevation

The building elevations as submitted indicate the use of brick veneer and smooth faced stone, and glass as predominant exterior building materials. The smooth faced stone breaks up the massing of the building along with banding around the building. The rounded element on Jefferson and 14th Street provides for a dominant feature along the street. Although not indicated on the elevations the colored renderings show brick columns projecting out from the building. This along with the stone columns provide for some articulation of the massing of the walls.

STAFF ANALYSIS (cont'd)

Building Elevation (cont'd)

The elevations indicate the use of an architectural grade fabric for the awning and screening of the mechanical units on the roof. This is not a permitted material and will need to be replaced with an acceptable alternative. The east and north elevations do not indicate the type of material used for the columns and the lintel. The modules of windows on the east elevation under the canopy appear to be too large and do not match the other windows in the building. Additional muntins or similar methods should be employed to retain the symmetry of the windows. Additionally, the north elevation indicates that the entrance is in a different location than the site plan. This will need to be clarified in the revised elevations or site plan. The elevations for the sidewalk shelter located on the northeast corner of Jefferson and 14th Street are not provided. These elevations shall be submitted with the revised elevations.

The Toledo 20/20 Comprehensive Plan targets this site for Downtown Commercial and Urban Village uses. The Downtown Commercial is intended to accommodate a broad range of uses to reflect downtown's role as a commercial, governmental, cultural and entertainment center. Land uses are intended to be intense with high building coverage, large buildings, and buildings placed close together and accommodates mixed-use pedestrian oriented development. The Urban Village is a specialized residential and commercial district that possesses characteristics of Traditional Neighborhood Development (TND), such as pedestrian orientation, zero building setbacks, mixed uses, and distinct architectural character. Both of these land uses support the NHA development

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve S-52-13, a Major Site Plan Review for a Health Clinic located at 1415 & 1317 Jefferson and 1310 Monroe Street, for the following four (4) reasons:

1. The plan complies with all standards of the Toledo Municipal Code, this Zoning Code and other adopted City policies (TMC 1111.0809 A);
2. The proposed use is allowed in the district in which it is located (TMC 1111.0809 B);
3. Vehicular ingress and egress to and from the site and circulation within the site provides safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well (TMC 1111.0809 C); and
4. The plan provides safe, efficient and convenient movement of pedestrians on the subject site (TMC 1111.0809 D).

The staff further recommends that the Toledo City Plan Commission approve S-52-13, a Major Site Plan Review for a Health Clinic located at 1415 & 1317 Jefferson and 1310 Monroe Street, subject to the following forty-five (45) conditions:

STAFF RECOMMENDATION (cont'd)

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines. All proposed drive approaches shall be constructed as concrete drive approaches with sidewalk extending through them.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. All existing drives that will not be reused shall be removed and the area restored to match the adjacent landscape. Curb drops through unused drives shall be removed and replaced with full-height curb to match the adjacent curb. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.
5. Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.
6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. Existing water services to structures removed from the site will be abandoned by the City of Toledo at the owner's/developer's expense.
8. If existing fire and domestic services are not to be reused, they shall be abandoned by the City of Toledo at the developer's expense.
9. Plans for new water service or modifications to existing water service shall be submitted to the Division of Engineering Services for review and approval.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

10. Contact the City of Toledo Fire Prevention Bureau to determine the fire protection requirements for this site.
11. Maintain 10 feet of horizontal clearance between proposed water services and sanitary or storm sewers. Maintain 4 feet of horizontal clearance between proposed water services and any other underground utility. Maintain 18 inches of vertical clearance between proposed water services and any underground utility.
12. Contact the Division of Water Distribution for installation requirements for backflow preventers.
13. New fire, domestic, and irrigation taps will be installed by City of Toledo at the owner's/developer's expense.
14. Plans for the water service may need to be submitted to and approved by the Ohio EPA prior to starting construction of the water service.
15. If existing public water facilities are in conflict and must be relocated, they will be relocated by the City of Toledo at the owner's cost.
16. A flow test is recommended to ensure that the available water flow and pressure in the area meet the anticipated demands of the facility.
17. Storm drainage service for this site is available subject to: the Criteria and Regulations of the Departments of Public Utilities and Public Service; the Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; the Toledo City Charter; the

"Subdivision Rules & Regulations" of the Toledo-Lucas County Plan Commission; the City of Toledo Infrastructure Design Plan." All disturbed land areas over one (1) acre must submit an NOI to and obtain a permit from the Ohio EPA. Storm water detention will be required in accordance with the above.
18. The site is located within a combined sewer area. Water quality treatment of the storm water discharge is, therefore, not a required factor in the runoff design as the runoff will pass through the municipal wastewater treatment plant.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

19. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
20. No construction work, including grading, will be permitted without approved plans and inspection.
21. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at www.ci.toledo.oh.us/Departments/PublicUtilities/DivsionofEngineeringServices/PlanReviewProcess/tabid/355/Default.aspx. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, the Department of Engineering Services to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo's requirements for the sanitary, storm, water, and roadway utilities. This understanding will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews, and speed-up the plan approval process.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Sanitary Sewers: Mike Elling, ph. 419-936-2276

Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221

Water: Andrea Kroma, ph. 419-936-2163

Roadway: Tim Grosjean, ph. 419-245-1344

22. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
23. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
24. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developer's cost.
25. Any existing sewers under proposed buildings shall be relocated or abandoned. Developer shall verify any sewers to be abandoned are no longer in service.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

26. Any previous kills that were not done at the right-of-way line shall be re-killed at the right-of-way to eliminate any active pipes on the property.

Division of Transportation

27. A minimum drive aisle width of 25' is required to accommodate two-way traffic; all drive aisles in the primary parking lot do not meet this requirement and shall be widened.

Sewer and Drainage Services

28. All private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
29. The private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity

Building Inspection

30. The project will require a change of use of any structures classified by the Ohio building Code from Use Group M (Mercantile) and S (Storage) to Use Group B (Business). A change of use requires that any alterations of or additions to existing structures, or construction of new structures have stamped construction documents submitted to the Division of Building inspection for plan review and approval in accordance with the Ohio Building Code (OBC) and the associated mechanical, electrical and fire cods, and comply with federal ADA regulations.
31. Any sign, fencing or parking lot lighting will require separate approvals, permits and inspections.

Toledo Design Center

32. The elevations indicate that an architectural grade fabric will be used for a canopy and for screening the mechanicals on the roof. This is not an acceptable architectural material and will need to be replaced with an acceptable alternative.
33. The east and north elevations do not indicate the type of material used for the columns and the lintel. These elevations shall be submitted with the revised elevations.

STAFF RECOMMENDATION (cont'd)

Toledo Design Center (cont'd)

34. The module of windows on the east elevation under the canopy appear to be too large and do not match the other windows in the building. Additional muntins or similar methods should be employed to retain the symmetry of the windows.
35. The north elevation indicates that the entrance is in a different location than the site plan. This will need to be clarified in the revised elevations or site plan.
36. The elevations for the sidewalk shelter located on the northeast corner of Jefferson and 14th Street are not provided. These elevations shall be submitted with the revised elevations.
37. A chain link fence with barbed wire is located on the south side of the building adjacent to the Taylor Cadillac site. The applicant should work with Taylor Cadillac to have that fence removed and then relocated to tie into the building.
38. The pedestrian walkway along the parking lot east of 14th Street should have lighting for the pedestrian utilizing this sidewalk.
39. No signage is indicated for the site. If signage is proposed it should be a low profile sign to reflect the goals and objectives of the Monroe Street Corridor Plan.

Plan Commission

40. Revised building elevations shall be submitted for review and approval. The elevations shall comply with the requirements of TMC 1109.0501, Facade Materials.
41. Dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks. The dumpster location as submitted on the plan is acceptable.
42. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. One 2 inch caliper tree is required for every 1,000 square feet of building coverage; foundation plantings are required along all main and secondary entrances of the building, and patio areas, that are visible from the public right of way, and landscaping at all major building entrances; Additional trees will be required within the property boundary on the west side of 14th Street in front of the building;

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- b. Total interior landscaping shall be 20 square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing; **acceptable as depicted on site plan;**
- c. All parking spaces must be within 100 linear feet of a landscaped area; **acceptable as depicted on site plan;**
- d. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; **acceptable as depicted on site plan;**
- e. Topsoil must be back filled to provide positive drainage of the landscape area;
- f. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground cover;
- g. Landscape terminal islands must be provided at the end of each parking row; **acceptable as depicted on site plan;**
- h. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot (existing trees may be used for credits; **acceptable as depicted on site plan;**
- i. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway; **acceptable as depicted on site plan;**
- j. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **acceptable as depicted on site plan;**
- k. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details;

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- l. The location, height and materials for any fencing to be installed and maintained. A minimum 3½ foot high metal tube or solid bar fence shall be installed around the proposed parking lot; **shall be noted on revised site plan,**
 - m. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties);
 - n. The location, lighting and size of any signs.
43. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
44. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
45. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-52-13
DATE: August 14, 2014
TIME: 2:00 P.M.

TG/bp
Three (3) sketches follow

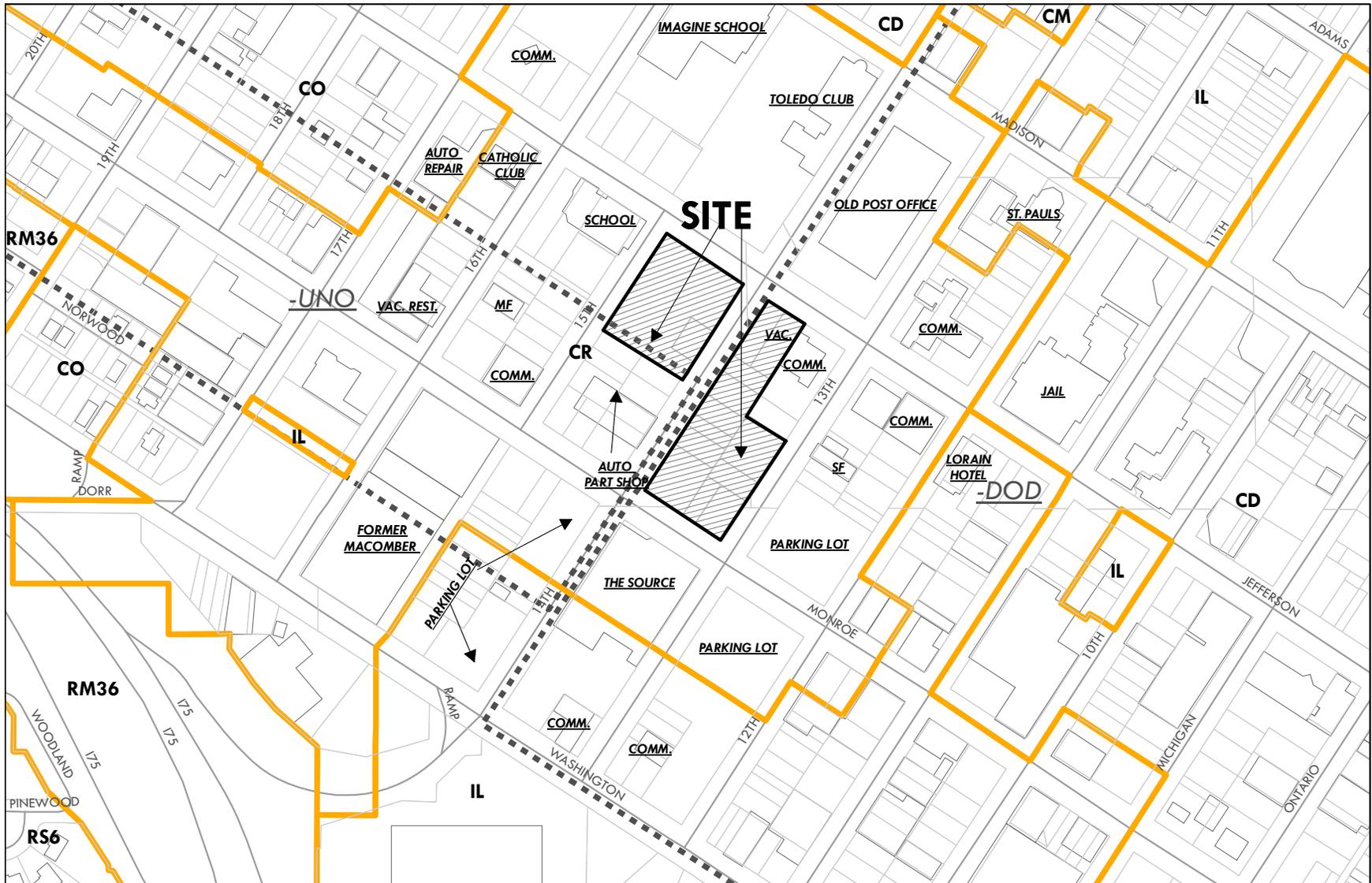
GENERAL LOCATION

SPR-52-13
ID 14



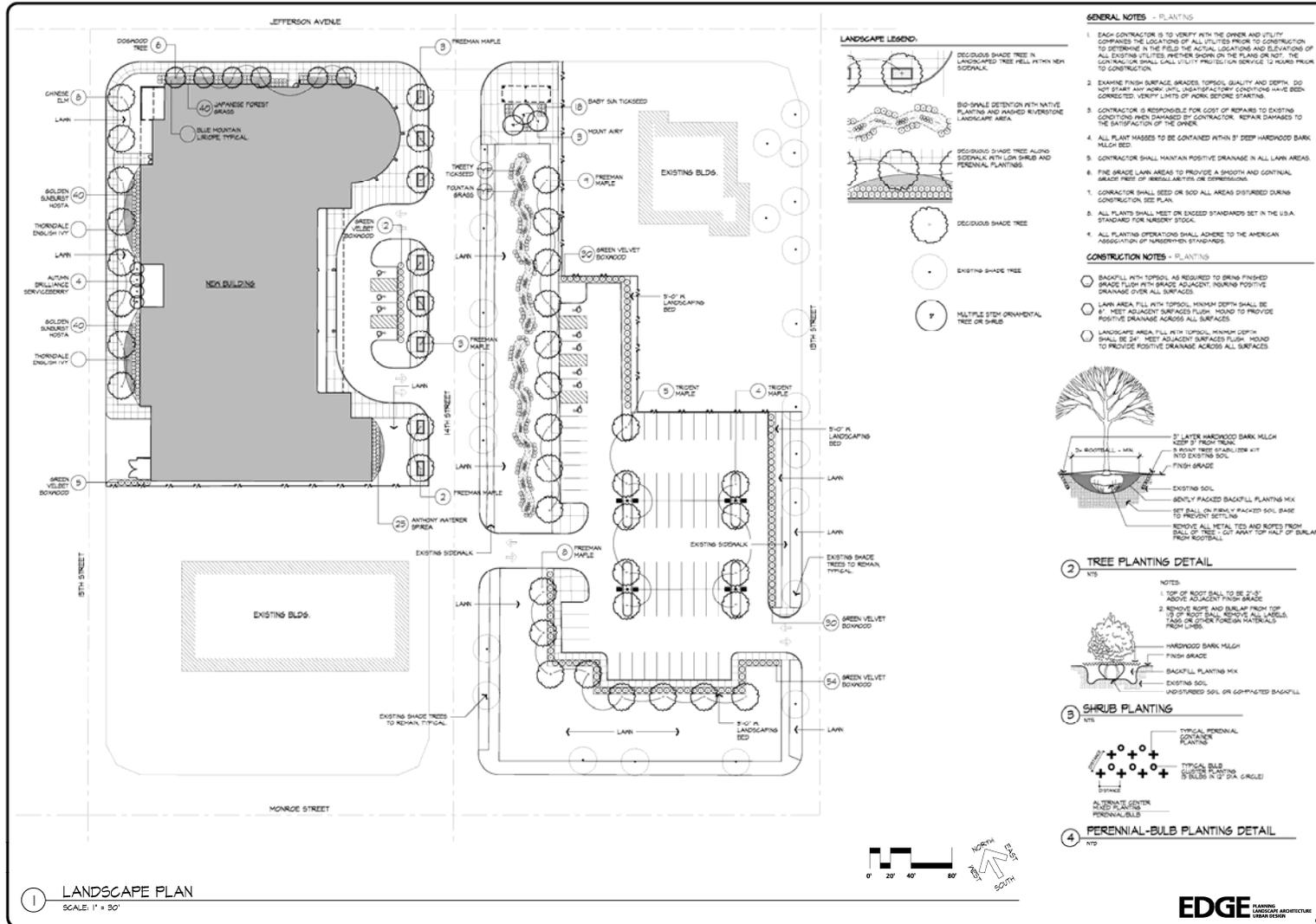
ZONING & LAND USE

SPR-52-13
ID 14



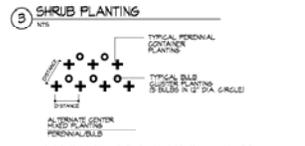
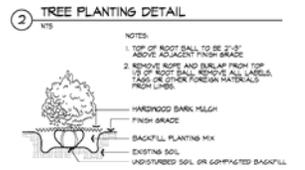
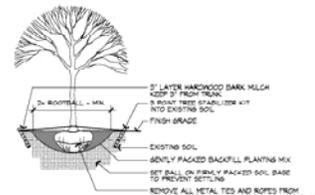
SITE PLAN AS SUBMITTED

SPR-52-13
ID 14



1 LANDSCAPE PLAN
SCALE: 1" = 30'

- GENERAL NOTES - PLANTING**
- EACH CONTRACTOR IS TO VERIFY WITH THE OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT, THE CONTRACTOR SHALL CALL UTILITY PROFESSIONAL SERVICES 12 HOURS PRIOR TO CONSTRUCTION.
 - EXAMINE FINISH SURFACE, GRADES, TOPSOIL, QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
 - CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRING TO EXISTING CONDITIONS WHEN DAMAGED BY CONTRACTOR. NOTIFY OWNER IMMEDIATELY TO THE SATISFACTION OF THE OWNER.
 - ALL PLANT MASSSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LAWN AREAS.
 - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF MINERAL PARTICLES OR DEPRESSIONS.
 - CONTRACTOR SHALL SEED OR SOO ALL AREAS DISTURBED DURING CONSTRUCTION SEE PLAN.
 - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
 - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- CONSTRUCTION NOTES - PLANTING**
- BACKFILL WITH TOPSOIL AS REQUIRED TO BRING FINISHED GRADE FLUSH WITH GRADE ADJACENT. MAINTAIN POSITIVE DRAINAGE OVER ALL SURFACES.
 - LAWN AREA: FILL WITH TOPSOIL. MINIMUM DEPTH SHALL BE 4". MEET ADJACENT FINISHED GRADE. HOOD TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
 - LANDSCAPE AREA: FILL WITH TOPSOIL. MINIMUM DEPTH SHALL BE 24". MEET ADJACENT FINISHED GRADE. HOOD TO PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.



ROSSI & ASSOCIATES, LLC
ARCHITECTURE ENGINEERING PLANNING

1416 JEFFERSON AV TOLEDO, OHIO

DATE: 11.4.2013
12.30.2013
06.30.2014

DRAWN BY: EDC

SP-2

4 - 14

EDGE PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

GENERAL INFORMATION

Subject

- Request - Amendment to a Special Use Permit granted via ordinance 487-08 to expand existing school
- Location - 3363 Hill Avenue
- Applicant - Bryan D. Ellis
7057 Barendt Road
Toledo, OH 43617
- Contact - Richard Dunn
2233 Greenlawn Drive
Toledo, OH 43617

Site Description

- Zoning - CR Regional Commercial
- Area - ±1.40 acres
- Frontage - ±160' along Hill Avenue
- Existing Use - Vacant Commercial Building
- Proposed Use - School

Area Description

- North - Lott Industries / IL
- South - Knight Academy / CR
- East - School / CR
- West - Vacant Commercial Building / CR

Parcel History

No record on file

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is requesting an amendment to a Special Use Permit granted via ordinance 487-08 for a site located at 3363 Hill Avenue. The site consists of a ±1.40 acre parcel that is zoned CR Regional Commercial. The applicant is proposing to incorporate the site into the existing school located to the immediate east. Pursuant to TMC§1111.0708 – *Amendments to Approved Special Uses*, an increase in cumulative floor area by more than 10% requires an amendment to the Special Use Permit in accordance with the procedures of TMC Section 1111.0700.

The site plan and letter of intent indicate that the existing school at 20 Arco Drive will be expanded to include the 9,600 square foot single storey warehouse on the subject site. This building will house students in grades 4, 5 and 6 (and possibly 7-8 in the future), office space, and a gymnasium. An existing fence separating the two facilities will be removed or altered to allow for cross access between the two buildings. During normal weather conditions student drop off and pick up will occur at the existing building. The addition of this building will allow the school to expand to 195 students and will add an additional 5 faculty members.

Parking and Circulation

Pursuant to TMC§1107.0304 Parking, Loading, and Access – Schedule A, a development of this type is required to have (1) one parking space per (1) one faculty member plus (1) parking space per (50) fifty students for student drop-off and pick-up area. Together the two establishments will serve 195 students. The applicant is proposing a total of 95 parking spaces, exceeding the 18 spaces that are required. The proposed development is required to have (1) one bicycle parking slot per (3) three students plus (1) bicycle parking slot per (10) parking spaces. Calculations conclude that a total of 75 bicycle slots are required for the two sites. Pursuant to TMC§1107.0901(C), no more than 50 bicycle parking slots shall be required for any listed use category. A total of (3) handicap parking spaces are required for the two sites. The site plan submitted is in compliance with the ADA parking space requirement.

Landscaping

A landscape plan has been submitted as part of the Special Use Permit review. The site is existing and per TMC§1114.0500 is only required to be brought closer into compliance with the landscape requirements of the 2004 zoning code. Staff requires that a solid evergreen hedge be planted along the Hill Avenue frontage to screen the parking lot so that no headlights of any vehicles can be seen from the public street. Additionally, trees shall be added along this frontage (site plan submitted offers nine trees which is acceptable). Finally, foundation plantings shall be added at the building's entrance.

STAFF ANALYSIS (cont'd)

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Limited Industrial uses. The intent of the IL Limited Industrial district is to accommodate uses such as wholesale activities, warehouses and industrial/manufacturing operations that are not employment-intensive and are compatible with commercial and residential land uses. The current zoning designation for the site is CR Regional Commercial. The intent of the CR Regional Commercial district is to accommodate auto-oriented commercial development in areas already built in this manner and to accommodate community and regional-oriented commercial uses. The proposed development conforms to the current zoning of the site and meets the stated purpose of the zoning code.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-7002-14, a request for an amendment to a Special Use Permit granted via ordinance 487-08 to expand existing school located at 3363 Hill Avenue, to the Toledo City Council, for the following two (2) reasons:

1. The proposed use conforms with the current zoning of the site; and
2. The proposed use meets the stated intent of the zoning code (TMC§1111.0706.A).

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP-7002-14, amendment to a Special Use Permit granted via ordinance 487-08 to expand existing school located at 3363 Hill Avenue, to the Toledo City Council, subject to the following twenty-six (26) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **existing substandard** drive approaches and curb within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines. A minimum 4-foot wide concrete sidewalk shall be installed through the entire frontage of the property to match the sidewalk on the adjacent property to the east. The existing asphalt approach shall be removed and replaced with a concrete drive approach to meet the specifications as listed above.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.
5. Contact Scott Bishop at (419) 936-2756 for inspection of above mentioned items.
6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. Plans for a new water service or modifications to the existing water service shall be submitted to the Division of Engineering Services for review and approval.
8. Contact the City of Toledo Fire Prevention Bureau to determine if a fire line is needed for this site.
9. Plans for water services 4-inch diameter and larger shall be submitted to the Division of Engineering Services for review and approval.
10. Contact the Division of Water Distribution for installation requirements for backflow preventers.
11. Plans submitted for review do not detail any revisions to the existing site that will require earth-disturbing activity of 2,500 or more square feet, nor are any changes shown to the existing storm sewer system. Therefore, it appears that there are no items requiring a storm water plan review. If revisions are made to the site plan that will result in earth-disturbing activity of 2,500 or more square feet or cause changes to the existing storm sewer, they will be subject to the rules and regulations of the City of Toledo, Storm Water Utility, including stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities.

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services

12. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
13. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect to the public sewer system if this has not been done in the past (2) years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Fire Prevention

14. Building identification and address numbers are required.

Transportation

15. Four foot sidewalks shall be added along the Hill Avenue frontage in accordance with City of Toledo Construction Standards.

Building Inspection

16. Demolition of any existing structures building(s) will require a demolition permit issued from the City of Toledo through its Division of Building Inspection requiring termination of all utilities. Documentation from Columbia Gas and Toledo Edison/Energy One must be provided to Building Inspection that this has occurred. If the existing water and sewer taps are to be re-used, the applicant/contractor must identify this to the Department of Public Utilities and secure their release for the demolition permit to be processed and issued. Otherwise, water and sewer service must be terminated as well.
17. Structures. The construction of any new structure, addition, or alterations to any existing building will require construction documents stamped by a design professional to be submitted to the Division of Building Inspection for plan review and approval. Construction documents must show that the new structure and/or interior alterations will be in compliance with the building, mechanical and fire codes of the City of Toledo, and by referenced authority, those of the State of Ohio. Construction must also comply with federal ADA standards.
18. Signs. Any signs on the property, will require a separate plan review and permit(s) in accordance with the City of Toledo's sign codes (Toledo Municipal Code §1377-§1397).

STAFF RECOMMENDATION (cont'd)

Building Inspection (cont'd)

19. Any fence screening will require a Certificate of Zoning Compliance, issued by the Division of Building Inspection.

Plan Commission

20. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping area.
21. Bicycle parking spaces required by TMC Section 1107.0304 shall be provided as calculated.
22. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks. **Depicted dumpster location shall be subject to the approval of the Department of Transportation.**
23. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Frontage greenbelts shall be constructed of grass, trees and shrub plantings. Greenbelt frontage landscaping shall provide a minimum of one tree for every 30 feet of frontage and a solid evergreen hedge along the Hill Avenue frontage. Trees are not required to be evenly spaced and may be clustered.
 - b. Foundation plantings shall be added at the building's entrance.
 - c. Landscaped areas **may not** contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage, **as pertaining to the foundation plantings.**
 - d. Landscape materials shall be installed to satisfy the minimum requirements of TMC§1108.0401.
 - e. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- f. Credit may be given for existing trees and shrubs as outlined in TMC§1108.0407.
 - g. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **compliance to be determined;**
 - h. The location, lighting and size of any signs, all signage is subject to TMC§1387; **compliance to be determined.**
- 24. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
 - 25. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.
 - 26. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.

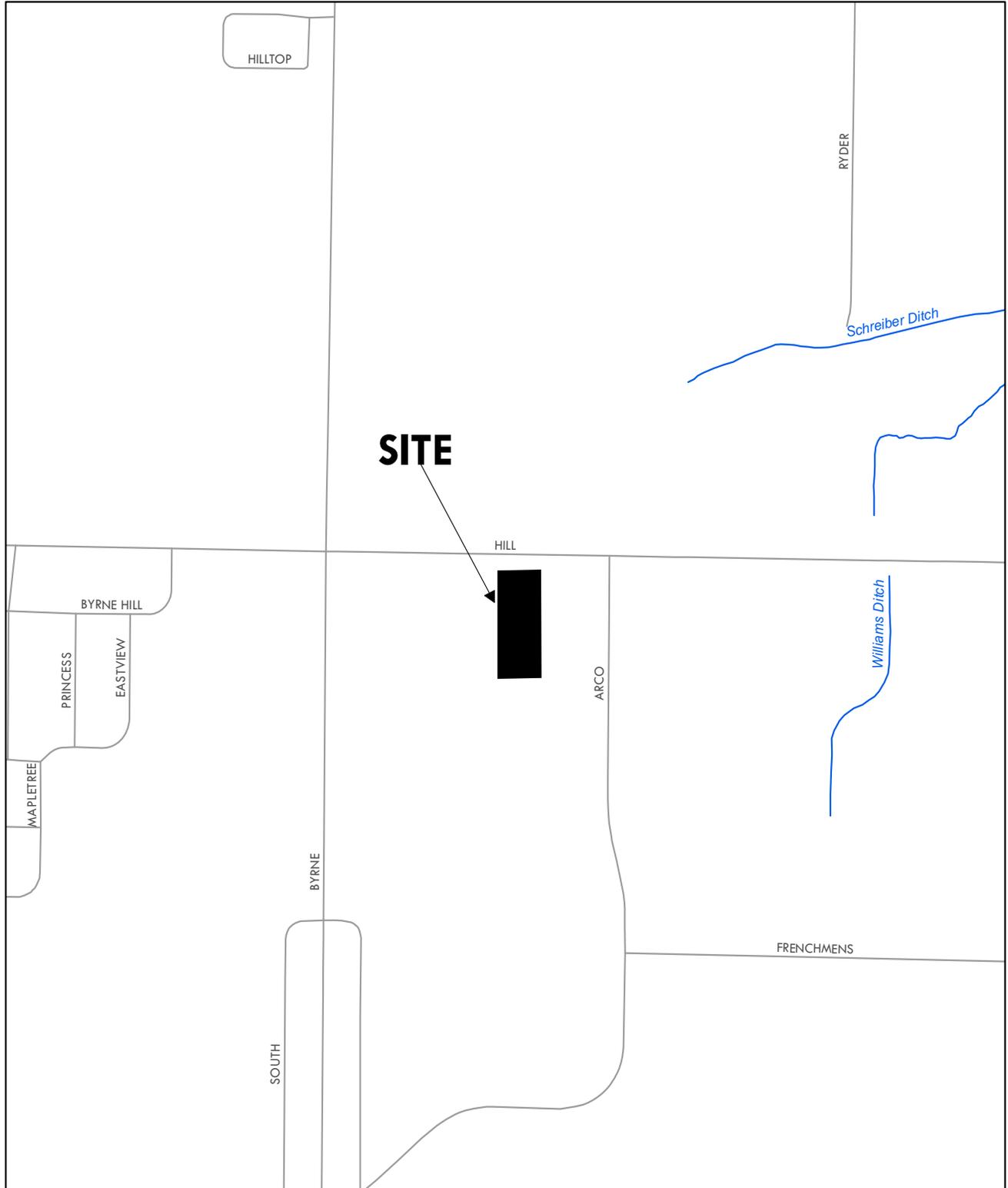
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-7002-14
DATE: August 14, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: September 17, 2014
TIME: 4:00 P.M.

GP/bp
Three (3) sketches follow

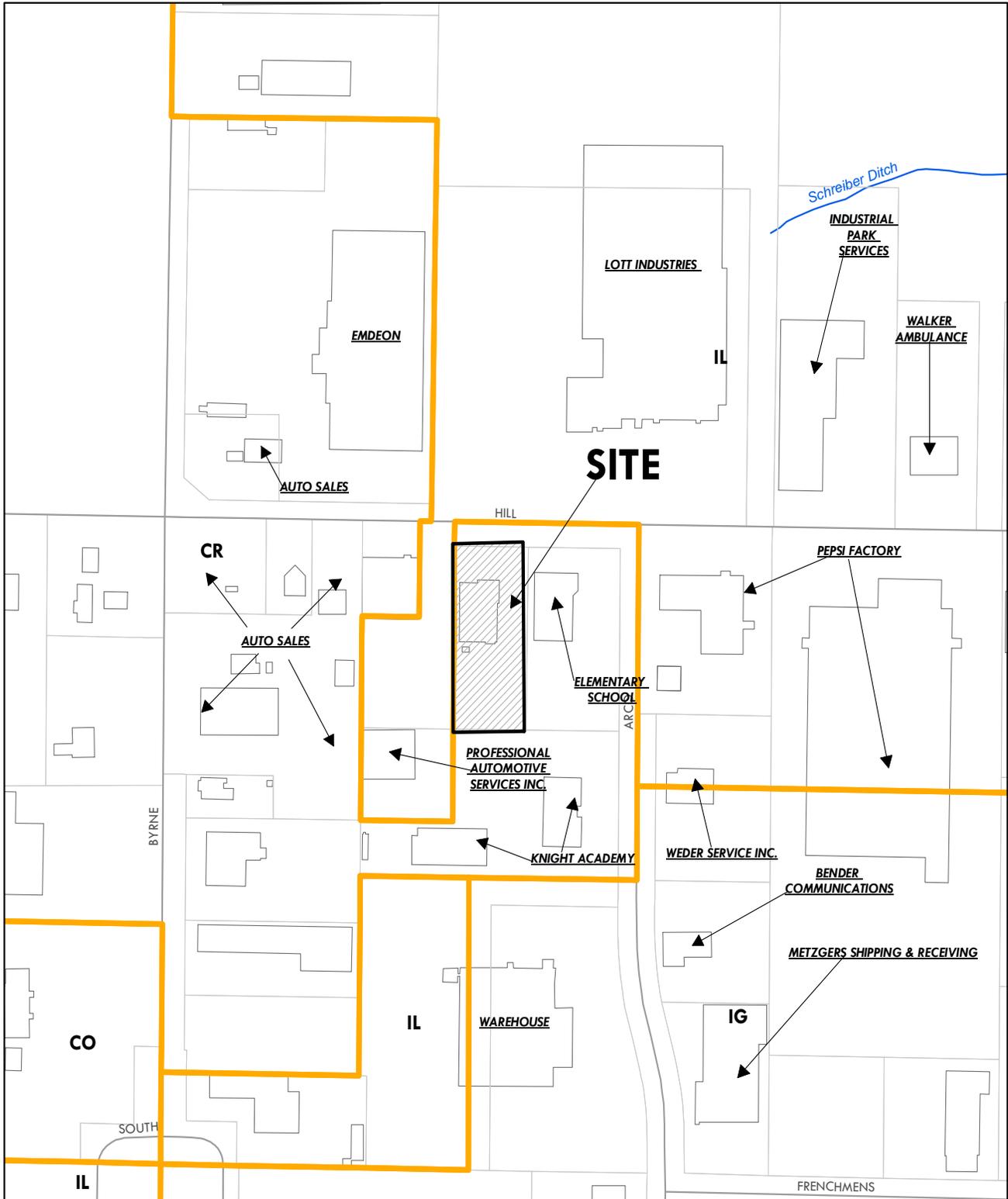
GENERAL LOCATION

SUP-7002-14
ID 53



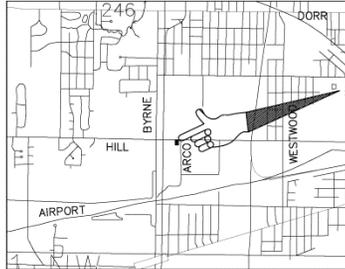
ZONING & LAND USE

SUP-7002-14
ID 53



SITE PLAN

SUP-7002-14
ID 53



LOCATION MAP
SCALE: N.T.S.

LEGAL DESCRIPTION FOR SITE (01-10994)
LOT 12 OF ARGON INDUSTRIAL PARK PLAT 2, IN THE CITY OF TOLEDO, LUCAS COUNTY, OHIO

EXISTING SITE CONDITIONS:

ZONING: CR - COMMERCIAL
AREA: 1.40 AC ±
PROPOSED USE: CHARTER SCHOOL
THE 9,600 SF BUILDING WILL BE USED AS A CHARTER SCHOOL. PREVIOUSLY USED AS A COMMERCIAL USE, FUTRONICS INC. AND HAS BEEN VACANT FOR MANY YEARS.

HOURS OF OPERATION:
M-F 7:30AM TO 5:30PM
UP TO 75 STUDENTS MAXIMUM ANTICIPATED 2015.

5 STAFF MEMBERS AT THIS SITE.
2015 SCHOOL YEAR WILL HAVE GRADES 4TH, 5TH AND 6TH GRADES.

THERE WILL BE NO SITE MODIFICATION FOR THIS SITE. EXISTING SITE FEATURES WILL BE USED, INCLUDING SHARED PARKING LAYOUT. NO NEW UTILITIES WILL BE INSTALLED AT THIS TIME.

BUILDINGS:
EXISTING BUILDING: ONE STORY, 9,600 ± SF

PARKING

REQUIRED ACCESSIBLE PARKING BY ADA (2008) WITH BUILDING ADDITION
TOTAL PARKING: 25 TO 49 ± ACCESSIBLE SPACE (10/207)
MINIMUM 1 IN 6 ACCESSIBLE SPACES MUST BE VAN ACCESSIBLE (10/207)(4208.2.4)
TOTAL = 1 VAN ACCESSIBLE SPACE

TOTAL PROVIDED PARKING
25 STANDARD SPACES + 1 VAN ACCESSIBLE + 1 ACCESSIBLE
27 TOTAL SPACES PROVIDED

LEGEND

- EXISTING ELEVATION
- PROPOSED ELEVATION
- ASSESSABLE PARKING STALL
- FLOOD LIGHT
- TRANSFORMER
- STEEL POST
- SANITARY CLEAN OUT
- SANITARY MANHOLE
- CATCH BASIN ROUND
- CURB INLET
- CATCH BASIN SQUARE
- ELECTRIC OUTLET
- STORM MANHOLE
- FIRE HYDRANT
- WATER MANHOLE
- WATER VALVE
- ELECTRIC MANHOLE
- POWER POLE
- LIGHT POLE
- GUY WIRE
- STONE
- MANHOLE
- GAS TEST
- GAS METER
- GAS VALVE
- PINE
- TREE
- MONITORING WELL
- TRAFFIC MOVEMENT

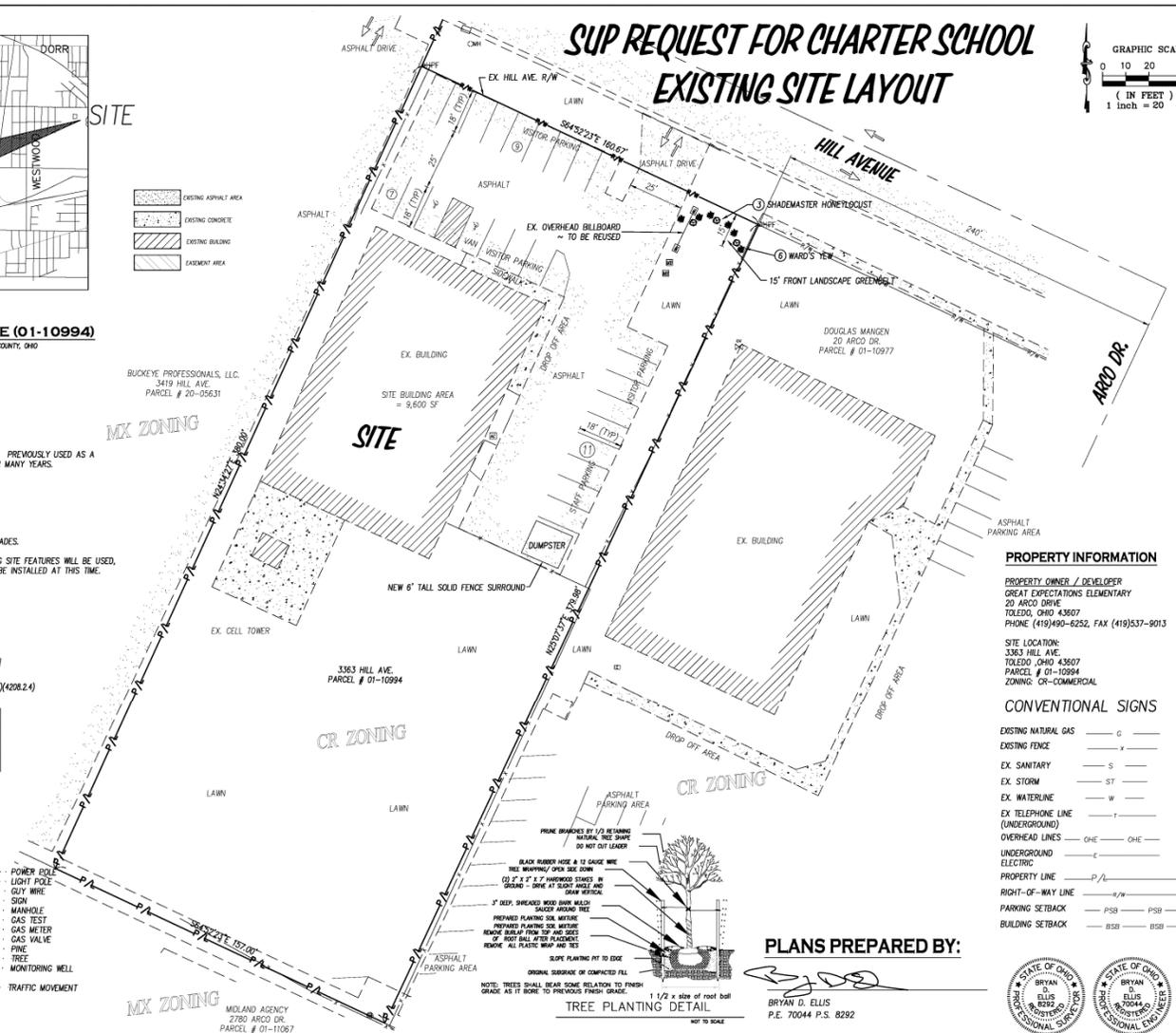
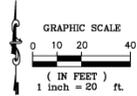
- EXISTING ASPHALT AREA
- EXISTING CONCRETE
- EXISTING BUILDING
- EXEMPT AREA

BUCKEYE PROFESSIONALS, LLC.
3419 HILL AVE.
PARCEL # 20-05631

3363 HILL AVE.
PARCEL # 01-10994

MOLAND AGENCY
2780 ARCO DR.
PARCEL # 01-11067

SUP REQUEST FOR CHARTER SCHOOL EXISTING SITE LAYOUT



PROPERTY INFORMATION

PROPERTY OWNER / DEVELOPER
GREAT EXPECTATIONS ELEMENTARY
20 ARCO DRIVE
TOLEDO, OHIO 43607
PHONE (419)490-6252, FAX (419)537-9013

SITE LOCATION:
3363 HILL AVE.
TOLEDO, OHIO 43607
PARCEL # 01-10994
ZONING: CR-COMMERCIAL

CONVENTIONAL SIGNS

- EXISTING NATURAL GAS _____ G _____
- EXISTING FENCE _____ Y _____
- EX. SANITARY _____ S _____
- EX. STORM _____ ST _____
- EX. WATERLINE _____ W _____
- EX TELEPHONE LINE (UNDERGROUND) _____ T _____
- OVERHEAD LINES _____ OHE _____
- UNDERGROUND ELECTRIC _____ E _____
- PROPERTY LINE _____ P/L _____
- RIGHT-OF-WAY LINE _____ R/W _____
- PARKING SETBACK _____ PSB _____
- BUILDING SETBACK _____ BSB _____

PLANS PREPARED BY:

[Signature]
BRYAN D. ELLIS
P.E. 70044 P.S. 8292



GLASS CITY ENGINEERING & SURVEYING, LLC.
7057 BARENDT RD.
TOLEDO, OHIO 43617
419-283-8382, FAX 419-639-9867
EMAIL: BLACKBIRD_1@MSN.COM

GREAT EXPECTATIONS
CITY OF TOLEDO, LUCAS CO. OH
EXISTING/PROPOSED SITE CONDITIONS

DRAWN BY: BEE
JOB NUMBER: 88-1401
REVISED BY: BEE

SP-1/1

C:\Users\Projects\3\88-1401-Hill Ave\3\88-1401-Hill Ave 7/27/2014 1:18:08 PM EDT

GENERAL INFORMATION

Subject

- Request - An amendment to a Major Site Plan Review, originally approved via SPR-43-13, to facilitate the addition of one multi-family building
- Location - 1500 College Drive, 3315 Valleston Pkwy, 1517 Secor Rd, 1519 Secor Rd & part of 1461 Secor Rd.
- Owner - Sean Barley
Campus Crest
2100 Rexford Road
Charlotte, NC 28211
- Engineer - Gregory Feller
Feller, Finch and Associates, Inc.
1683 Woodlands Drive
Maumee, OH 43537

Site Description

- Zoning - RM24 Multi Dwelling Residential
- Area - ± 19.768 acres
- Frontage - ± 375' on Secor Road
± 550' on Valleston Pkwy.
+ 55' on Dorr Street
- Existing Use - Multi Dwelling Residential
- Proposed use - Multi Dwelling Residential

Area Description

- North - Single Family Residential and Bike Trail / RS6 & CO
- South - Multi Dwelling Residential and Commercial / CR
- East - The University of Toledo & Mixed Residential and Commercial / CR
- West - Undeveloped / RD6 , RS9, RS6

Parcel History

- P-2-65 - Request off-street parking for apartment building in a residential zoning district.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- Z-249-66 - Request for zone change from R-1 Single-family residential to R-4 Multi-dwelling Residential (PC Denied 9/29/66)
- Z-154-87 - Request for zone change from R-1 Single-family Residential, C-2 Restricted Office and C-3 Commercial District to R-3 Two-family Residential (PC approved 9/24/87, Ord. 844-87, 10/13/87)
- S-33-87 - Request for preliminary drawing review for College Station Plat (PC approved 10/22/87)
- CUP-155-87 - Request for community unit plan for apartment complex (PC approved, 9/24/87, Ord. 856-87, 10/20/87)
- CUP-255-88 - Request for amendment to community unit plan originally approved via Ord. 856-87 (PC approved, 1/5/89, Ord. 71-89, 1/24/89)
- CUP-263-89 - Request for amendment to community unit plan originally approved via Ord. 856-87 and amended by Ord. 71-89. (PC approved, 1/4/90, Ord. 132-90, 1/30/90)
- Z-8008-13 - Request for zone change from RD6, RS9, CO & CR to RM24 (PC approved 9/12/13, Ord. 558-13, 11/26/13)
- SPR-43-13 - Request for Major Site Plan Review to facilitate a raze and rebuild of several existing multi-family buildings and a commercial building (PC approved 12/5/13)

Applicable Regulations

Toledo Municipal Code, Part Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan
Dorr Street Vision Plan

STAFF ANALYSIS

The applicant is requesting an amendment to a Major Site Plan Review, originally approved via SPR-43-13, on a site located at 1500 College Drive, 3315 Valleston Pkwy, 1517 Secor Road, 1519 Secor Road & part of 1461 Secor Road. The 19.768-acre site consists of four (4) lots currently occupied by multi dwelling apartment buildings & one (1) commercial building. The Plan Commission approved a site design of nine (9) four-story multi-family buildings and a clubhouse building with eight (8) suite-style units on December 5, 2013. The 2013 project included 373 units and 846 beds. The amendment will facilitate the addition of one (1) building increasing the number of units to 389 and the beds to 894.

The site is located west of the University of Toledo across Secor Road. Surrounding land uses include a mixed residential neighborhood to the north; apartment and commercial uses to the south, a mixed residential/commercial building to the east and an undeveloped area to the west. The plan approved in 2013 indicates that amenities will include a clubhouse, pavilion and outdoor swimming pool. Dumpsters are currently offered throughout the development.

Parking and Circulation

As previously approved, the existing access points from Dorr Street, Secor Road and Valleston Parkway will remain and parking will be distributed throughout the development via internal circulation drives. The drives encircle the perimeter of the site in a manner that provides easy access to parking from each of the buildings. The site plan includes a “roundabout” in the front of the new clubhouse location however the overall parking and circulation design (access points, drive aisles and parking locations) remain relatively unchanged.

TMC§1107.0304 *Off-Street Parking Schedule “A”* requires one and one-half parking spaces per unit plus one parking space per every ten units for visitor parking. The amendment includes a reconfiguration in the parking area layout in the vicinity of the new building. The previous plan had a parking requirement of 616 spaces with 675 being provided. The amendment requires a minimum of 623 spaces be provided. The applicant is proposing 670 spaces a net reduction of five (5) spaces.

Coverage & Building Height

Pursuant to TMC§1106.0302B *Multiple Buildings on a Lot – Intensity and Dimensional Standards*, no more than forty (40) percent of the gross parcel acreage be devoted to coverage by buildings, street pavement, driveway pavement and parking area pavement. The amendment proposes site coverage of fifty (50) percent, ten (10) percent over the maximum allowed. SPR-43-13 was approved with site coverage of 48.8 percent. City Council approved a coverage waiver as part of the Z-8008-13, to allow up to fifty (50) percent coverage.

STAFF ANALYSIS (cont'd)

Coverage & Building Height (cont'd)

The maximum height permitted in the RM24 district is thirty-five (35) feet. The applicant was also granted a height waiver by City Council as part of Z-8008-13, to allow for heights to not exceed fifty-one (51) feet. The applicant has indicated that the four (4)-story building will be the same design as the previously approved buildings and will not exceed fifty-one (51) feet.

Density

The proposed RM24 Multi dwelling Residential zoning district permits twenty (20) units per acre or a maximum of 395 units for the subject property. The applicant is proposing 389 units for a density of 19.68 units per acre. As a result, the proposed density is in compliance with TMC§1106.0101 *Residential Districts – Intensity and Dimensional Standards*.

Landscaping

The site is existing and per TMC§1114.0500 *Nonconforming Developments – Appearance Upgrades*, it is only required to be brought closer into compliance with the 2004 zoning code landscape requirements. The applicant will continue to be required to comply with the landscaping requirements outlined in SPR-43-13. This landscaping referenced in this amendment will be subject to the areas of the new amended development.

In addition, a ten (10) foot landscape buffer with a solid fence was previously approved along the northern property lines where the site abuts the residential neighborhood (for the portion of the site to be redeveloped). Currently, a solid fence exists with to varying widths of manicured grass in both areas. The amended site plan appears to indicate the use of decorative fencing along this property line. Staff is requesting that solid fencing be installed to the north of the new building and detention pond to help screen the development from the single-family neighborhood.

Interior site landscaping for multi-dwelling residential uses of one (1) tree per 500 square feet of building coverage and twenty (20) square feet of interior landscaping per parking space was previously approved. Staff recommends that these requirements be maintained for the amended portion.

Building Design

New multi-dwelling developments are required to comply with two (2) design standards as set forth in TMC§1109.0100 *Multi-Dwellings and Duplexes*. First, the buildings must face either a street or driveway and have a main entrance facing the street or driveway. This front entrance should include certain architectural elements that emphasize the entrance. The renderings included with this amendment meet the requirement for entrance architectural elements.

STAFF ANALYSIS (cont'd)

Building Design (cont'd)

The second design standard requires that connecting walkways be provided for internal pedestrian circulation, connecting the buildings to the parking area and the overall development. The new building has a sidewalk that connects it to a parking area as well as the other building and common areas of the proposed development.

The applicant has submitted color renderings that indicate the use of materials including brick, cultured stone veneer and other materials yet to be determined. Staff has requested that applicant submit a revised elevation clarifying all type of materials to be used and percentages of each material. The new building will be of the same design as the buildings approved as part of SPR-43-13.

Recommendation

Staff recommends approval of the site plan review for two (2) reasons. First, the Toledo 20/20 Comprehensive Plan and the Dorr Street Vision Plan target this site for neighborhood commercial and multi family residential uses. Second, RM24 zoning is consistent with the zoning to the south & east of the site.

Neighborhood meetings were held on October 3, 2013 and October 30, 2013 to discuss the project and address community questions and concerns. Staff has requested an additional neighborhood meeting be held prior to the August 14, 2014 Plan Commission hearing to discuss the amended site plan.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve SPR-29-14, an amendment to a Major Site Plan Review, originally approved via SPR-43-13, to facilitate the addition of one multi-family building for a site located at 1500 College Dr., 3315 Valleston Pkwy, 1517 Secor Rd, 1519 Secor Rd & part of 1461 Secor Rd. for the following two (2) reasons:

1. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC 1111.0706.C Review & Decision-Making Criteria);
2. The proposed use complies with all applicable provisions of this Zoning Code (TMC 1111.0706.B Review & Decision-Making Criteria); and

STAFF RECOMMENDATION (cont'd)

The staff recommends that the Toledo City Plan Commission approve SPR-29-14, an amendment to a Major Site Plan Review, originally approved via SPR-43-13, to facilitate the addition of one multi-family building for a site located at 1500 College Dr., 3315 Valleston Pkwy, 1517 Secor Rd, 1519 Secor Rd & part of 1461 Secor Rd., subject to the following forty-one (41) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines. The pedestrian ramps at the intersection of College Dr. and Secor Rd. shall be removed and replaced in order to conform to the standards listed above.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch thick concrete per City of Toledo Construction Standards and Specifications. Existing drives along Secor Road that will not be reused shall be removed and the area restored to match the adjacent landscape. Curb drops through unused drives shall be removed and replaced with full height curb to match the adjacent curb. **No curb shall be permitted in the right-of-way along either side of a drive approach. No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Scott Bishop at (419) 936-2756 for inspection of above-mentioned items.

5. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
6. Plans shall be submitted to the Division of Engineering Services for review and approval.
7. Plans for the water service shall be submitted to and approved by the Ohio EPA prior to starting construction of the water service.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

8. If existing public water facilities are in conflict and must be relocated, they will be relocated by the City of Toledo at the owner's cost.
9. Storm drainage service for this site is available subject to: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan."
10. A detailed site-grading plan for this project shall be submitted for approval. The plan shall show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries if requested.
11. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/> It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo requirements for the sanitary, storm, water and roadway utilities. This understanding will in turn help to eliminate costly design time, revisions to drawings, delays in plan reviews and speed-up the plan approval process.

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Sanitary Sewers: Mike Elling, ph. 419-936-2276

Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221

Water: Andrea Kroma, ph. 419-936-2163

Roadway: Tim Grosjean, ph. 419-245-1344

12. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

13. Any earth-disturbing activity that will require the disturbance of 2,500 or more square feet shall employ stormwater detention and post-construction stormwater BMPs as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers and underground detention, are encouraged. Designs incorporating green infrastructure, such as wet ponds, extended detention, bio-retention, or grassy swales, etc., may be eligible for a percent reduction in the property's stormwater utility fee through the Stormwater Credit Program.
14. A site specific Stormwater Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Stormwater NPDES permit.
15. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
16. No construction work, including grading will be permitted without approved plans and inspection.
17. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
18. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
19. If there are any existing structures to be demolished at the site, the sanitary services to such structures will be killed by the City of Toledo at the developer's cost.
20. Any existing sewers under proposed buildings shall be relocated or abandoned. Developer shall verify any sewers to be abandoned are no longer in service.
21. Developer shall be responsible for meeting the requirements of the Ohio EPA anti-degradation policy. Requirements shall be met before any taps are made into the sanitary sewer system.
22. Any sanitary sewer manholes in or near pavement shall have solid lids installed on them.

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services

23. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
24. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Fire Prevention

25. Hydrants are required within 350' of all portions of a building or structure. If existing private hydrants are to remain, they must be serviced and maintained as required by the Ohio Fire Code and referenced standards.
26. Building identification is required on all new/existing buildings.

Building Inspection

27. Demolition of the existing building will require a demolition permit issued from the City of Toledo through its Division of Building Inspection requiring termination of all utilities. Documentation from Columbia Gas and Toledo Edison/Energy One must be provided to Building Inspection that this has occurred. If the existing water and sewer taps are to be re-used, the applicant/contractor must identify this to the Department of Public Utilities and secure their release for the demolition permit to be processed and issued.
28. Construction of any new building, or building additions to existing structures, will require construction documents stamped by a licensed design professional to be submitted to the Division of Building Inspection for plan review and approval showing the construction to be in compliance with the City of Toledo's building, mechanical and fire codes, by referenced standards, those of the State of Ohio. Plans must identify the correct building type, use group, occupancy load, plumbing fixture count, egress and emergency egress locations, emergency evacuation routes and other life-safety and ADA compliancy facilities, in accordance with the Administrative Code of the Ohio Building Code Chapter 106.
29. Any new fence and new signs will require separate plan reviews and permits.

STAFF RECOMMENDATION (cont'd)

Division of Transportation

No concerns or objections.

Plan Commission

30. All conditions outlined in SUP-43-13 and Ordinance 558-13 still apply.
31. Maximum building height is not permitted to exceed fifty-one (51) feet.
32. Gross parcel acreage coverage shall not exceed fifty (50) % by buildings, street pavement, driveway pavement and parking area pavement.
33. The applicant shall submit a revised elevation for the new building that identifies all exterior materials to be used and the percentage of materials per façade. All building facades visible from any right-of-way shall consist of a minimum seventy-five (75) percent high quality material. Elevations submitted as part of SPR-43-13 still apply.
34. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping area.
35. Dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks, **shall be noted on revised site plan.**
36. A minimum of 623 parking spaces shall be provided per Toledo Municipal Code Section 1107.0500.
37. A minimum of fifty (50) bicycle spaces shall be provided per Toledo Municipal Code Section 1107.0900.
38. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval (landscaping conditions only apply to the portion of the site subject to this amendment). Such plan shall include:
 - a. In addition to the other landscape requirements for buffer areas, frontage greenbelts, and landscaping for parking lot areas, the following shall be provided: one 2-inch caliper tree for every 500 square feet of building coverage (footprint); foundation plantings along all portions of the building that are visible from the public rights-of-way; and landscaping at all major building entrances; **shall be noted on revised landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- b. Total interior landscaping shall be twenty (20) square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with six (6) inch by eighteen (18) inch concrete curbing; **shall be noted on revised landscape plan.**
- c. All parking spaces must be within 100 linear feet of a landscaped area; **shall be noted on revised landscape plan.**
- d. All landscaped areas must have a minimum dimension of at least nine (9) feet and be at least 160 square feet in area; **shall be noted on revised landscape plan.**
- e. Topsoil must be back filled to provide positive drainage of the landscape area; **shall be noted on revised landscape plan.**
- f. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **shall be noted on revised landscape plan.**
- g. Landscape terminal islands must be provided at the end of each parking row; **shall be noted on revised landscape plan.**
- h. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each ten (10) parking spaces within the parking lot; **shall be noted on revised landscape plan.**
- i. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten (10) feet in width; **shall be noted on revised landscape plan.**
- j. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards; **shall be noted on revised landscape plan.**
- k. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details; **shall be noted on revised landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

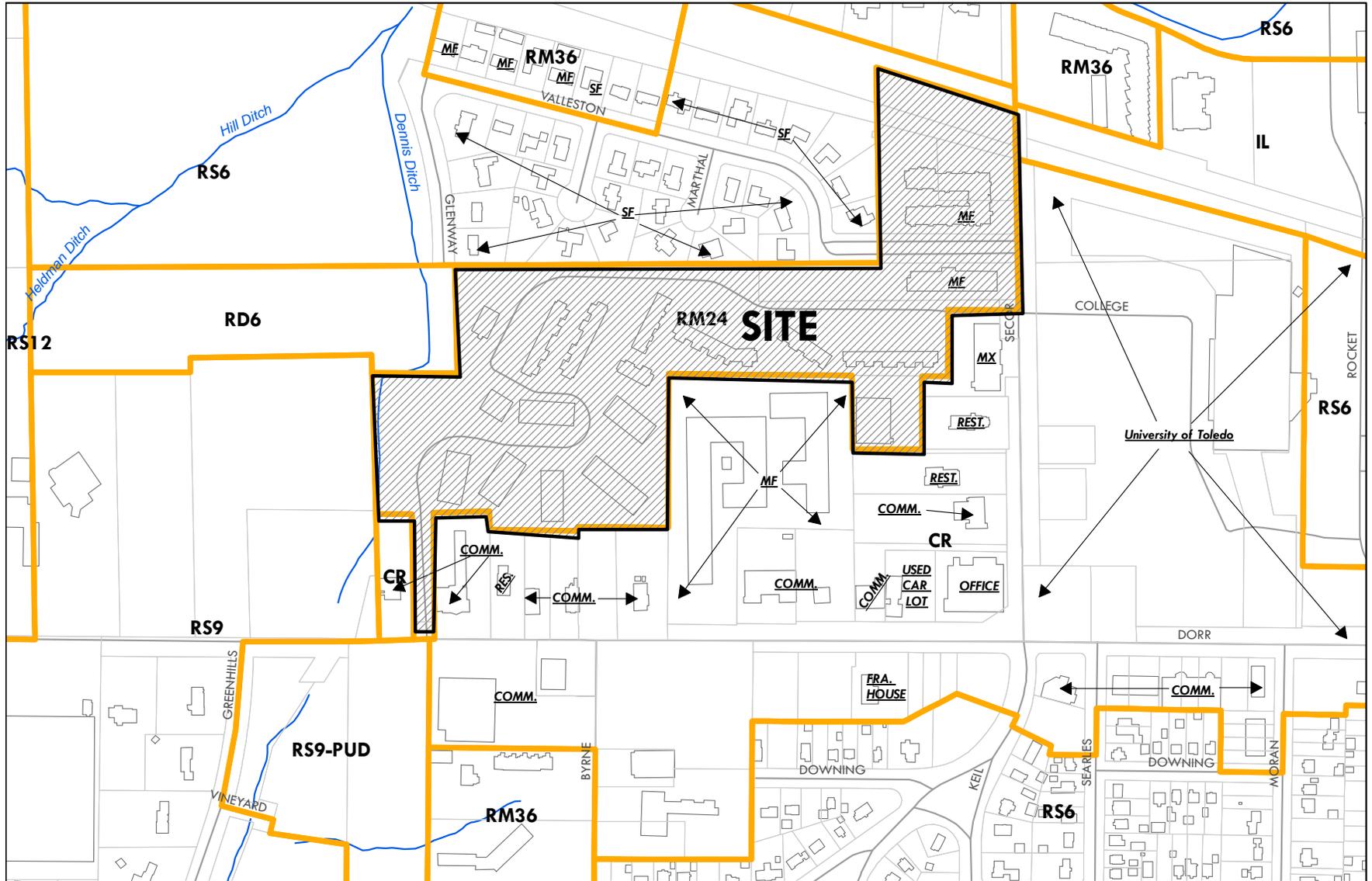
- l. Type A Landscape buffers are required along the northern property line where abutting the single family neighborhood and shall be ten (10) feet wide with a solid fence; **shall be noted on revised landscape plan.**
 - m. The location, height and materials of any fencing to be installed and maintained; **shall be noted on revised landscape plan.**
 - n. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **acceptable as depicted on site plan.**
 - o. The location, lighting and size of any signs, all signage is subject to TMC§1387.
39. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.
40. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
41. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-29-14
DATE: August 14, 2014
TIME: 2:00 P.M.

BH/bp
Four (4) sketches follow

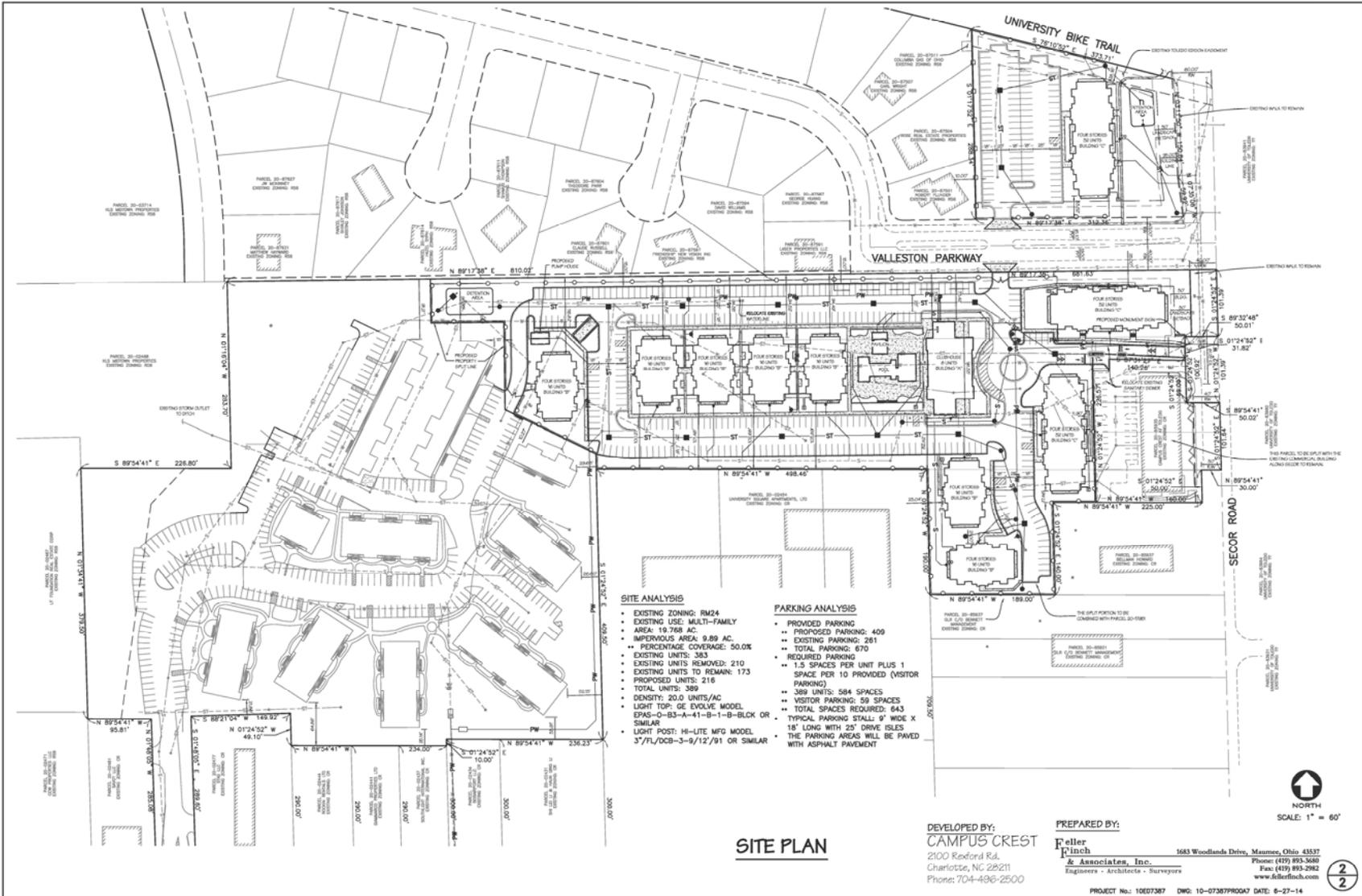
ZONING & LAND USE

SPR-29-14
ID 81



SITE PLAN

SPR-29-14
ID 81



SITE ANALYSIS

- EXISTING ZONING: RM24
- EXISTING USE: MULTI-FAMILY
- AREA: 19,768 AC.
- IMPERVIOUS AREA: 9.89 AC.
- PERCENTAGE COVERAGE: 50.0%
- EXISTING UNITS: 383
- EXISTING UNITS REMOVED: 210
- EXISTING UNITS TO REMAIN: 173
- PROPOSED UNITS: 216
- TOTAL UNITS: 389
- DENSITY: 20.0 UNITS/AC
- LIGHT TOP: GE EVOLVE MODEL
- EPAS-D-83-A-41-B-1-B-BLCK OR SIMILAR
- LIGHT POST: HI-LITE MFG MODEL 37/FL/DCB-3-9/12/91 OR SIMILAR

PARKING ANALYSIS

- PROVIDED PARKING:
 - PROPOSED PARKING: 409
 - EXISTING PARKING: 261
 - TOTAL PARKING: 670
- REQUIRED PARKING:
 - 1.5 SPACES PER UNIT PLUS 1 SPACE PER 10 PROVIDED (VISITOR PARKING)
 - 389 UNITS: 584 SPACES
 - VISITOR PARKING: 59 SPACES
 - TOTAL SPACES REQUIRED: 643
- TYPICAL PARKING STALL: 9' WIDE X 18' LONG WITH 25' DRIVE ISLES
- THE PARKING AREAS WILL BE PAVED WITH ASPHALT PAVEMENT

SITE PLAN

DEVELOPED BY:
CAMPUS CREST
2100 Redford Rd.
Charlotte, NC 28211
Phone: 704-496-2500

PREPARED BY:

**Feller
Inch
& Associates, Inc.**
Engineers • Architects • Surveyors

1683 Woodlands Drive, Maumee, Ohio 43537
Phone: (419) 893-3680
Fax: (419) 893-2962
www.fellerinch.com

PROJECT No.: 10E27387 DWG: 10-07387PROG07 DATE: 8-27-14



2
2

ELEVATION #1

SPR-29-14
ID 81



Front/Rear Elevation



Side Elevation

Color Legend:



Windows, doors and Gutters
"White" per manufacturer



Trim Color
"Almond" or similar



SW 6279 "Black Swan"
or similar



Queen Sz. Brick - Color
"Mt Vernon Red" or similar



Cultured Stone Veneer
Nichols or approved equals



Roof Shingles "Charcoal" or
Similar

Design Visualization
Version 10-17-13

Stantec



Campus Crest
The Grove - Building 'B'
Toledo, OH.

GENERAL INFORMATION

Subject

- Request - Appeal of a Certificate of Appropriateness (COA) to replace existing carriage garage doors with steel overhead doors.
- Location - 2721 Robinwood Avenue
- Owner & Appellant - David & Judith Winder
2721 Robinwood Avenue
Toledo, OH 43610

Site Description

- Zoning - RD6/Duplex Residence
- Frontage - 43'
- Parcel Depth - 166'
- Use - Single-family residence
- Year Built - 1922

Parcel History

- OWE-93-88 - Insulation (Admin approved 10/21/88)
- OWE-54-91 - Wood deck (Admin approved 7/24/91)
- OWE-64-02 - Re-roof/reinstall internal gutters (Admin approved 8/15/02)
- OWE-75-03 - Replace storm windows (Admin approved 9/19/03)
- OWE-37-04 - Expand front porch (OWEHDC approved 8/9/04)
- OWE-27-08 - Replace existing driveway (Admin approved 8/21/08)

Applicable Plans, Regulations

- Toledo Municipal Code (T.M.C.), Part 11, Planning and Zoning Code, Chapter 1103.0300 - Historic Overlay Districts, Chapter 1111.1000 Historic Districts and Landmarks
- U.S. Secretary of Interior's Standards and Guidelines for Rehabilitating Historic Buildings

STAFF ANALYSIS

This request is an appeal of the Certificate of Appropriateness (COA) that was disapproved by the Old West End Historic District Commission (OWEHDC) at their monthly meeting held on July 14, 2014. The site is located at 2721 Robinwood Avenue and is occupied by a single-family home built in 1922.

The COA that was disapproved for this request was to replace the existing carriage garage doors. The discussion during the public hearing was that a commission member wanted to see the original doors repaired instead of installing new doors or if the doors were replaced would the applicants be willing to keep the old doors with the property. The applicants explained the doors were extremely heavy and would prefer not to keep them.

The original carriage garage doors have deteriorated to where they do not close anymore. The applicant has provided photos of the deterioration and a copy of the manufacture's brochure for the new garage doors that includes a rendering showing what the new doors would look like once they are installed.

The new garage doors would have ten windows so the major change would be the increase of four windows per door. The material for the new doors is steel and would look like walnut wood doors. The metal doors are insulated where the new doors will be installed as an automatic overhead door. The size of the doors is 8' x 8' where the new doors will be the same size with traditional handles and strap hinges.

The U.S. Secretary of Interior's Standards and Guidelines for Rehabilitating Historic Buildings recommends replacing in kind an entire wood feature that is too deteriorated to repair using the physical evidence as a model to reproduce the feature. Also, it recommends if using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

The staff's recommendation to the OWEHDC was in support of the application based on deterioration of the existing carriage doors and that a similar case had been approved by the OWEHDC in the last two years. The previous case was OWE-33-12 for 2215 Scottwood where the existing carriage doors were replaced with steel overhead doors that looked like wood where the OWEHDC approved the application on August 13, 2012.

The appeal that was received at the Plan Commissions office on July 15th, 2014 was for the COA application and stated several reasons for requesting the Toledo City Plan Commission to reconsider the request. A summary of the reasons are listed below:

STAFF ANALYSIS (cont'd)

- The homeowner's financial income and replacing the doors with custom-made wood doors would be cost prohibitive.
- Safety concerns for the homeowner's vehicles since the current state of the garage does not allow vehicles to be parked inside so they could be targeted for theft and a safety concern for not being able to park the vehicles inside during the winter months.
- The homeowner's have physical difficulty based on age and health conditions in lifting the doors in order to retrieve the lawn mower renders the garage an unusable space at this time.
- The view from the street would not be altered and the top row of garage windows would still be viewable over the top of the 6-foot fence that currently exists.

The appeal that was received from the property owners of 2721 Robinwood Avenue is shown as submitted in "Exhibit A."

STAFF RECOMMENDATION

The staff recommendation to the Old West End Historic District Commission was in support of the application based on deterioration of the existing carriage doors and that a similar case had been approved by the OWEHDC in the last two years.

The Old West End Historic District Commission decision was disapproval when a motion made and voted on to accept the application as submitted, the motion failed when 3 opposed and only 1 voted for the request, the chairman did not vote on this case.

The staff recommendation to the Toledo City Plan Commission for OWE-34-14, a request to replace existing carriage garage doors at 2721 Robinwood, since the staff recommendation to the OWEHDC differed from the decision of the OWEHDC, no further staff recommendation is made based upon the guidance from the City of Toledo Law Department.

APPEAL OF OWEHDC DECISION
TOLEDO CITY PLAN COMMISSION
REF: OWE-34-14
DATE: AUGUST 14, 2014
TIME: 2:00 P.M.

MLM/bp
Attachments Follow



CITY OF TOLEDO HISTORIC DISTRICT COMMISSIONS
APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

One Government Center, Suite 1620, Toledo, OH 43604
Phone: 419-245-1200 • Fax: 419-936-3730

Answer all the questions on this form and submit all required attachments. Incomplete applications will not be reviewed. If you have questions about application requirements contact the Toledo-Lucas County Plan Commissions at 419-245-1200 to ensure your application is complete.

1. GENERAL INFORMATION
[] Old West End [] Westmoreland [] Vistula
Property Address: 2721 ROBINWOOD AVE, TOLEDO, OH 43610
Property Owner:
Print Name: DAVID + JUDITH WINDER
Mailing Address: 2721 ROBINWOOD AVE, TOLEDO, OH 43610
Phone: 419-246-9333 Fax: - Email: bexnum-oh@yahoo.com
Signature: Judith Winder David Winder
Contractor or Agent:
Print Name: DAVID + JUDY WINDER
Mailing Address: 2721 ROBINWOOD AVE, TOLEDO, OH 43610
Phone: 419-246-9333 Fax: - Email: bexnum-oh@yahoo.com
Signature: Judith Winder
I certify that all information contained in this application is true and accurate to the best of my knowledge.
Applicant/Owner Signature: Judith Winder

2. APPLICATION CATEGORY (Check all that apply)
Proposed improvements will affect the following elevations:
[] Site Improvement/Driveway/Walkway [X] Storage Shed/Garage [] Siding/Floor/Porch
[] Replacement Windows/Doors [] Demolition [] Signs/Awnings
[] New Construction/Additions [] Lighting [] Fences/Gates/Pergolas/Tuck pointing
[] Roofs/Gutters/Downspouts/Deck/Balcony [] AC/Mechanical [] Excavation
[] Other: _____

A Certificate of Appropriateness (COA) is a permit issued to allow for an exterior alteration or environmental change in the Historic Districts. An environmental change means any exterior alteration, demolition, removal or new construction.

For Office Use Only
Date Received: 6/18/19 Application No. OWE-34-19
Historic District: [] Vistula [X] Old West End [] City
Administrative Approval: [] Yes [X] No Signed: [Signature]
Historic Commission Review Date: 7/12/19 Decision Date:
Certificate of Appropriateness Expires One Year from Date of Approval on
[] Approved [] Denied [] Deferred Details:
Appealed: [] Yes \$25 [] No If Yes, Date of Submission:
Hearing Date: Appeal Decision: [] Affirmed [] Overturned
Decision Date: Details:
Certificate Issued on: Signed:

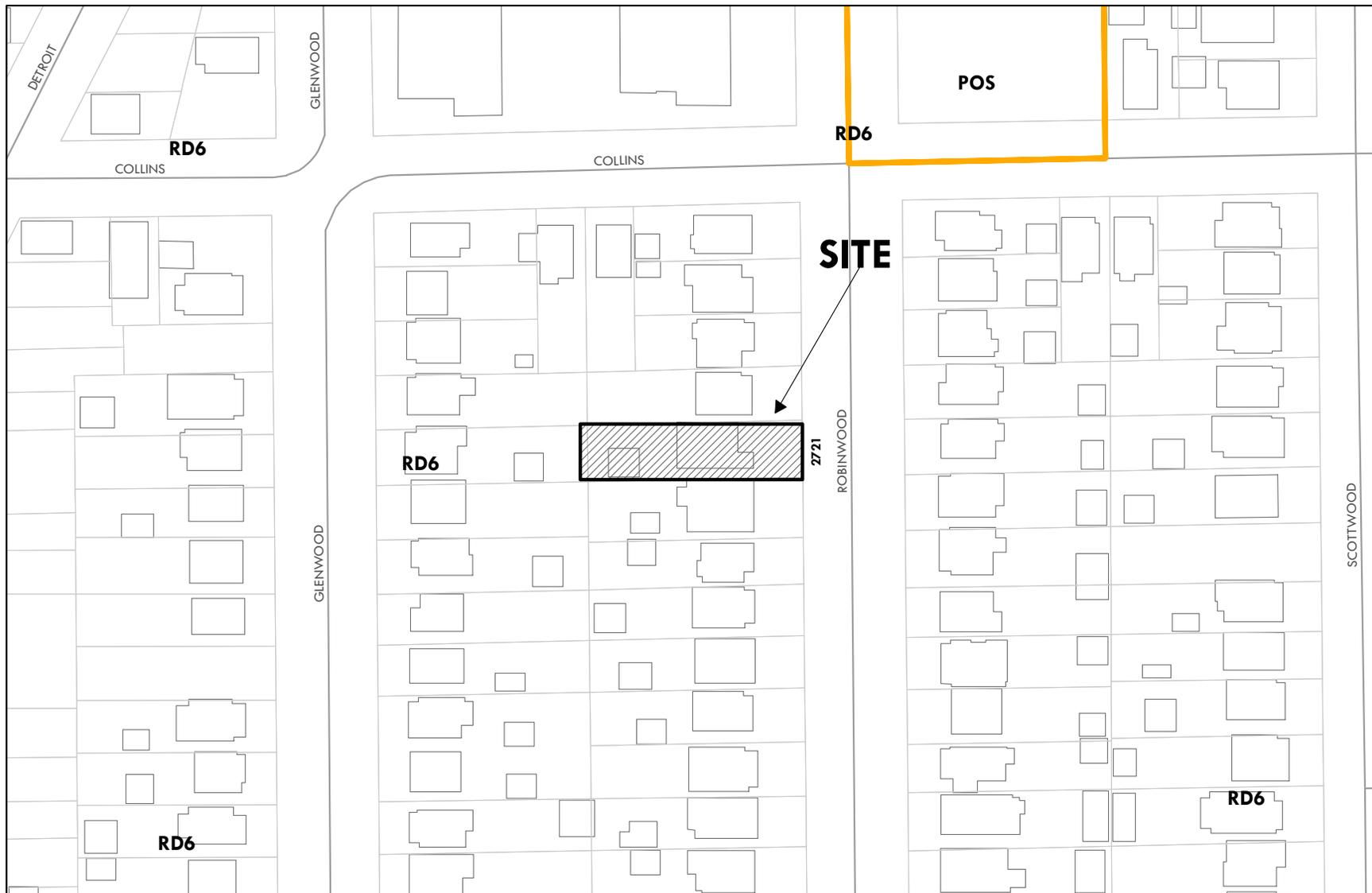
ZONING & LAND USE

2721 ROBINWOOD AVE.

OWE-34-14
ID 15



7 - 6



CURRENT GARAGE DOOR PHOTO
2721 ROBINWOOD AVE.

OWE-34-14
ID 15

CURRENT DOORS.



EACH DOOR IS 8' X 8'
DOORS ARE WOOD

CURRENT GARAGE DOORS - EXTERIOR
2721 ROBINWOOD AVE.

OWE-34-14
ID 15



CURRENT GARAGE DOORS - EXTERIOR
2721 ROBINWOOD AVE.

OWE-34-14
ID 15



CURRENT GARAGE DOORS - INTERIOR
2721 ROBINWOOD AVE.

OWE-34-14
ID 15



CURRENT GARAGE DOORS - INTERIOR
2721 ROBINWOOD AVE.

OWE-34-14
ID 15



CURRENT GARAGE DOORS - INTERIOR
2721 ROBINWOOD AVE.

OWE-34-14
ID 15



**PROPOSED REPLACEMENT
GARAGE DOOR
2721 ROBINWOOD AVE.**

**OWE-34-14
ID 15**

PROPOSED DOORS.



EACH DOOR WILL BE 8' x 8'

DOORS WILL BE STEEL



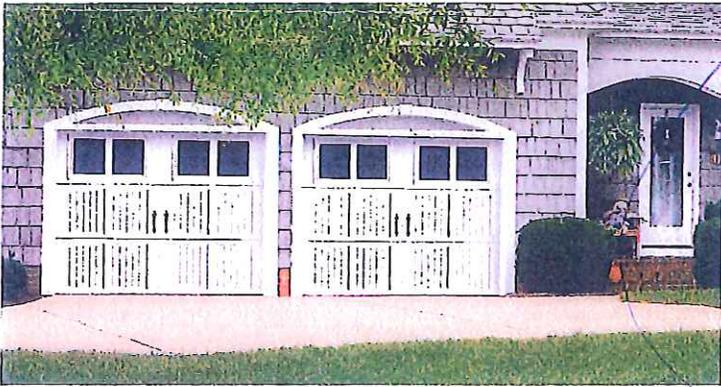
Home Services

Searsgaragedoors.com

PREMIER CARRIAGE HOUSE



Base A Design with Ten Lite Square Top Section



Base D Design with Plain Top Section



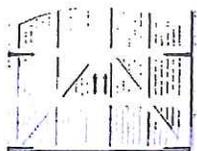
Base E Design with Ten Lite Square Top Section

Beautiful design. From a distance it looks like wood. Up close it's durable heavy steel. These durable, low-maintenance steel doors come in a variety of door designs and window options. The dramatic three-section-tall design provides authentic carriage house styling that really adds a "wow factor" to your home's appearance.

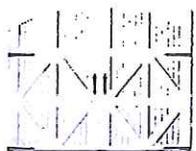
DESIGNS



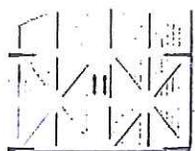
Premier Carriage House section interfaces are designed to reduce the risk of serious finger and hand injuries.



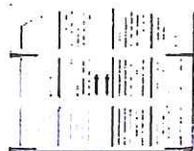
BASE A with CLOSED ARCH



BASE B with CLOSED ARCH



BASE C with CLOSED ARCH



BASE D with CLOSED ARCH



BASE E with CLOSED ARCH



BASE F with CLOSED ARCH



BASE I with CLOSED SQUARE

OPTIONS

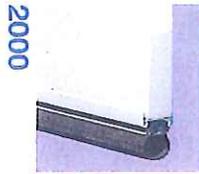
CONSTRUCTION



- Single-layer: Steel

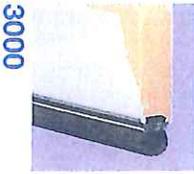
2-8'x8'
#2,590.00

*Space Door Opener
New 12/2005
4 hp Remco Choice Drive
No. B 222.00 installed*



- Double-layer: Steel + Insulation
- Environmentally Safe Polystyrene Thermal Insulation with Vinyl Backing
- Energy Efficient
- Quiet Operation

MODEL 2000
2" INSULATION
R-VALUE
6.64



- Triple-layer: Steel + Insulation + Steel
- Environmentally Safe Polyurethane Thermal Insulation
- Energy Efficient
- Extra Quiet Operation

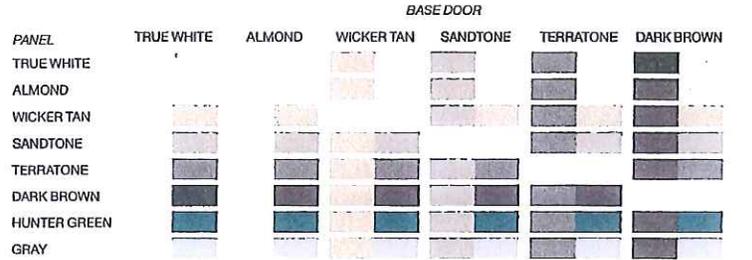
MODEL 3000
2" INSULATION
R-VALUE
13.35

DOOR COLORS Actual paint colors may vary from samples shown.



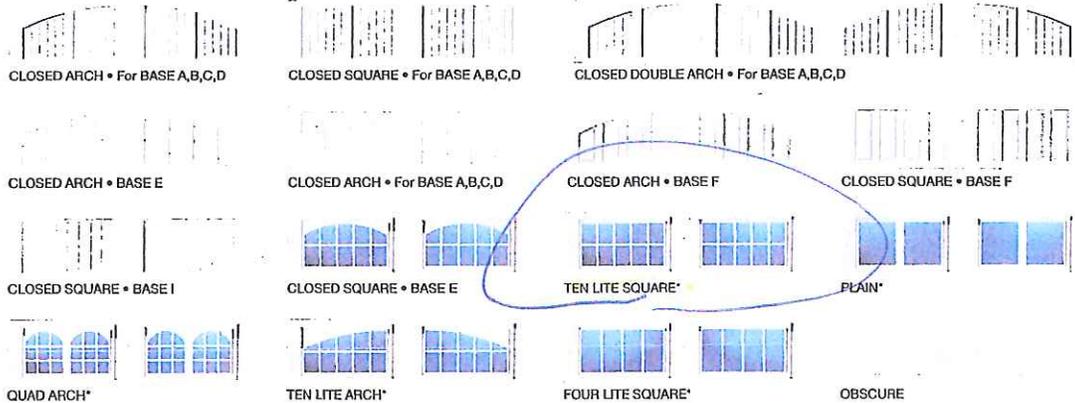
*Price upcharge applies. Odd heights not available.

TWO-TONE PAINT OPTIONS*



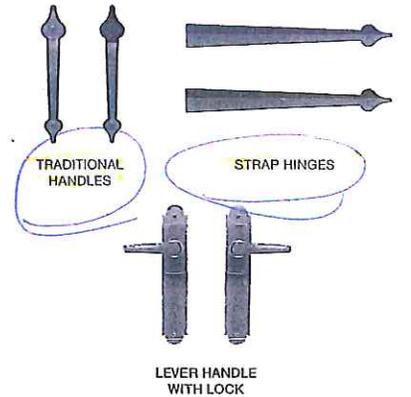
** Price upcharge applies.

PREMIER STEEL CARRIAGE HOUSE TOP SECTIONS



*Designs available with obscure glass.

DECORATIVE HARDWARE & LOCK



PRODUCT COMPARISON

MODEL	1000	2000	3000
CONSTRUCTION	Single-Layer	Double-Layer	Triple-Layer
Exterior Steel Gauge	24 Gauge	24 Gauge	25 Gauge
Insulated	No	Yes	Yes
Interior Steel Gauge	-	-	27 Gauge
Door Thickness	2"	2"	2"
COLORS			
White	•	•	•
Almond	•	•	•
Wicker Tan	•	•	•
Sandtone	•	•	•
Terratone	•	•	•
Dark Brown	•	•	•
Golden Oak	•	•	•
Walnut	•	•	•
Mahogany	•	•	•
PANEL DESIGNS	7 Designs	7 Designs	7 Designs
R-VALUE*	-	6.64	13.35
OPTIONS			
Windows	•	•	•
Decorative Hardware	•	•	•
WARRANTY**			
Paint Finish (Single Family)	Lifetime	Lifetime	Lifetime
Paint Finish (Multi-Family)	10 Years	10 Years	10 Years
Hardware/Workmanship	4 Years	6 Years	Lifetime
Labor	1 Year	2 Years	3 Years



Call us toll free at
888.486.DOOR (3667)

Or visit us online at
Searsgaragedoors.com

The choice is yours!

We accept the following credit cards:



*Calculated door section R-value is in accordance with DASMA TDS-163.

APPENDIX "A"

Ms. Molly Macguire, Principal Planner
Toledo-Lucas County Plan Commissions
1 Government Center, Suite 1620
Toledo, OH 43604

July 15, 2014

Re: New Application – OWE 34-14
2721 Robinwood Ave.
Replace garage doors

Dear Ms. McGuire,

We are writing to appeal the decision made last night by The Old West End Historic Plan Commission regarding our application for replacement garage doors. .

Apart from the information we have already submitted, we would like to add several other reasons for replacement with steel, as opposed to repair or reconstruction using wood. We also understand there was a question of replacing carriage doors as such.

Both my husband and I are retired and on fixed incomes. To try to have the doors replaced with custom-made wood that replicates the current ones would be prohibitive compared to the cost of those made of steel. One of the doors has split and is pulling away from the hinges, two panels are rotten on the bottom of another and none of them fit the openings any more. Therefore, simply making repairs is not feasible. Custom-made replacements would be required and that cost would be beyond what we can reasonably afford. Steel doors should be able to perform as well as or better than wood over time, which was a large consideration, and are more within our current budget.

Our real concern is safety and protection of the whole garage and our property. At the moment, we cannot use the garage due to the state of the doors. A house behind us on Glenwood has been torn down, leaving us exposed to Detroit Ave. Because we currently have to leave the cars in front of the house, they are sitting ducks for break-ins and we have had several incidences of kids jumping the fence at the back to cut through the property. Being able to lock the cars up in the garage would make us feel much more secure and would protect the property as a whole.

There is also the difficulty of having to tug, pull and physically lift one of the doors even to get the lawn mower out. Both my husband and I have heart conditions and my husband has diabetes. Being able to simply push a button to open the garage doors would be a huge improvement. Not having to brush snow off roofs or risking the chance of falling would be eliminated as well.

The District Commission panel objected to changing out four carriage doors for two. However, if you look at the photo of the replacement doors, although each is one piece, the overall look is of four separate doors, all with raised wood panels like the originals.

APPENDIX "A" (cont'd)

Furthermore, we purposely consulted three different companies in order to be able to find a style that was the closest to our current one and which was the most historically correct for our Arts and Crafts neighborhood. In fact, the proposed doors are scaled to a better proportion and are more aesthetically pleasing than the current ones, due to the division of the paneled areas into three equal pieces. You will also see that what we have chosen is similar in look to the original wood. The color will imitate walnut wood grain.

The company we have chosen has been in the business of building garages for over 100 years, so we are confident the installation of the doors will be completed in a way that takes into consideration any difference in construction from what would have been done in the 1920's.

Finally, there was a comment from the panel that the garage could be seen from the street. The garage is 153 feet from it and detached from the house. What you see is mostly blocked by a 6-foot fence. The last foot is made of latticing, through which you can discern about 1/3 of the front of the garage and one bank of windows. With the new doors you would see exactly the same thing: the front and the first bank of windows. Therefore, the view would not be overly altered and the historic look of the place would remain the same.

We sincerely hope you will take the above into consideration at your next meeting and conclude that our application be accepted.

Thank you.


David F. Winder


Judith B. Winder

2721 Robinwood Ave



Close up view from
sidewalk.

GENERAL INFORMATION

Subject

- | | | |
|-----------|---|--|
| Request | - | Zone change from CO Office Commercial to CR Regional Commercial |
| Location | - | 659 E Broadway Street |
| Applicant | - | Wael Maaya
Willy Apt LLC
3926 Timber Creek
Lambertville, MI 48144 |
| Architect | - | William R Steele
2529 Talmadge Road
Toledo, OH 43606 |

Site Description

- | | | |
|--------------|---|---|
| Zoning | - | CO Office Commercial |
| Area | - | ± 0.125 Acres |
| Frontage | - | ± 60' along E Broadway Street
± 89' along Idaho Street |
| Existing Use | - | Office |
| Proposed use | - | Light Equipment Repairs |

Area Description

- | | | |
|-------|---|---|
| North | - | Single-dwelling and Duplex Residential / CO |
| South | - | Single-dwelling and Duplex Residential / CO |
| East | - | Single-dwelling and Duplex Residential / RD6 |
| West | - | Single-dwelling Residential, Duplex Residential and Tavern / CO & RD6 |

Parcel History

No case history on file.

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a zone change from CO Office Commercial to CR Regional Commercial for a site located at 659 E. Broadway Street. The .125-acre site is located at the northeast corner of E. Broadway and Idaho Streets. The applicant is proposing to use the site for light equipment repairs including the sales of new and used tires, tire installation and tire repair.

Surrounding land uses include single-family and duplex residential uses to the north, south, east and west. A commercial tavern is located on the southwest corner of E. Broadway and Idaho Streets. The parcels fronting E. Broadway are zoned CO Office Commercial but are developed with residential uses.

The Toledo 20/20 Comprehensive Plan targets this area and the neighborhood around the site for single-family residential uses. Staff recommends disapproval of the applicant’s request because the proposed rezoning is not consistent with the Toledo 20/20 Comprehensive Plan. Furthermore, this area of E. Broadway is residential in terms land uses. Regional Commercial zoning would be out of character with the surrounding zoning and land uses and would constitute a spot zoning.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of Z-6004-14, a Zone Change from CO Office Commercial to CR Regional Commercial for the site at 659 E. Broadway Street to Toledo City Council for the following three (3) reasons:

1. The proposed zone change does not conform to the Toledo 20/20 Comprehensive Plan, which targets the site for single family residential uses;
2. The proposed zone change is out of character with the surrounding zoning and uses (TMC §1111.0606.C Review & Decision-Making Criteria).
3. The proposed zone change would constitute a spot zoning.

ZONE CHANGE REQUEST
TOLEDO CITY PLAN COMMISSION
REF: Z-6004-14
DATE: August 14, 2014
TIME: 2:00 P.M.

REF: Z-6004-14. . .August 14, 2014

CITY COUNCIL ZONING AND
PLANNING COMMITTEE

DATE: September 17, 2014

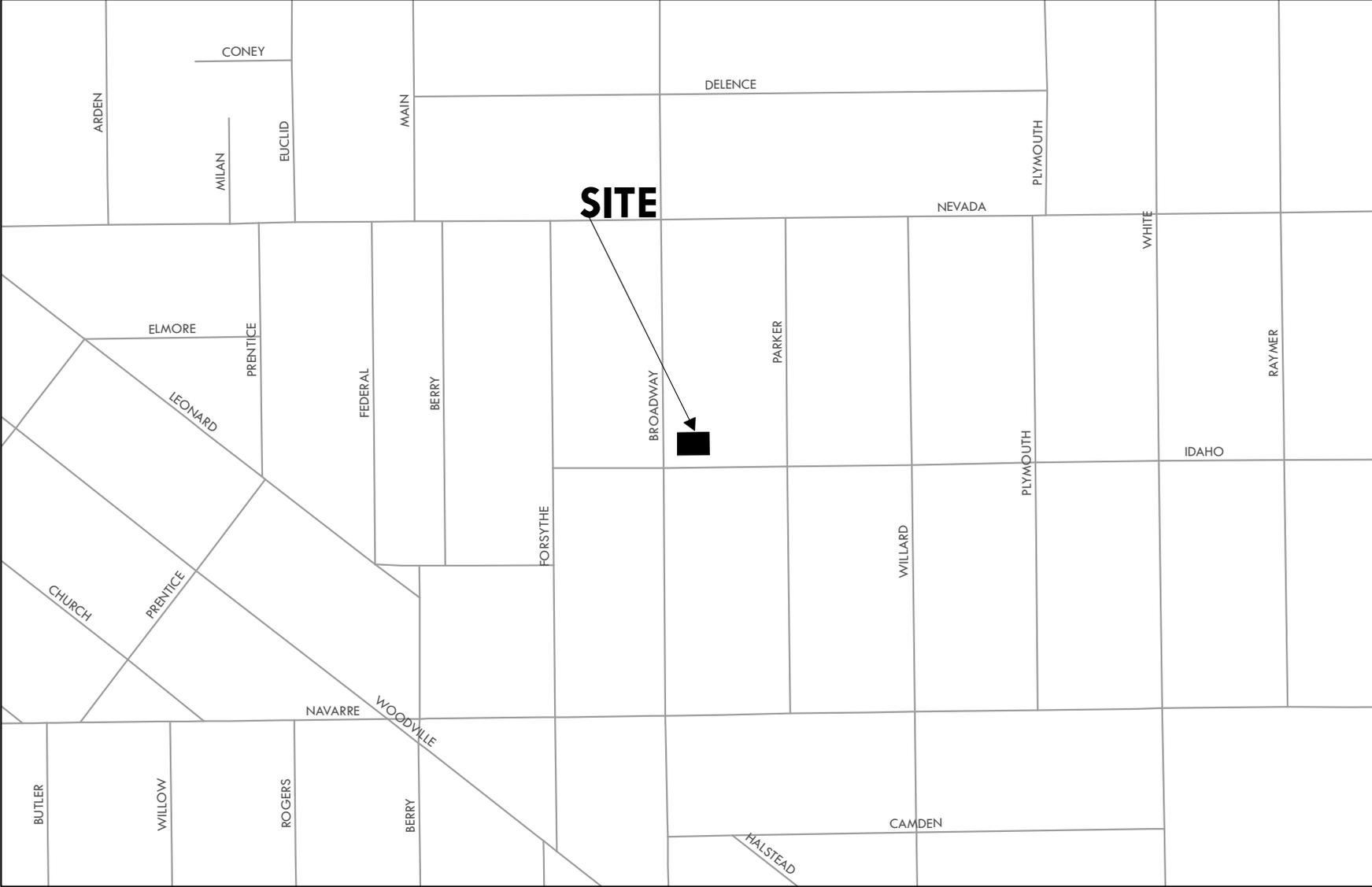
TIME: 4:00 P.M.

BH/bp

Two (2) sketches follow

GENERAL LOCATION

Z-6004-14
ID 28

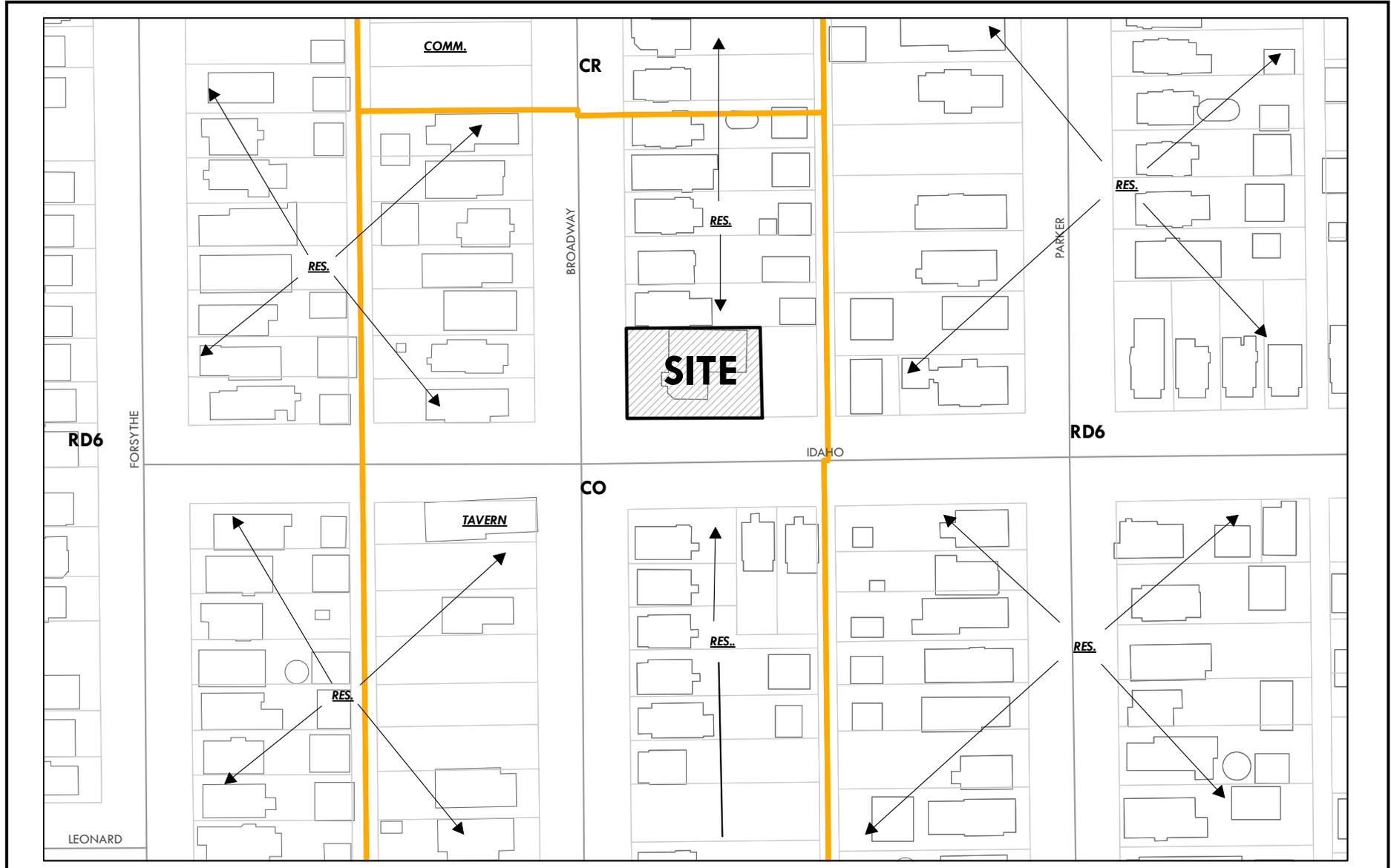


ZONING & LAND USE

Z-6004-14
ID 28



S - 8



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REF: SUP-3002-11
DATE: August 14, 2014

GENERAL INFORMATION

Subject

- Request - Request for a Re-review of Special Use Permit for a tow lot approved via Ord. 488-11.
- Location - 6231 Telegraph Road
- Applicant - Thomas Damron (land contract holder)
45 W. Stateline Road
Toledo, OH 43612
- Marianne Streicher (owner)
6255 Telegraph Road, #323
Erie, MI 48133

Site Description

- Zoning - Regional Commercial, Limited Industrial & Single Dwelling Residential/CR, IL & RS6
- Area - 4.374 acres
- Frontage - 344.76' along Telegraph Road
- 906.72' along State Line Road
- Required Parking - 9 spaces
- Proposed Parking - 10 spaces
- Existing Use - Salvage yard
- Proposed Use - Tow lot

Area Description

- North - Parking area, mobile home park / C-3, MHP (Bedford Township)
- South - Mobile Home Park / IL
- East - Light Industrial, Multi Family / IG, RD6
- West - Single Family Homes / RS6

Parcel History

- TL-31-64 - Request for transfer of lease, approved administratively on 2/6/64.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

SUP-3002-11 - Request for a Special Use Permit for a tow lot (PC approved 07/14/11, Ord. 488-11 approved 10/25/11)

Applicable Plans and Regulations

Toledo Municipal Code (TMC), Chapter Eleven: Planning and Zoning
Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

City Council has requested via Resolution 244-14, a review and possible revocation of Special Use Permit SUP-3002-11, granted by Ordinance 488-11. The Special Use Permit process recognizes that certain businesses having the right to be located within certain districts, also have extenuating circumstances or additional effects on the surrounding community more than others. Therefore additional criteria and conditions are often placed to reduce the effects on neighboring properties.

According to resolution 244-14, complaints have been made regarding the tow lot located at 6231 Telegraph Road operating in a manner that is inconsistent with the original plan and not following the conditions of approval, attached to Ordinance 488-11. A condition of the original Special Use Permit allowed for a one (1) year review of the site to ensure compliance with the conditions.

Background and Site Conditions

The tow lot located at 6231 Telegraph Road was approved to occupy the easternmost 4.374 acres of the 8.78 acre parcel. The 8.78 acre parcel is zoned CR Regional Commercial, IL Limited Industrial and RS6 Single Family Residential. A tow lot is not a permitted use in a residential zoning district and thus the applicant was not permitted to include the 4.406 acre residentially zoned portion of the site in the Special Use Permit. The CR and IL portions of site were zoned appropriately and granted SUP approval.

The site is rectangular in shape with 344.76 feet of frontage along Telegraph Road and 906.72 feet of frontage along State Line Road. The northernmost portion of the site encroaches slightly into the State of Michigan. The southern portion of the site is bisected by Halfway Creek. The floodway for Halfway Creek extends eighty (80) feet from the Creek.

STAFF ANALYSIS (cont'd)

Background and Site Conditions (cont'd)

The site has had a long history of use as a salvage yard under a legal-nonconforming status. Under the previous 2011 review, staff determined that the salvage yard ceased activity and had lost its legal-nonconforming status. However, a Special Use Permit was required for the tow lot regardless of the status of the salvage yard.

SUP Compliance

In an effort to determine compliance with Ord. 488-11, staff asked each agency to review the site for compliance with the approved conditions. This report details these findings in both the Staff Analysis and Exhibit "A".

Flood Plain

The applicant is currently using the front portion of the 4.374 acre site (behind the existing fencing) as a tow lot, while fill and grading is taking place on the rear portion of the site. The applicant was issued a permit to fill a significant portion of the lot, including the portion of the site located in the residentially zoned district. While permission was granted to fill the residentially zoned portion of the lot, it cannot be used for the tow lot.

A number of the objections from surrounding property owners arose regarding the status of the flood plain and Halfway Creek. According to the City of Toledo's Chief Building Official and Flood Plain Coordinator, the approved fill permit included a review of the flood plain for compliance with the flood plain regulations. **The applicant submitted for and was issued a fill permit which included a detailed site-grading plan to One Stop Shop, resulting in compliance with conditions #5, #6, #7, #8 & #9.**

Flood plain guidelines prohibits the storage of material or equipment, such as automobiles, that could become buoyant and pose an obstruction to flow in identified floodway areas unless they are firmly anchored to prohibit floatation. The applicant appears to have tires stored (See Exhibit "B") in the floodway. Tire storage is not permitted on a tow lot or within a flood plain. **As a result, the site is not in compliance with conditions #10, #21 & #31.**

Engineering Services condition #11 indicates that the construction of a fence across the floodway could likely result in an increase in the base flood elevation and would require hydrologic analysis conducted by a registered professional engineer. No hydrologic analysis has been submitted for review. **As a result, the applicant is not compliant with condition #11.**

STAFF ANALYSIS (cont'd)

Stormwater Retention

The Divisions of Engineering Services and Environmental Services noted storm drainage conditions in their 2011 reviews. As previously noted, storm drainage and runoff was one of the main concerns for surrounding property owners as well as city agencies. Engineering Services condition #4 appears to have been met as a NOI permit is on file. A storm water pollution prevention plan (SWPPP) was submitted and required as part of NOI permit review. Detention areas, swales and/or catch basins were noted on the site plans. **As a result, the site is in compliance with conditions #4 & # 18 and not in compliance with condition #19.**

Condition #12 recommended that clearing of vegetation and the storage of vehicles within 40 feet of the ordinary high watermark of Halfway Creek is discouraged due to water-quality impacts. The Division of Environmental Services has conducted on-site sampling of the water and soils, no signs of water-quality impacts or violations have been noted. **Condition #12 is in compliance as this is a recommendation and not a requirement.**

Site Structures

The 2011 site plan showed a total of ten (10) buildings that existed on the site at the time. Four (4) of these buildings were removed as part of the conversion of the site to a tow lot. The site currently has six (6) buildings including residential uses along Stateline Road and commercial/industrial uses on the corner of Telegraph and Stateline Road and in the interior of the site. **The Division of Building Inspection has indicated that demolition permits were issued as required. Fire Prevention has noted that condition #15 is not in compliance, as premised identification has not been provided.**

Access, Parking and Circulation

Multiple access points to State Line Road are shown on the 2011 site plan along with one curb cut onto Telegraph Road. Two (2) of the access points to State Line Road were designated for residential use, one (1) for a secondary entrance to the tow lot and two (2) near the corner of Telegraph and Stateline Roads to provide access to the front and rear of the main office/light industrial building. The applicant indicated that the curb cut on Telegraph Road was to be used as the primary access point for the tow lot.

The approved SUP required the access points onto State Line Road be approved by the Monroe County Road Commission as they are within the State of Michigan. **Condition #23 is not in compliance as the Monroe County Road Commission has indicated that the applicant has yet to contact their office concerning access onto State Line Road.**

STAFF ANALYSIS (cont'd)

Access, Parking and Circulation (cont'd)

The 2011 site plan indicated that the vehicle storage areas will be accessed via two drives to be surfaced with “tar and chip”. This plan also shows the use of stone in the vehicle storage areas. However, at the City Council Planning and Zoning hearing, the applicant indicated that tar and chip would be used throughout the site. In addition, condition #24 a waiver of the paving requirement, is subject to the removal of conditions #1 and #22. There was no motion or discussion concerning the removal of these conditions at the Plan Commission, Planning and Zoning Committee or City Council hearings. In addition, condition #26 requires approval from the Division of Engineering Services concerning the use of “tar and chip” surfacing on this site. **The Division of Engineering Services has indicated that a review of “Tar and Chip” material has not been submitted for approval. Conditions #1, #22, #24 & #26 are not in compliance.**

The applicant proposed a ten (10) space parking lot at the northeast corner of the site. This was designated for customer parking and was to be accessed onto State Line Road. Pursuant to TMC 1107.0304, the appropriate number of automobile and bicycle spaces were offered. **The applicant has yet to pave and define this area as approved.**

Tow Lot Storage Criteria

As previously stated the site is not fully operating as a tow lot at this time. The applicant is still in the process of filling, grading and fencing the property. Concerns have arisen from the Divisions of Engineering Services and Environmental Services regarding the location of vehicle storage areas within the floodway of Halfway Creek. A floodplain permit was granted for the placement of fill within the floodplain and there is no indication that vehicles are currently being stored in the floodplain.

Pursuant to TMC 1104.1600 *Storage of Towaway Vehicles*, a tow lot must comply with the following criteria:

1. Storage of tow-away vehicles must be 500 feet from any Residential district and be located on a major street. **The applicant has been granted a waiver of this requirement, resulting in compliance with condition #25.**
2. Any space for the storage of vehicles outdoors must be shielded by a fence between 6 and 10 feet tall that shields the premises from ordinary view on all sides and protected by a guardrail or other barriers approved by the Planning Director. All inventory of the business must be stored behind the fence. The applicant has constructed a solid fence along the Telegraph and Stateline Road frontages. However, **the rear portion of the site, along the residential zoning line, has yet to be enclosed.**

STAFF ANALYSIS (cont'd)

Tow Lot Storage Criteria (cont'd)

3. A Type "A" landscape buffer shall be provided as required by the Planning Director. **No Type "A" landscape buffer was required.**

Landscaping

The 2011 site plan indicated compliance with the second criteria noted above. It offered a six (6) foot to ten (10) foot fence around the perimeter of the vehicle storage area, except for the southern portion of the storage area, which is bounded by Halfway Creek. The fence currently extends along the entire frontage of Telegraph Road. Along the State Line Road frontage, the fence meanders south of several of the existing buildings but generally is located along the frontage. However, the Division of Building Inspection noted that the applicant has not secured a fence permit for the existing fencing onsite and a Fire Prevention approved key box has not been installed. Additionally, the applicant has not completed the fence along the rear of the property, where abutting the residential zoning. As a result, **the site is not compliant with TMC 1104.1602 – Outdoor Storage & condition #16.**

The site has over five hundred (500) feet of frontage and is required to provide a thirty (30) foot greenbelt along the Stateline Road and Telegraph Road frontages. The 2011 landscape plan, depicted an appropriate greenbelt. However, no landscaping has been installed. **As a result, condition #27 is not in compliance.**

Finally, due to the parking area not being completed, no concrete curbs or wheel stops are in place. No commercial trash dumpster with solid fencing was visible onsite and no landscaping has been installed. **As a result, the site is not in compliance with conditions #28, #29 & #30.**

The conditions outlined in Ord. 488-11 are provided in Exhibit "A". Staff has included the status of compliance with each condition. In addition, photographs from Building Inspection and Plan Commission Staff are included in Exhibit "B".

STAFF RECOMMENDATION

Plan Commission Staff met with the applicant onsite and observed progress being made towards overall compliance with Ord. 488-11. The applicant indicated that health issues, equipment breakdowns and the previous condition (cleanup) of the property delayed compliance. Although there are currently a number of conditions that remain non-compliant with Ord. 488-11, staff feels the applicant has made significant progress and could achieve full compliance within ninety (90) days.

The staff recommends that the Toledo City Plan Commission recommend to Toledo City Council that applicant be given a ninety (90) day compliance period to bring the site into full compliance with Ord. 488-11, a Special Use Permit for a tow lot, located at 6231 Telegraph Road, to the Toledo City Council.

REF: SUP-3002-11 . . . August 14, 2014

RE-REVIEW OF SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION

REF: SUP-3002-11
DATE: August 14, 2014
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING

DATE: September 17, 2014
TIME: 4:00 P.M.

BH/bp
Four (4) sketches follow
Exhibit "A"
Exhibit "B"

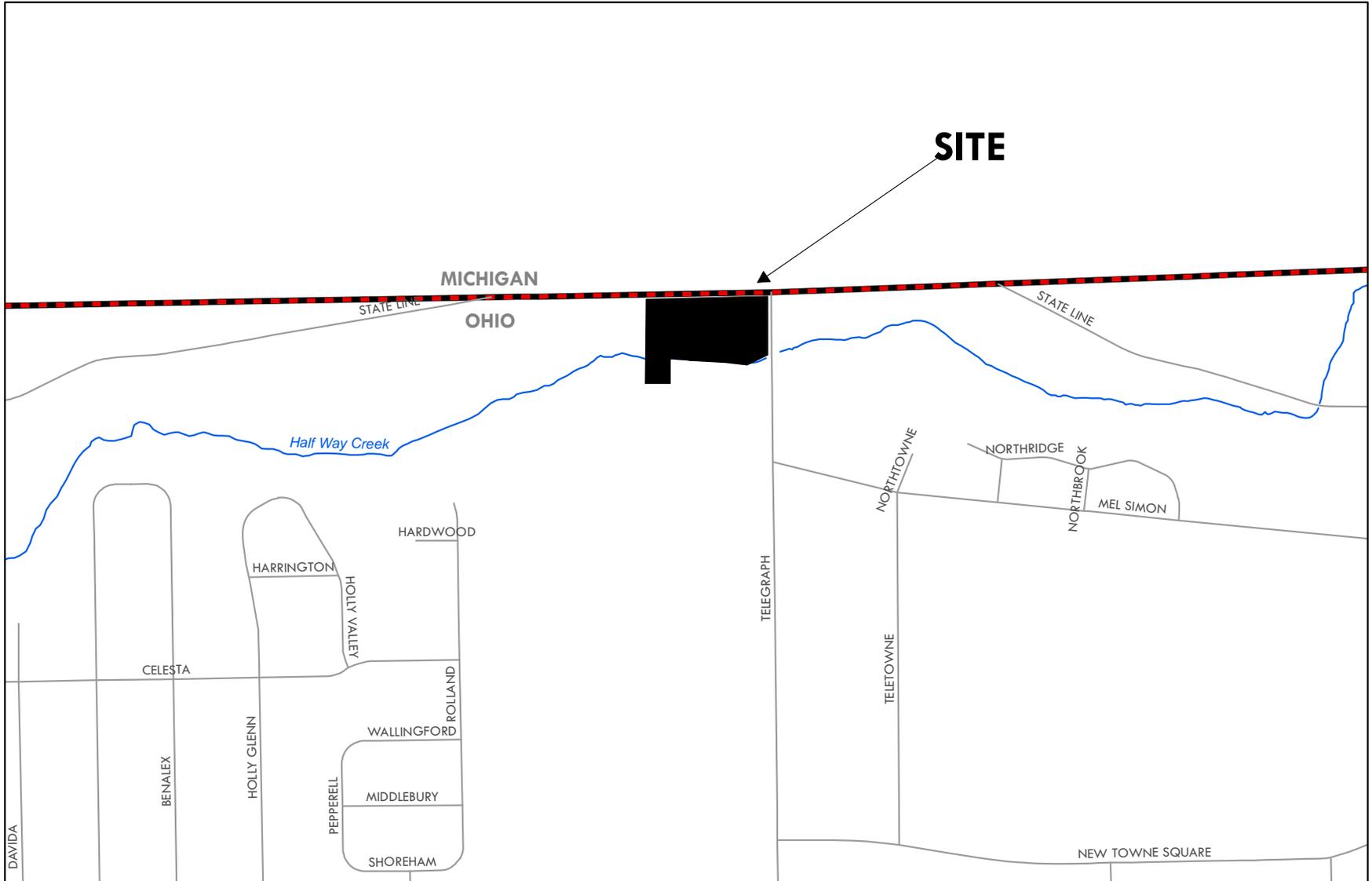
GENERAL LOCATION

SUP-3002-11
ID 71



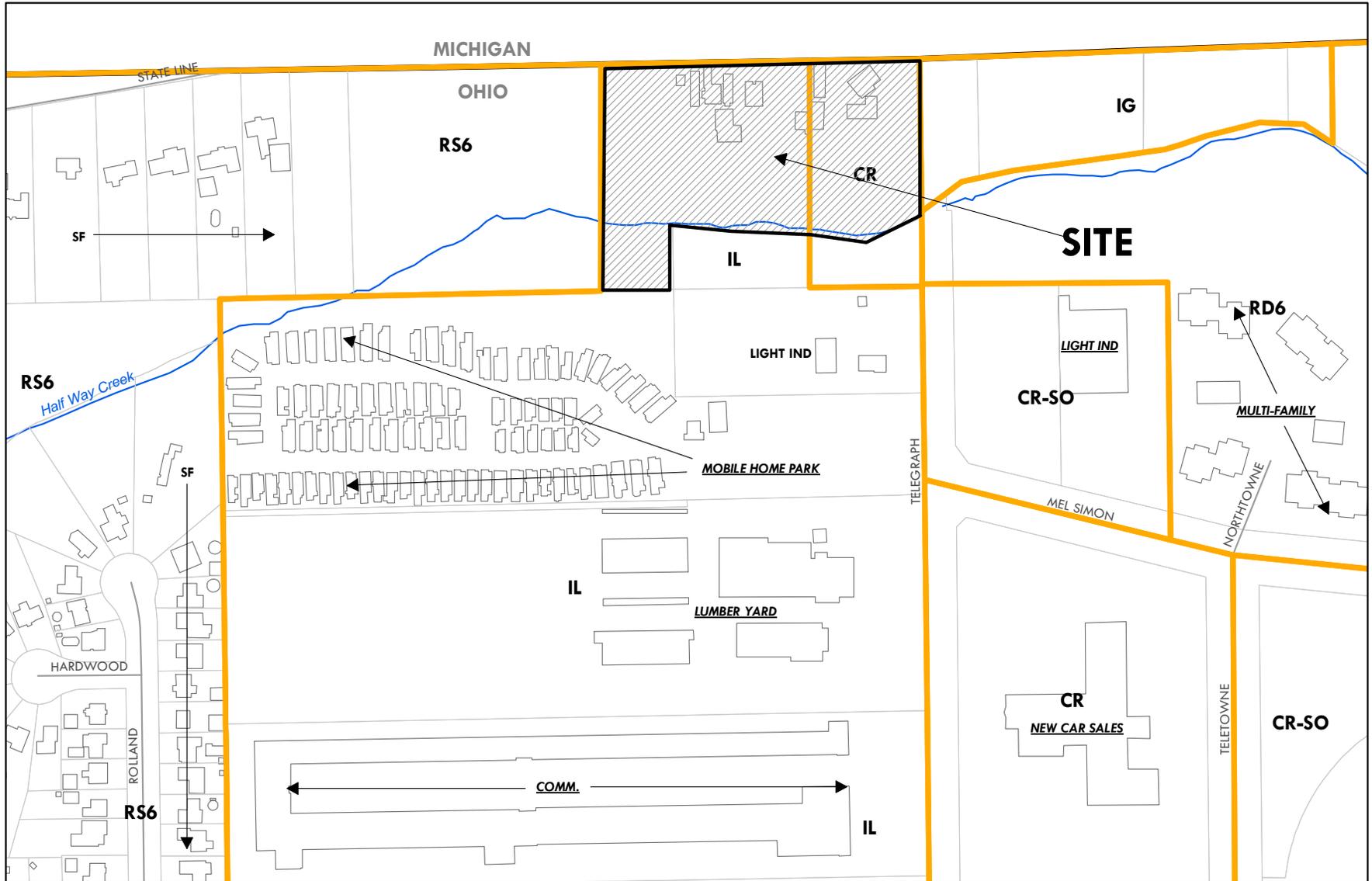
8 - 6

SITE



ZONING & LAND USE

SUP-3002-11
ID 71



SITE PLAN

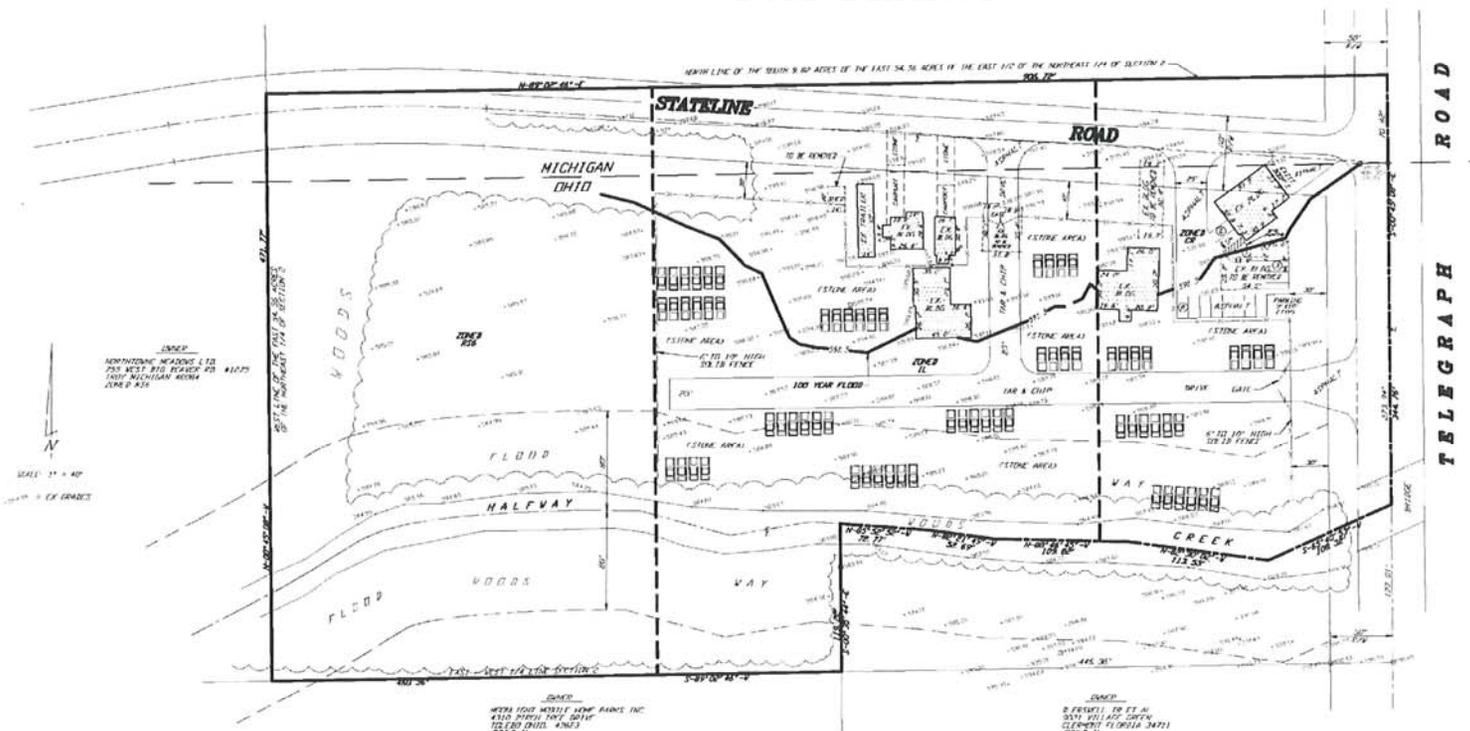
SUP-3002-11
ID 71



S I T E P L A N

OF
PART OF THE NORTHWEST 1/4 OF SECTION 25, T100N R100W RANGE 7 EAST
WASHINGTON TOWNSHIP, LOCAL COUNTY, OHIO

TOM DAMRON



UNDEVELOPED MEADOWS ETD
25% WOODS PER LOCAL AND
100% NICHIGAN WOODS
ZONING AREA

SCALE: 1" = 40'
DATE: 6/24/2011

ZONING	ZONING
ZONING CR	ZONING II
FRONT YARD = 30'	FRONT YARD = 30'
SIDE YARD = 20'	SIDE YARD = 25'
REAR YARD = 25'	REAR YARD = 25'

LEGEND
 AREA = 9.750 ACRES
 AREA IN MICHIGAN = 1.465 AC.
 AREA IN MS6 (UMH) = 2.519 AC.
 AREA IN CR & II (OHIO) = 4.374 AC.
 USE AUTO, TRUCK STORAGE
 NUMBER OF EXISTING BUILDINGS = 10
 PARKING REQUIRED AND PROVIDED = 9
 BIKE PARKING REQUIRED AND PROVIDED = 1

George J. Oravec
 George J. Oravec, Registered Surveyor No. 5439



ORAVEC & ASSOCIATES, LLC
 5333 SECON ROAD, SUITE 2, FOLEY, OHIO 43020
 PHONES 419.858.0040 OR 419.2485 FAX 419.478.5055
 WWW.ORAVECANDASSOCIATES.COM

SCALE	DATE	REVISION	DRAWN BY	CHECKED BY
1" = 40'	3/24/2011	6/23/2011	K.J.S.	JORNEC

9 - 10

Exhibit "A"
REVIEW AGENCY CONDITIONS

The following thirty-five (35) conditions were approved in Ord. 488-11 and are listed by agency of origin. The applicant agreed to all conditions at the July 14, 2011 Plan Commission and October 12, 2011 Planning and Zoning Committee.

Engineering Services

1. The existing and proposed gravel drives and lots must be constructed with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, per TMC 1107.1906. **Not in compliance.**
2. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419)-245-1220. Occupancy permits will not be issued until all inspections have been completed. **Not in compliance.**
3. If existing public water facilities are in conflict and must be relocated, they will be relocated by the City of Toledo at the owner's expense. **In compliance.**
4. Storm drainage service for this site is available subject to: the Criteria and Regulations of The Departments of Public Utilities and Public Service; The Toledo Municipal Code, including but not limited to Chapters 941, 1110, and 1107; The Toledo City Charter; The "Subdivision Rules & Regulations" of Toledo-Lucas County Plan Commissions; City of Toledo Infrastructure Design and Construction requirements; and "The Comprehensive Ditch Plan." All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA. **In compliance.**
5. A detailed site-grading plan for this project will be submitted for approval. The plan will show the adjacent topography and grades for the land abutting the proposed development for a distance of approximately one hundred feet (100') from the development boundaries. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer. **In compliance.**
6. No construction work, including grading, will be permitted without approved plans and inspection. **In compliance.**
7. Being in or adjacent to a flood hazard zone, this area is subject to Toledo Municipal Code, Chapter 1110, which must be complied with in full. **In compliance.**

Exhibit "A" (cont'd)
REVIEW AGENCY CONDITIONS (cont'd)

8. Plan submittals shall be in accordance with the latest version of Infrastructure and Design Requirements available at <http://www.ci.toledo.oh.us/Departments/PublicUtilities/DivisionofEngineeringServices/PlanReviewProcess/tabid/335/default.aspx>. It is advised that consulting engineers, architects, and developers contact the Department of Public Utilities, Division of Engineering Services, to set up a pre-submittal meeting. This meeting is suggested so that there is a full understanding of the City of Toledo requirements for the sanitary, storm, water and roadway utilities. This understanding will, in turn, help to eliminate costly design time, revisions to drawings, and delays in plan reviews and will help speed up the plan approval process. **In compliance.**

Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Stormwater Drainage: Lorie Haslinger, ph. 419-245-3221
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Tim Grosjean, ph. 419-245-1344

9. The floodway limits vary from 130' to 210' and are not centered on the creek. Please refer to the proposed FEMA Flood Insurance Rate Maps, which become effective August 16, 2011. **In compliance.**
10. Storage of material or equipment, such as automobiles, that could become buoyant and pose an obstruction to flow in identified floodway areas are prohibited unless they are firmly anchored to prohibit floatation. **Not in compliance.**
11. Construction of a fence across the floodway could likely result in an increase in the base flood elevation and would require hydrologic analysis conducted by a registered professional engineer in accordance with TMC 1100. **Not in compliance.**
12. Clearing of vegetation and storage of vehicles within 40 feet of the ordinary high watermark of Halfway Creek is discouraged due to water-quality impacts. **In compliance.**

Sewer and Drainage Services

No comments or objections to site plan as submitted.

Exhibit "A" (cont'd)
REVIEW AGENCY CONDITIONS (cont'd)

Fire Prevention

13. Fire hydrant to be located within 350' of any structure or parked vehicle. IFC 508.5.1, TMC Part 15 Chapter 5. **Compliance not required at this time.**
14. Protect hydrant where subject to physical damage. IFC 508.5.6. **Compliance not required at this time.**
15. Premised identification required. **Not in compliance.**
16. Access will be restricted by locked gates – key box may be required. **Not in compliance.**

Division of Inspection

17. The 6'-10' fence indicated on the site plan will require approval from the Board of Zoning Appeals (BZA) and building permits. The gravel parking lot areas will need BZA approval. The buildings indicated as being demolished will require demolition permits. All permits may be applied for through Div. Of Building Inspection as well as BZA applications. **In compliance with demolition permits. Not in compliance with fence permit and gravel parking.**

Division of Environmental Services

18. Stormwater requirements - A Stormwater Pollution Prevention Plan (SWPPP) will be required to be prepared in accordance with the Ohio Environmental Protection Agency (EPA) General Construction Permit for this development. The plan requirements are available through the CGP on the Ohio EPA website: www.epa.ohio.gov/dsw/permits/GP_ConstructionSiteStormWater.aspx. We encourage the use of green infrastructure (rain gardens, green roofs, bioswales) to control runoff from impervious surfaces (roof drainage and parking lots). **In compliance.**
19. Post-Construction requirements – The disturbed area will be required to meet the post-construction requirements of the Ohio EPA General Construction Permit. **Please note that all runoff generated by this development will require treatment before leaving site.** The plan requirements are available through the CGP on the Ohio EPA website: www.epa.ohio.gov/dsw/permits/GP_ConstructionSiteStormWate.aspx. **Not in compliance.**
20. Wetlands and Soils – For information regarding hydric soils or wetlands contact Lucas Soil and Water Conservation District at 419-893-1966 or www.co.lucas.oh.us/lswcd. **Compliance not required at this time.**

Exhibit "A" (cont'd)
REVIEW AGENCY CONDITIONS (cont'd)

Division of Environmental Services (cont'd)

21. Floodplain and Floodway - This project is located in a floodway. Vehicles parked in the floodway will cause materials not composed of stormwater to compromise water quality. For information regarding applicable floodplain and floodway standards contact the City of Toledo Division of Building Inspection at 419-245-1220 or [www.toledo.oh.gov/Departments/Departmentof Neighborhoods](http://www.toledo.oh.gov/Departments/Departmentof%20Neighborhoods). **Not in compliance.**

Division of Transportation

22. All gravel surfaces shall be paved utilizing concrete, bituminous asphalt, or other dust free material other than gravel or loose fill per Toledo Municipal Code 1107.1906. **Not in compliance.**
23. All access drives onto Stateline Road should be approved through the Monroe County Road Commission. **Not in compliance.**

Plan Commission

24. TMC 1107.1601 *Surfacing and Drainage*, requiring that all gravel surfaces be paved, shall be waived for the vehicle storage areas only (*if conditions 1 and 22 are deleted*). **Not in compliance.**
25. TMC 1104.1601 *Storage of Towaway Vehicles*, requiring that storage of towaway vehicles be 500' from any residential district, shall be waived. **In compliance.**
26. Applicant shall obtain Division of Engineering Services approval for the "tar and chip" surfacing of the interior drives. **Not in compliance.**
27. A thirty-foot (30') greenbelt is required along the State Line Road and Telegraph Road frontages. The greenbelt shall include at least one tree for every 30 feet of lot frontage and a solid evergreen hedge planting to screen the parking lot. **Not in compliance.**
28. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscape areas. **Not in compliance.**
29. **If applicable**, dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks. **Not in compliance.**

Exhibit "A" (cont'd)
REVIEW AGENCY CONDITIONS (cont'd)

Plan Commission (cont'd)

30. A detailed site, lighting, sign, fencing, and landscape plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Interior site landscaping shall include one tree per 2000 square feet of building coverage. Greenbelt frontage trees are included in this total, minimum of 2 trees in the front and side yards. **Not in compliance.**
 - b. Foundation plantings along all portions of the building that are visible from public street rights of way. **Not in compliance.**
 - c. The location, height and materials for any fencing to be installed and maintained, **In compliance.**
 - d. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and **In compliance.**
 - e. The location, lighting and size of any signs. **In compliance.**
31. Uses as described in TMC 1116.0242 *Terminology – Use Categories – Scrap and Salvage Operations* shall not be permitted on the site. **Not in compliance.**
32. The Special Use Permit shall be reviewed in one (1) year from issuance date, to ensure compliance with the conditions stated above. **Compliance to be determined.**
33. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission. **In compliance.**
34. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above. **In compliance.**
35. The applicant shall have the EPA and State Fire Marshall inspect the site to determine if there are leaking underground storage tanks. Applicant shall comply with any directives from these agencies in terms of remediation. **In compliance.**

City of Toledo - Code Enforcement



04.17.2014

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City of Toledo - Code Enforcement



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City of Toledo - Code Enforcement



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City of Toledo - Code Enforcement

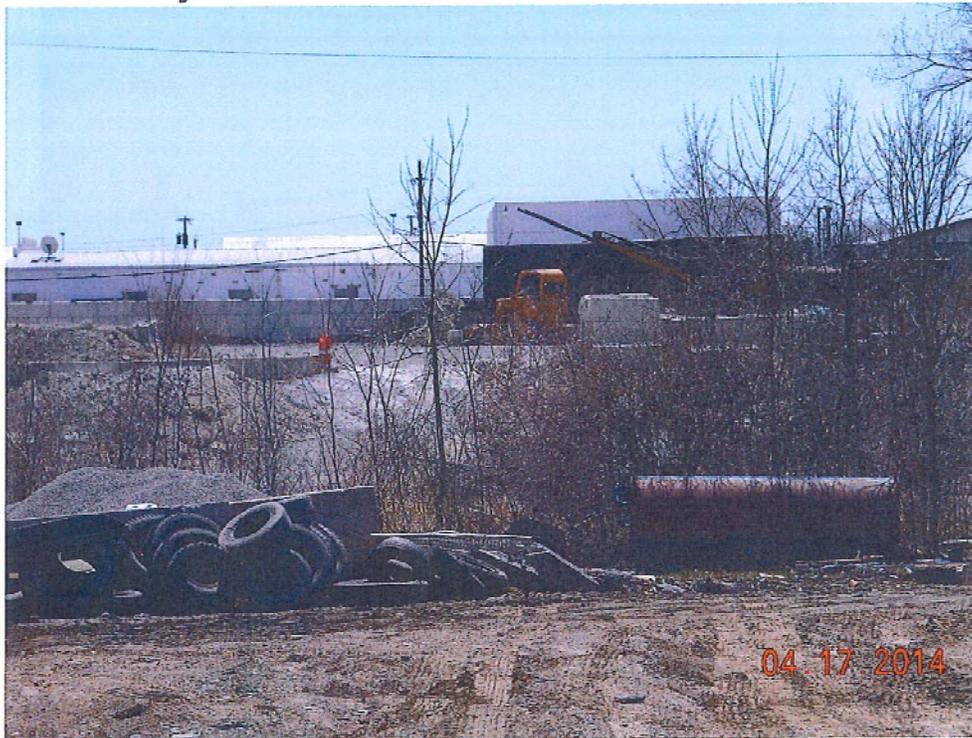


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City of Toledo - Code Enforcement



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City of Toledo - Code Enforcement



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**PLAN COMMISSION
PHOTOGRAPHS 06-25-14**

**EXHIBIT
"B"**

SUP-3002-11



**PLAN COMMISSION
PHOTOGRAPHS 06-25-14**

**EXHIBIT
"B"**

SUP-3002-11



**PLAN COMMISSION
PHOTOGRAPHS 06-25-14**

**EXHIBIT
"B"**

SUP-3002-11



**PLAN COMMISSION
PHOTOGRAPHS 06-25-14**

**EXHIBIT
"B"**

SUP-3002-11



STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
CHRISTINE CUNNINGHAM
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

DIVISION OF FORESTRY
COMMISSIONER
2201 OTTAWA PARKWAY
TOLEDO, OH 43606
419-936-2326

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET
TOLEDO, OH 43601
419-245-6802

DIVISION OF WATER
RECLAMATION
COMMISSIONER
3900 N. SUMMIT STREET
TOLEDO, OH 43611
419-727-2602

DIVISION OF INSPECTION
COMMISSIONER
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
JEFF GRABARKIEWICZ
130-A W. DUDLEY
MAUMEE, OH 43537
419-893-1966

DIVISION OF TRANSPORTATION
COMMISSIONER
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
COMMISSIONER
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
KEITH EARLEY
1049 S. MCCORD ROAD
HOLLAND, OH 43528
419-213-2860

SERVICE DEPARTMENT
EDWARD MOORE, DIRECTOR
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD
TOLEDO, OH 43611
419-539-6078

LUCAS COUNTY
SANITARY ENGINEER
JIM SHAW
111 S. McCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT.
LANA GLORE, ENV. HEALTH SERV.
635 N. ERIE STREET ROOM 352
TOLEDO, OH 43604
419-213-4209

A T & T
ATTN: DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43604
419-245-7000

BUCKEYE CABLESYSTEM, INC.
GARY KASUBSKI
4818 ANGOLA ROAD
TOLEDO, OH 43615
419-724-3821

VERIZON
BRAD SNYDER
300 W. GYPSY LANE
BOWLING GREEN, OH 43402
419-354-9452

WATERVILLE GAS
JAMIE BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

OHIO GAS
MIKE CREAGER
13630 AIRPORT HWY.
SWANTON, OH 43558
419-636-1117

TIME WARNER
RAY MAURER
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

EMBARQ
117 E. CLINTON STREET
NAPOLEON, OH 43545
419-599-4030

CENTURYLINK
TIM R. TAYLOR
375 E. RIVERVIEW AVE.
NAPOLEON, OH 43502

Toledo - Lucas County General Street Map

