

*TOLEDO CITY
PLAN COMMISSION
REPORT*

January 14, 2016

*Toledo-Lucas County Plan Commissions
One Government Center, Suite 1620, Toledo, OH 43604
Phone 419-245-1200, FAX 419-936-3730*

MEMBERS OF THE TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

TOLEDO CITY PLAN COMMISSION

CATHERINE G. HOOLAHAN
(Chairman)

KEN FALLOWS
(Vice Chairman)

BALSHARAN SINGH GREWAL

OLIVIA HOLDEN

MARTIN JARRET

LUCAS COUNTY PLANNING COMMISSION

DON MEWHORT
(Chairman)

KEVIN X. SMITH
(Vice Chairman)

CATHERINE G. HOOLAHAN

TINA SKELDON WOZNIAK
(County Commissioner)

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(County Commissioner)

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THOMAS C. GIBBONS, SECRETARY

LISA COTTRELL, ADMINISTRATOR

**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2016**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION (<i>HEARINGS BEGIN AT 2PM</i>)			
November 30	December 28	December 31**	January 14
December 28	January 25	January 29	February 11
January 25	February 22	February 26	March 10
February 29	March 28	April 1	April 14
March 28	April 25	April 29	May 12
April 25	May 23	May 27	June 9
May 30	June 27	July 1	July 14
June 27	July 25	July 29	August 11
July 25	August 22	August 26	September 8
August 29	September 26	September 29	October 13
September 19	October 17	October 31	November 3**
October 17	November 14	November 18	December 1**
COUNTY PLANNING COMMISSION (<i>HEARINGS BEGIN AT 9AM</i>)			
December 14	January 11	January 15	January 27
January 11	February 8	February 12	February 24
February 8	March 7	March 11	March 23
March 14	April 11	April 15	April 27
April 11	May 9	May 13	May 25
May 9	June 6	June 10	June 22
June 13	July 11	July 15	July 27
July 11	August 8	August 12	August 24
August 15	September 12	September 16	September 28
September 12	October 11**	October 14	October 26
October 3	October 31	November 4	November 16**
October 31	November 28	December 2	December 14**

* County deadlines are for Preliminary Drawings

** Date shifts are due to holidays

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

January 14, 2016

2:00 p.m.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER

AT JACKSON BOULEVARD AND ERIE STREET

IN COUNCIL CHAMBERS

ON THE FOLLOWING CASES

AGENDA

ROLL CALL - Toledo City Plan Commission

PROOF OF NOTICE

SWEARING IN

MINUTES

FINAL PLATS

DIRECTOR'S REPORT

CHAIRMAN'S REPORT

**ITEM
NO.**

CASE DESCRIPTION

- | | |
|------------------|--|
| 1. Z-12001-15: | Zone change from IL to CD at 1013 Monroe St (rs) |
| 2. SPR-55-15: | Minor site plan review for off-exhibit animal management facility at 2700 Broadway (gp) |
| 3. SUP-11001-15: | Special use permit for convenience store at 2340, 2344 and 2346 Seaman Street (rs) |
| 4. SUP-6005-15: | Special Use Permit amendment to add/upgrade pumps to existing station at 1027 N. Reynolds Road (rs) |
| 5. M-10-15: | Amendment to TMC 1104.0603 Convenience Stores Spacing, to exempt gas station that have at least 4 pumps (rs) |

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GENERAL INFORMATION

Subject

- Request - Zone Change from IL Limited Industrial to CD Downtown Commercial
- Location - 1013 Monroe Street
- Applicant - Williamdean, LLC.
1013 Monroe Street
Toledo, OH 43604
- Attorney - Matthew J. Fischer, Esq.
Marshall & Melhorn, LLC.
Four Seagate, 8th Floor
Toledo, OH 43604

Site Description

- Zoning - IL / Limited Industrial
- Area - ± 0.233 acres
- Frontage - ± 100' along Monroe Street
± 100' along 11th Street
- Existing Use - Mixed-use commercial / Parking lot
- Proposed Use - Mixed-use commercial

Area Description

- North - Auto Repair, School / IL, CD
- South - Auto Repair, Warehousing / IL
- East - Parking lot / IL
- West - Office commercial / IL

Parcel History

- M-4-12 - UpTown Neighborhood District Plan (Plan Commission recommended approval on 12-05-2013. Approved by City Council by Ord. 19-14).

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- Toledo Downtown Plan
- Downtown Overlay District
- Toledo UpTown District Plan
- UpTown District Urban Neighborhood Overlay District

STAFF ANALYSIS

The applicant is requesting a Zone Change from IL Limited Industrial CD Downtown Commercial for a site located at 1013 Monroe Street. The ± 0.233 acre site is zoned Limited Industrial and consists of three tenant spaces. Currently the building has two tenant spaces occupied by a car wash and screen printer. Surrounding land uses include auto parts supply to the north, auto repair to the southwest of the property; a school to the northeast across Monroe Street; and office commercial to the west of the property across 11th Street.

The applicant operates auto repair garage on the property abutting the site to the southwest. A zone change is required because a hair salon is classified in the zoning code as a personal improvement service. Personal improvement services are not permitted in the IL Limited Industrial Zoning District.

The property is located within the Downtown Overlay District (DOD) and the UpTown District Urban Neighborhood Overlay (UNO). The current Limited Industrial Zoning Classification is not conducive to the vision of the Downtown Plan and the UpTown District Plan. A Zone Change to CD will allow the applicant to lease the tenant spaces for mixed-use commercial businesses.

The Toledo 20/20 Comprehensive Plan targets this area for Downtown Commercial land uses. Downtown Commercial zoning requires buildings to be oriented in a pedestrian based design that requires distinct architecture and also allows a mix of uses not permitted in the IL district. The applicant is pursuing a mixed-use commercial development which is consistent with the CD future land use designation. Staff recommends approval of the Zone Change for this location because it is compatible with the zoning and land uses in the immediate area. Additionally, the proposed CD Zoning is consistent with the current zoning designations of properties established in the immediate area surrounding the site.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z-12001-15, a Zone Change from IL to CD for the site at 1013 Monroe Street to Toledo City Council for the following five (5) reasons:

1. The CD Zone Change conforms to the Toledo 20/20 Comprehensive Plan, which targets the site for Urban Village uses;
2. The CD zoning request is similar to existing land uses within the general vicinity of the subject property (TMC 1111.0606.B Review & Decision-Making Criteria).
3. A zone change to CD Neighborhood Commercial is consistent with the zoning classification of properties within the general vicinity of the site (TMC §1111.0606.C Review & Decision-Making Criteria).
4. The proposed CD zoning is a step-down from a more intense industrial zoning and is more compatible with surrounding properties.
5. The proposed CD zoning conforms to the vision of the Downtown Plan & the UpTown District Plan

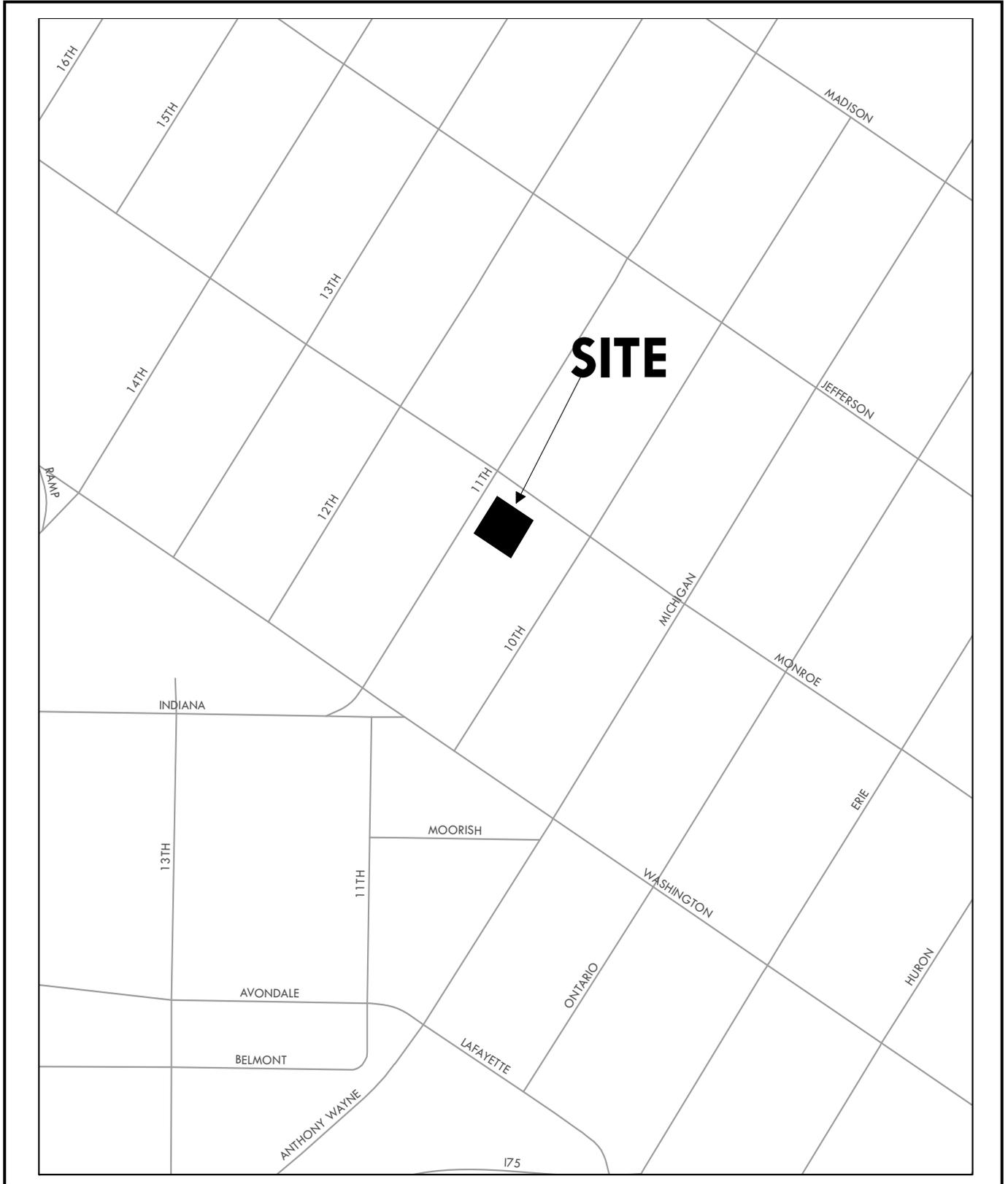
ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-12001-15
DATE: January 14, 2016
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
PLANNING AND ZONING
DATE: February 17, 2016
TIME: 4:00 P.M.

RS
Two (2) sketches follow

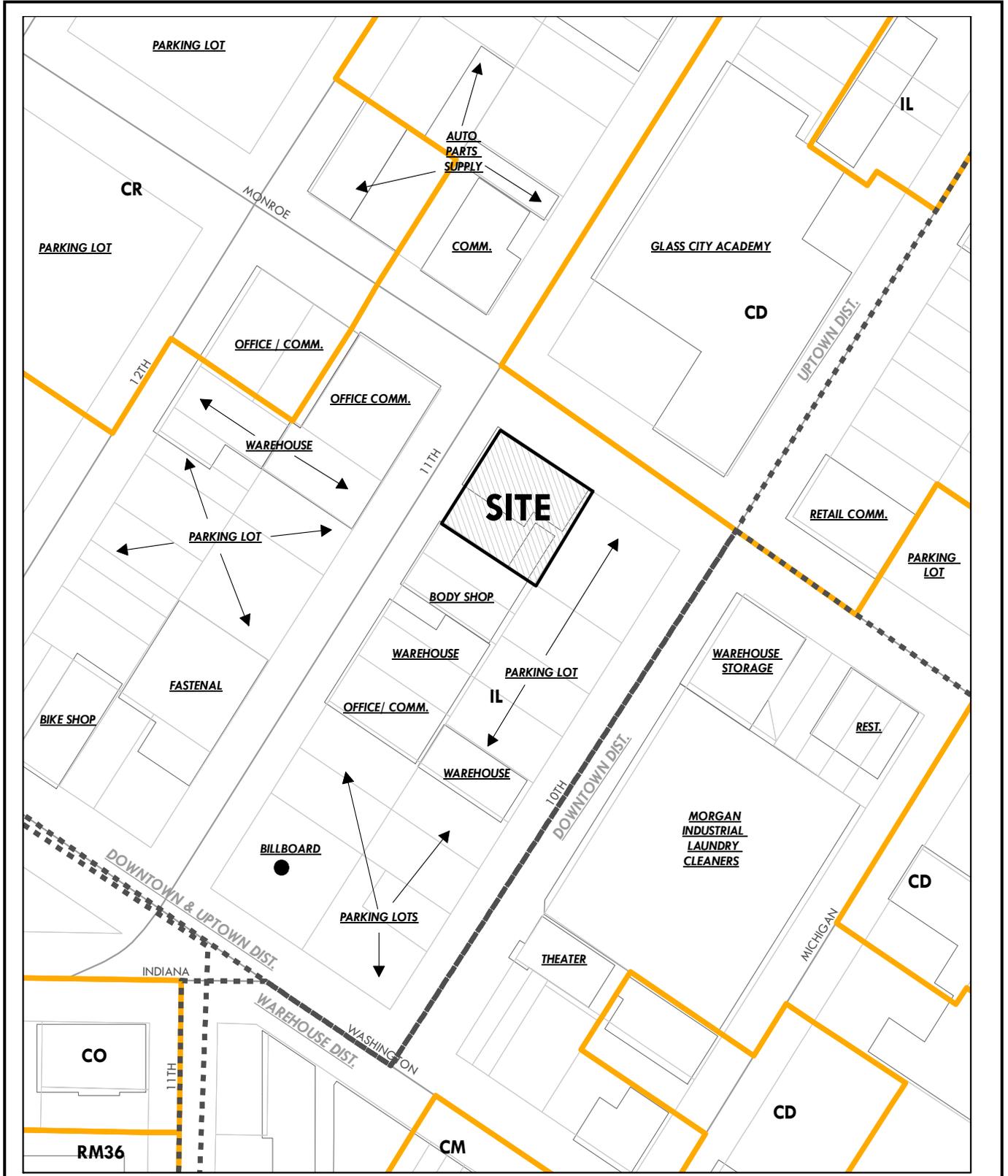
GENERAL LOCATION

Z-12001-15
ID 10



ZONING AND LAND USE

Z-12001-15
ID 10



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GENERAL INFORMATION

Subject

- Request - Minor Site Plan Review for a new off-exhibit animal management facility with no modifications to parking or vehicular circulation
- Location - 833 Spencer Street
- Applicant - Toledo Zoological Society
C/O: Rick Payeff
2700 Broadway Street
Toledo, OH 43609
- Surveyor - Lewandowski Engineers
C/O: Matt Lewandowski
234 North Erie Street
Toledo, OH 43604

Site Description

- Zoning - IC / Institutional Campus
- Area - ± 41.64 acres
- Frontage (Parcel 1) - ± 3364' along Anthony Wayne Trail
- Frontage (Parcel 1) - ± 2303' along Spencer Street
- Frontage (Parcel 1) - ± 41' along Woodsdale Avenue
- Frontage (Parcel 2) - ± 1901' along Anthony Wayne Trail
- Frontage (Parcel 2) - ± 1538' along Railroad Tracks
- Frontage (Parcel 2) - ± 701' along Woodsdale Avenue
- Existing Use - Toledo Zoo North Campus
- Proposed use - Toledo Zoo North Campus

Area Description

- North - Single Family Homes / RD6
- South - Anthony Wayne Trail / IC, IG
- East - Vacant Industrial Building / IG
- West - Parking Lot / IC

GENERAL INFORMATION (cont'd)

Parcel History

- SUP-11003-91 - Request for a Special Use Permit for Toledo Zoological Gardens Concept Plan, Plan Commission recommended approval on 1/9/92, approved by City Council on 2/25/92, Ord. 182-92.
- Z-2006-91 - Request for a Zone Change from R-3 Duplex Residential, M-1 Limited Industrial, and M-2 General Industrial to P Parks and Open Space for a portion of current zoo site north of Anthony Wayne Trail, Plan Commission recommended approval with conditions on 4/8/91, approved with conditions by City Council on 4/23/91, Ord. 291-91.
- PL-5-94 - Parking lot review for 128 space expansion to former parking area. Administratively approved on 10/7/94.
- M-1-96 - Review of Toledo Zoological Society Master Plan, approved with conditions by the Plan Commission on 2/8/96.
- Z-1003-96 - Request for a Zone Change request from M-2 General Industrial to P Parks and Open Space for a portion of the current zoo site north of Anthony Wayne Trail, Plan Commission recommended approval with conditions on 2/8/96, City Council approved with conditions on 2/27/96, Ord. 112-96.
- Z-6011-05 - Request for a Zone Change from RS6 Single Family Residential to CO Office Commercial for seven parcels on Spencer Street, Plan Commission recommended approval with conditions on 11/3/05, City Council approved with conditions on 12/16/05, Ord. 853-05.
- M-2-06 - Review of parking lots for the Toledo Zoo, approved by the Plan Commission.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- Z-5011-06 - Request for a Zone Change from R Residential, IL Limited Industrial to IC Institutional Campus for Toledo Zoo, Plan Commission recommended approval subject to the approval of a site plan on 7/13/06, approved by City Council on 2/3/09, Ord. 6-09.

- V-499-07 - Request for a Vacation of the un-named right-of-way off Spencer Street located off Spencer Street near Arlington Avenue, Plan Commission recommended approval on 10/11/07, approved by City Council on 1/29/08, Ord. 68-08.

- SPR-22-15 - Request for a Minor Site Plan Review for a new Nairobi pavilion, giraffe feeding deck, and aerial course, Administratively approved on 7/2/15.

Applicable Plans and Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- The Toledo Zoo Institutional Master Plan

STAFF ANALYSIS

The applicant is requesting a Minor Site Plan Review for a new off-exhibit animal management facility at 833 Spencer Street. The ±41.64 acre site consists of two (2) parcels that make up the Toledo Zoo North Campus. Both parcels are zoned IC Institutional Campus. The southern parcel of the North Campus is occupied by various animal exhibits, eateries, and other modes of entertainment. The northern parcel of the North Campus is primarily occupied by visitor parking lots with the exception of administrator, visitor, and maintenance service buildings. The development site is a part of the Toledo Zoo Institutional Campus Master Plan which includes the South Campus as well.

The Toledo Zoo property is comprised of land areas North and South of the Anthony Wayne Trail. The Zoo land area to the South is referred to as the “Historic Zoo” and bounded by Amherst Drive to the west, Broadway Street to the south, Shadowlawn Drive to the east, and the Anthony Wayne Trail to the north. The Zoo land area to the North is referred to as the “New Zoo” and bounded by Woodsdale Drive to the west, the Anthony Wayne Trail to the south, abandoned industrial property to the east, and Spencer Street to the north.

STAFF ANALYSIS (cont'd)

The applicant is proposing to construct a new ±8,930 square foot off-exhibit animal management facility on the northernmost part of the North Campus. The North Campus is divided into two (2) areas by industrial railroad tracks. The structures that are located in the vicinity of the proposed development site are the exhibit storage building, the maintenance building, a greenhouse, and compost bins. This area of the site is accessible to staff only and ingress/ingress is gained through a remote call button. The purpose of the facility is to expand the Zoo's ability to participate in breeding, management, and rescue programs for large, "cold-hearted" mammal species only. The facility is also important for providing additional housing for offspring of exhibit animals after they have been weaned and are waiting to be moved to other zoos.

Parking and Circulation

Parking lot modifications and improvements for the parking area along Spencer Street were outlined in The Toledo Zoo Institutional Campus Master Plan's Transportation Management Plan. The North Visitor Parking Expansion site plan was submitted as Exhibits 1 and 6 in the Master Plan. Modifications included additional parking spaces, improved traffic flow, vehicular access points around the Zoo's perimeter for public and employee off-street parking as well as service grounds maintenance, service, and supply access points. Proposed parking lot modifications have been completed and no new modifications to existing parking configuration or vehicular circulation are being proposed as part of this Site Plan Review.

Landscaping and Screening

The Toledo Zoo Institutional Master Plan states that the nucleus of the Neighborhood Protection Plan for the Toledo Zoo is the use of landscape buffers around the perimeter of the zoo grounds to ensure the quality of the surrounding neighborhood is maintained and enhanced. According to the landscape and screening standards outlined in the Master Plan, a perimeter Type A landscape buffer twenty-five (25') feet wide is required along Spencer Street for this portion of the development site. Landscape buffer and screenings are defined in Exhibits F, 6, 9, 10 of the Master Plan. Perimeter fencing along Spencer Street may vary in location within the twenty-five (25') foot setback as depicted. A minimum of an eight (8') foot high fence shall be utilized in combination with landscape buffer and plantings required for screening. It is understood that the existing zoo grounds are currently surrounded with compliant landscape buffers and fencing with exception of the development site. To show compliance with the Toledo Zoo Institutional Master Plan, the addition of vegetative screening identical to that further west of the site is required to be installed and maintained indefinitely.

STAFF ANALYSIS (cont'd)

Design Standards

The facility will be setback approximately 126' from the Toledo Zoo property line along Spencer Street. The floor plan indicates that the facility will have an 84'-3" x 106'-0" footprint and will utilize chain link fencing to form ten (10') foot tall walkways and used to cover the entire facility. The facility will be designed as a series of chain link pens and concrete holding dens that will provide off-street exhibit housing and dens for animals. The core of the facility is comprised of five (5) concrete holding dens, a utility room, and a small examination room.

Bordering the central corridor to the north are three (3) chain link holding pens and boarding to the south of the corridor are two (2) chain link holding pens. All holding areas are accessed via a chain link perimeter keeper area or hallway that branches off into the core of the facility. The facility is only designed for "cold-hearted" species such as Amur tigers, snow leopards, and northern bears and therefore does not require the extensive infrastructure that would be needed for year-round housing of tropical species such as lions or cheetahs.

The Toledo Zoo Institutional Campus Master Plan

The Toledo Zoo mission statement is "to promote wildlife and its conservation through excellence in animal management, educational programs, and specific activities while providing our visitors with enjoyable, recreational, and family-oriented experience". Building a state-of-the-art education center will allow the Zoo to efficiently operate its educational programs and expand into such as "after hours programming" and informal public programs. Urban Design Guidelines for the "New Zoo", north of the Anthony Wayne Trail, are to enhance the visual continuity of the zoo property with continued development of visitor amenities, parking, and access. Design character is a blended mix of contemporary themed exhibits and visitor service structures meant to enhance and blend with the "Historic Zoo" grounds.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets all properties associated with the Toledo Zoo for IC Institutional Campus. The purpose of the IC Campus Institutional district is to accommodate large institutional uses in campus-like settings, such as hospitals, schools and colleges. The district is intended to promote and enhance the development and expansion of medical, educational and other large institutional uses while minimizing the adverse impacts that can result when such uses are located near residential neighborhoods. Institutional Campus Master Plans are intended to permit flexibility in site development and in the design and arrangement of buildings that is not possible when development occurs on a lot-by-lot basis.

STAFF ANALYSIS (cont'd)

Minor Site Plan Reviews are typically administratively approved but due to the nature of the proposal and the proximity to a residential neighborhood, in accordance with TMC§1111.0807.A.4 (Review & Decision-Making Criteria) the Planning Director has chosen to forward this proposal to the Plan Commission to solicit community testimony and to address public safety concerns. The approval of the Minor Site Plan Review is suitable for this location because it conforms to the 20/20 Comprehensive Plan and meets the stated purpose of The Toledo Zoo Institutional Master Plan.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve SPR-55-15, a request for a Minor Site Plan Review for new off-exhibit animal management facility with no modifications to parking or vehicular circulation located at 833 Spencer Street, for the following two (2) reasons:

1. The proposed use conforms to the Toledo 20/20 Comprehensive Plan.
2. The proposed use meets the stated purpose of the Toledo Zoo Institutional Campus Master Plan.

The staff further recommends that the Toledo City Plan Commission approve SPR-55-15, a request for Minor Site Plan Review to facilitate a new off-exhibit animal management facility with no modifications to parking or vehicular circulation a at 833 Spencer Street, subject to the following twenty-five (25) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
2. Detailed plans for water services 4-inch diameter and larger shall be submitted to the Division of Engineering Services for review and approval. Plan design and submittal shall comply with the current version of the City of Toledo DPU Infrastructure Design and Construction Requirements.
3. Contact the City of Toledo Fire Prevention Bureau to determine the fire-protection requirements for this site.
4. Contact the Division of Water Distribution to determine the backflow-prevention requirements for this site.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

5. New fire, domestic, and irrigation taps will be installed by City of Toledo at the owner's expense.
6. Plans submitted indicate earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan, Storm Water Pollution Prevention Plan (SWPPP), and plans for storm-water service for this project shall be submitted to the Division of Engineering Services for storm-water review and approval.
7. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for storm-water detention and post-construction storm-water Best Management Practices (BMPs).
8. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs). All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
9. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged and may be eligible for a percent reduction in the property's storm-water utility fee through the Storm Water Credit Program.
10. A site-specific Storm Water Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit.
11. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
12. No construction work, including any earth disturbing work will be permitted without approved plans and inspection.
13. A pre-submittal meeting is not required; however, one may be requested. Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Storm-water Drainage: Lorie Haslinger, ph. 419-245-3221;
Andy Stepnick, ph. 419-245-1338
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Tim Grosjean, ph. 419-245-1344

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

14. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
15. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
16. Any existing sewers under proposed buildings shall be relocated or abandoned. Developer shall verify any sewers to be abandoned are no longer in service.
17. Any sanitary sewer manholes in the area shall have solid lids installed on them

Sewer and Drainage Systems

18. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
19. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Fire Prevention

No comments or objections to the approval of the Site Plan Review.

Transportation

No comments or objections to the approval of the Site Plan Review.

Building Inspection

20. Permits will be required for the construction of the management facility structures and fencing.

Plan Commission

21. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks (**if applicable**).

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

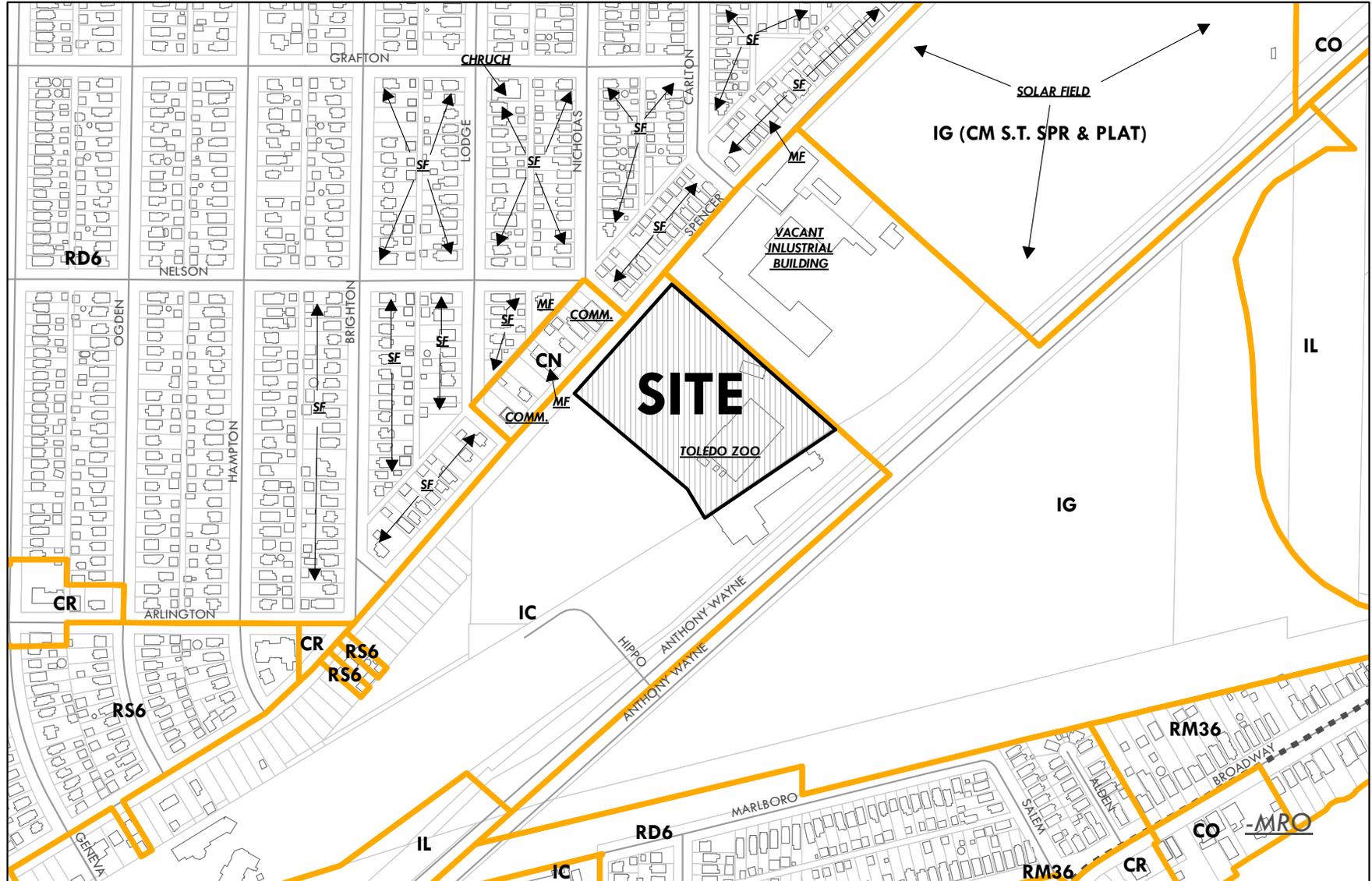
22. A detailed site, lighting, sign, fencing and four (4) landscape plans shall be submitted, separate from Building Plans, to the Plan Director for review and approval. Such plan shall include:
 - a. Per the approved Master Plan, a twenty-five (25') foot perimeter landscape buffer shall be provided along the street or place right-of-way along Spencer Street and shall be in accordance with Exhibit 6 of the Toledo Zoo Institutional Master Plan (**acceptable as submitted**);
 - b. At least one (1) tree must be provided in the frontage greenbelt for every thirty (30) feet of lot frontage or fraction thereof for this portion of the site;
 - c. Greenbelt frontage landscaping shall provide a minimum of fifteen (15) shrubs for every one-hundred (100) linear feet of frontage;
23. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commission of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed and maintained indefinitely.
24. Minor adjustments to the site plan that do not violate the above conditions or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
25. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions set forth above.

MINOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-55-15
DATE: January 14, 2016
TIME: 2:00 P.M.

GP
Five (5) sketches follow

ZONING & LAND USE

SPR-55-15
ID 20



SITE PLAN

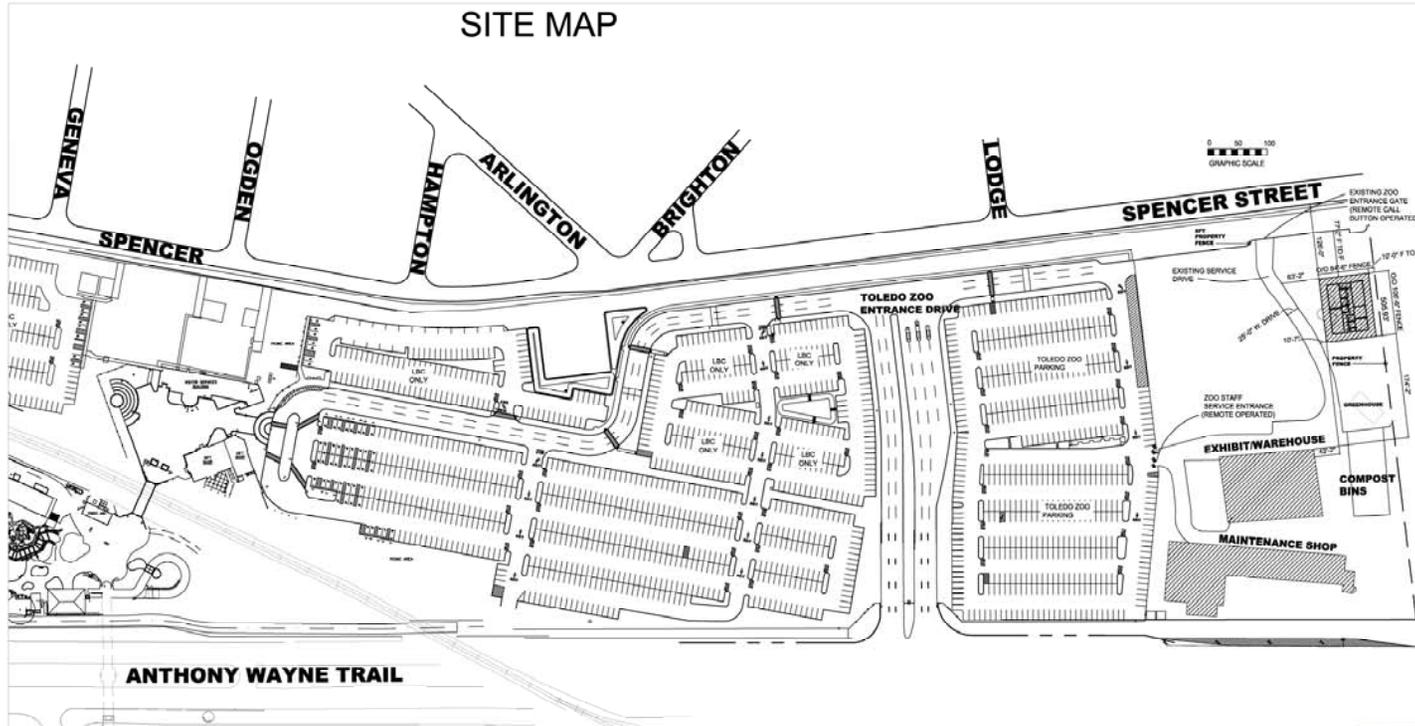
SPR-55-15
ID 20



THE TOLEDO ZOO

OFF EXHIBIT ANIMAL MANAGEMENT FACILITY

SITE MAP



GENERAL NOTES

INDEX PAGE
OFF EXHIBIT ANIMAL MANAGEMENT FACILITY
THE TOLEDO ZOO
P.O. BOX 140130
TOLEDO, OHIO 43624-0130

No.	Revision/Issue	Date
1	Minor Site Plan Review	25NOV15

TOLEDO ZOO

Toledo Zoo - Construction Department
P.O. Box 140130
2700 Broadway
Toledo, OH 43614
Phone: 419-385-5721
Fax: 419-389-3154

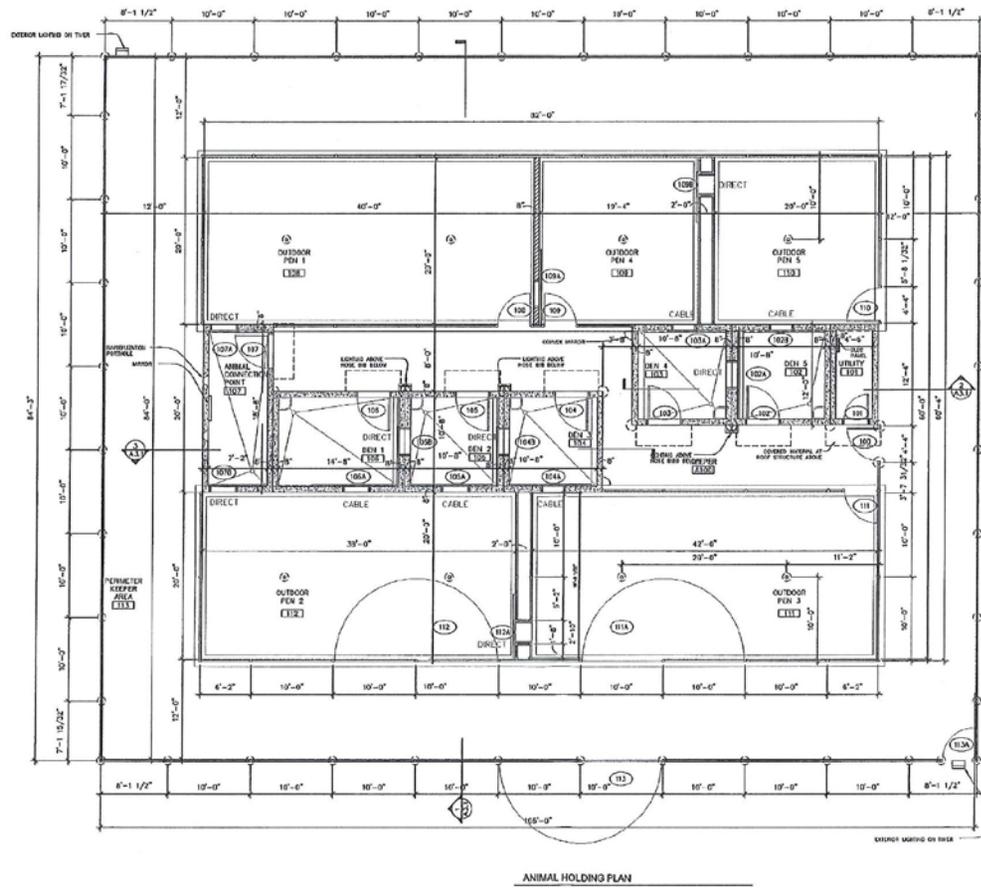
OFF EXHIBIT ANIMAL MANAGEMENT FACILITY
Drawing Title
INDEX_PAGE

Drawn By GRK	Scale AS NOTED	Sheet G000
Date 25NOV15		

2 - 12

FLOOR PLAN

SPR-55-15
ID 20



GENERAL NOTES

FLOOR PLAN
OFF EXHIBIT ANIMAL MANAGEMENT FACILITY
THE TOLEDO ZOO
P.O. BOX 140130
TOLEDO, OHIO 43624-0130

No.	Revisions/Notes	Date
1	Issue Site Plan Review	28/NOV/15
2		

TOLEDO ZOO

Toledo Zoo - Construction Department
P.O. Box 140130
2700 Broadway
Toledo, OH 43614
Phone: 419-385-6721
Fax: 419-389-3154

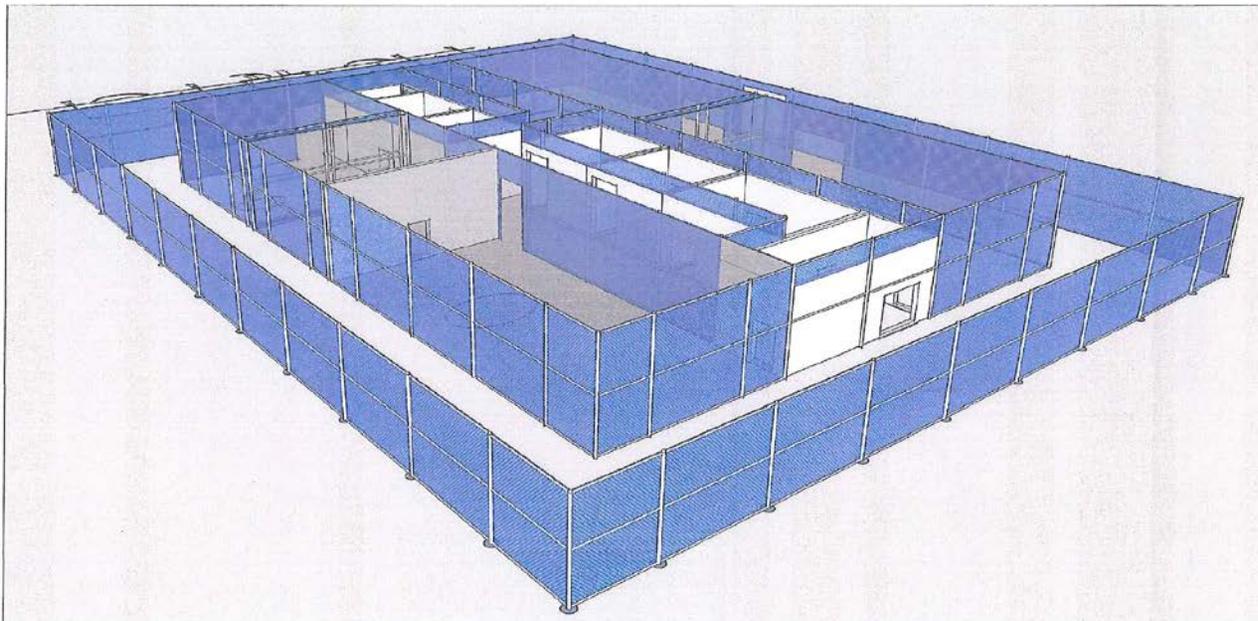
OFF EXHIBIT ANIMAL MANAGEMENT FACILITY
Drawing
FLOOR_PLAN

Drawn by: ORC
Date: 28NOV15
Scale: AS NOTED

Sheet No: A001

EXHIBIT 1

SPR-55-15
ID 20



000004 10/01

NO.	DESCRIPTION	DATE
1		
2		

TOLEDO
ZOO

**Toledo Zoo -
Construction Department**
P.O. Box 140120
2700 Broadway
Toledo, OH 43614
Phone: 419-265-5721
Fax: 419-580-3154

Project Name:
MINOR SITE REVIEW

Working Title:
EXHIBIT 1
OF PRIME ANIMAL ENVIRONMENT FACILITY

Scale:
AS SHOWN N.

Date:
2/28/2015

Sheet:
N/A **G-001**

GENERAL INFORMATION

Subject

- Request - Special Use Permit for a convenience store
- Location - 2346 Seaman Street
- Applicant - Sophie Ismail
3856 Sandalwood Drive
Toledo, OH 43623
- Engineer - Dwight Gilliland
Architecture by Design, LTD.
5622 Mayberry Square
Sylvania, OH 43560

Site Description

- Zoning - Neighborhood Commercial / CN
- Area - ± 0.22 acres
- Frontage - ± 90' on Seaman Street
± 110' on Van Buren Avenue
- Existing Use - Vacant Mixed Commercial Building
- Proposed Use - Convenience Store
- Parking Required - 8 spaces
- Parking Provided - 8 spaces

Area Description

- North - Seaman Street, Single-family Residential homes,
Lutheran Social Services building / RS6 & RD6
- South - Single-family Residential homes / RM36
- East - Van Buren Avenue, Single-family Residential
homes / RM36
- West - Multi-family Residential apartments / RM36

GENERAL INFORMATION (cont'd)

Parcel History

- | | | |
|--------------|---|---|
| SUP-5007-03 | - | Request for Special Use Permit for convenience store, disapproved by Plan Commission on 8/13/03, withdrawn at City Council Committee of Planning and Zoning hearing, 9/17/03. |
| SUP-10001-08 | - | Special Use Permit for Convenience Store (Plan Commission recommended approval on 1/8/2009. City Council Committee of Planning and Zoning voting tied on 3/18/2009, resulting in fail). |

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit for a convenience store, to be located at 2346 Seaman Street, in East Toledo. The overall site is ± 0.22 acres and consists of three (3) parcels with frontage on Seaman Street and Van Buren Avenue. The current site is zoned CN Neighborhood Commercial and is occupied by a two-story mixed-use commercial building that was built in 1912. The building initially functioned as a small grocery store for a number of years but currently sits vacant. The mixed-used commercial building will be renovated into the convenience store.

Surrounding land uses include Duplex Residential and Public Open Space to the north, Single-Family Residential homes to the east and south, and Multi-Family Residential apartments to the west.

Convenience Store Regulations

As defined in TMC§1116.0217, any food and beverage retail sale facility that occupies a floor area of less than 5,000 square feet is considered a convenience store. The hours of operation of a convenience store may be limited to 5:30 a.m. to 1 a.m., or other hours consistent with a liquor permit issued by the State of Ohio, as a condition of development approval. Particular attention will be given to convenience stores located adjacent to any residential district, school, place of religious assembly, park, or playground (TMC§1104.0601).

STAFF ANALYSIS (cont'd)

Convenience Store Regulations (cont'd)

The Special Use permit granted for a convenience store shall be subject to review on an annual basis and may be amended or revoked by action of City Council in consultation with the Plan Commission if said convenience store is determined to have significant negative secondary effects that have not been sufficiently alleviated under zoning, building or health code regulations (TMC§1104.0602).

A convenience store shall not be located within a 1,000 foot radius of a school, public park, public library, licensed child day care center, or other use established specifically for the activities of minors (Per TMC§1104.0603.B.). Separation distances between a proposed use and existing use or district are measured from property line to property line by the shortest distance. For leased space in multi-tenant properties, the measurement shall be from the outer boundaries of the leased space (TMC§1106.0208). There are two uses that trigger spacing violations established within the required 1,000 foot radius. The City of Toledo's Ravine Park located across Seaman Street is within 500 feet of the proposed convenience store. Additionally, The First St. John's Lutheran Church, located at 2741 Seaman Street, currently operates a day care center and is within 1,000 feet of the proposed convenience store.

Parking and Circulation

Ingress and egress to a parking lot in a Commercial district must be from a major street or from a street located in a Commercial or Industrial district with Commercial or Industrial zoning on the opposite side of the street (TMC§1107.1203.A.). The submitted site plan depicts the ingress and egress to the parking lot on Van Buren Avenue which is not a major street nor does it abut commercial or industrial zoning. Ingress/egress to Seaman Street would have the same issue. Therefore, there is no way to access the site without a waiver of TMC1107.1203.A.

Pursuant to TMC§1107.0304 – *Parking, Loading, and Access*: Schedule A, Food and Beverage Retail Sales facilities are subject to Schedule B, TMC§1107.0400 – *Off-Street Parking Schedule "B" Additional Commercial Standards* which require one (1) parking space per every 300 square feet of floor area and one (1) bicycle parking slots per ten (10) parking spaces. The site plan depicts a total floor area of 2,346 square feet, requiring eight (8) customer parking spaces with one (1) required van accessible space. The site plan submitted satisfies the requirements for off-street parking.

Per TMC§1107.1904.C. backing directly onto a street, place, or driveway where it could create interference with through or entering traffic flow is prohibited. An area for backing up or maneuvering to an adjacent aisle shall be provided at the end of a parking lot row. Additionally, the Division of Transportation has objected to the approval of the submitted site plan due to inadequate traffic circulation on the site. If approved, the proposed parking configuration must be modified to more closely meet the drive aisle width requirements of Toledo Municipal Code 1107.

STAFF ANALYSIS (cont'd)

Parking and Circulation (cont'd)

Two residential units on second story require 1.5 parking spaces per unit resulting in 3 parking spaces for residential uses. At this time the applicant does not intend to rent the apartment units, however, in the event the apartments do become occupied, additional parking or an alternative parking plan shall be submitted to designate residential spaces on the site.

Landscaping

Because the building sits at the property line, there is little opportunity to provide landscaping along the Seaman Street or Van Buren Avenue frontages. Per TMC 1108.0203 Landscape Buffer and Screening Requirements a Type A landscape buffer is required along adjoining residential zoning districts to the south and west sides of the property. If approved, this buffer shall include a solid privacy fence or wall and ten feet of landscaping including a combination of trees and shrubs.

The applicant has provided a landscape plan that offers seven (7) trees and twenty-one (21) shrubs along the west side of the property. The Type A landscape buffer requires a total of four (4) canopy trees and fifteen (15) shrubs, to be distributed along the buffer area. The landscape plan offers the appropriate amount of trees and shrubs.

A dumpster may not be located in any required setback or landscape buffers and shall be located as far away from residential areas as possible (TMC§1108.0203.G.5.). The submitted site plan depicts the dumpster along the southern property boundary abutting the residential district. Alternatively, the dumpster shall be located abutting the building where the site plan depicts a single parking space. However, in regard to traffic congestion and maneuverability on the site, a refuse collector truck would need adequate space for loading/unloading the dumpster which appears limited on the site.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this area for Neighborhood Commercial land uses. This portion of Seaman Street is residential in nature and the Toledo 20/20 Comprehensive Plan identifies the area of the existing commercial building as Single-Family Residential Zoning Designation.

Staff recommends disapproval of the Special Use Permit for the following reasons. First, the proposal does not meet the purpose and all applicable provisions of the zoning code as outlined in TMC 1111.0706 Review and Decision-making Criteria. Second, the Division of Transportation has objected to the Special Use Permit due to circulation issues. Third, the site cannot be accessed without a waiver of TMC 1107.1023.A. Finally, the Special Use Permit violates the spacing criteria of TMC 1104.0603.B.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of SUP-11001-15, a Special Use Permit for a convenience store located at 2346 Seaman Road, to Toledo City Council for the following five (5) reasons:

1. The proposed use does not meet the stated purpose of this Zoning Code (TMC§ 1111.0706.A Review & Decision-Making Criteria);
2. The Division of Transportation has objected to the proposed site plan due to restricted maneuvering aisles and circulation issues;
3. The proposed use does not comply with all applicable provisions of this Zoning Code; TMC§1111.0706 B Review & Decision-Making Criteria);
4. The proposed use violates Convenience Store Spacing Requirements which require a minimum of 1000' foot radius from a school, public park, licensed child day care center, or other use established specifically for the activities of minors (TMC§1104.0603.B.).
5. The proposed use is not consistent with the Toledo 20/20 Comprehensive Plan.

Although the staff is recommending disapproval, conditions of approval are as follows and are listed by agency of origin as Exhibit "A" for informational purposes.

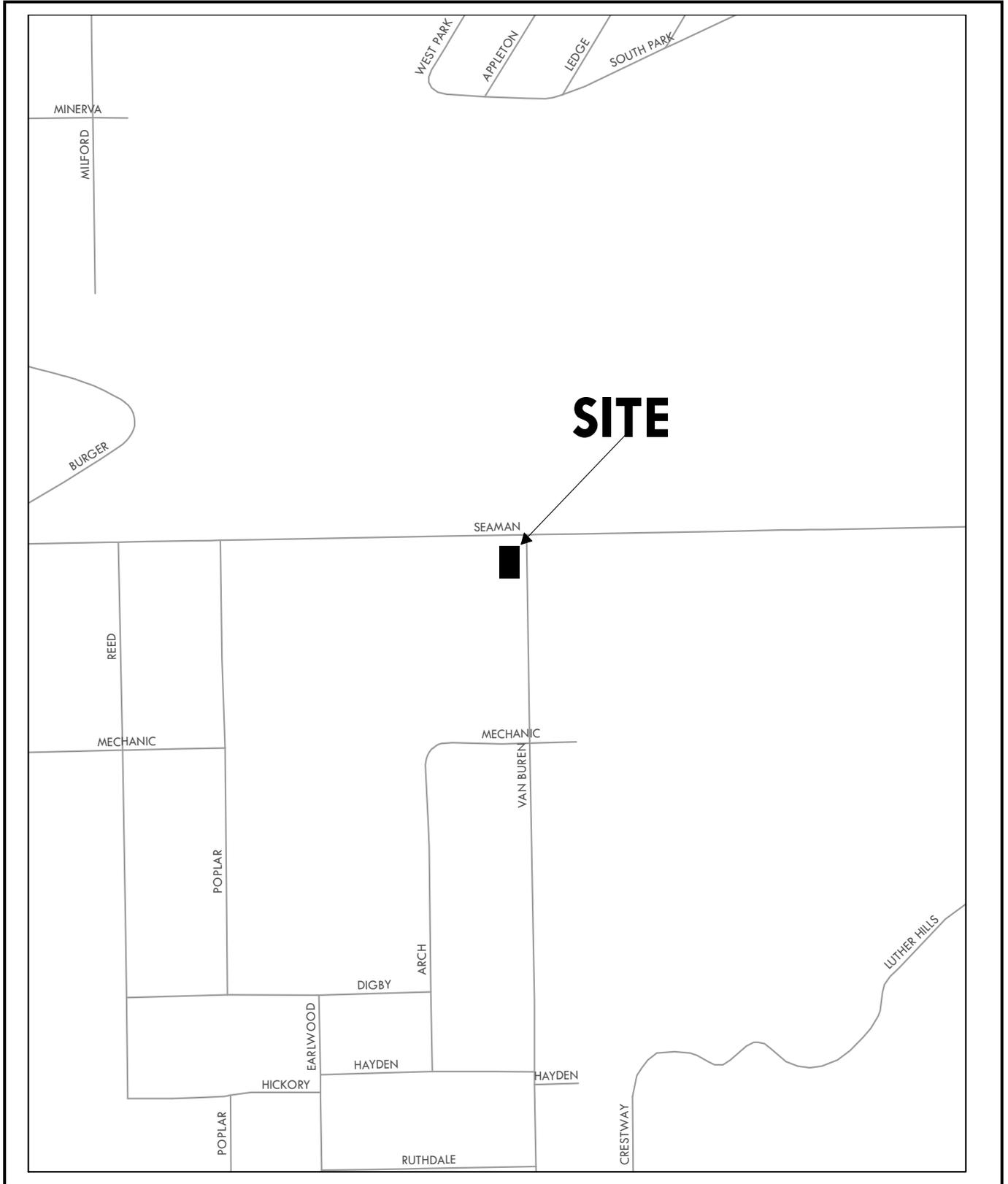
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-11001-15
DATE: January 14, 2016
TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: February 17, 2016
TIME: 4:00 P.M.

RS
Three (3) sketches follow
One (1) exhibit follows

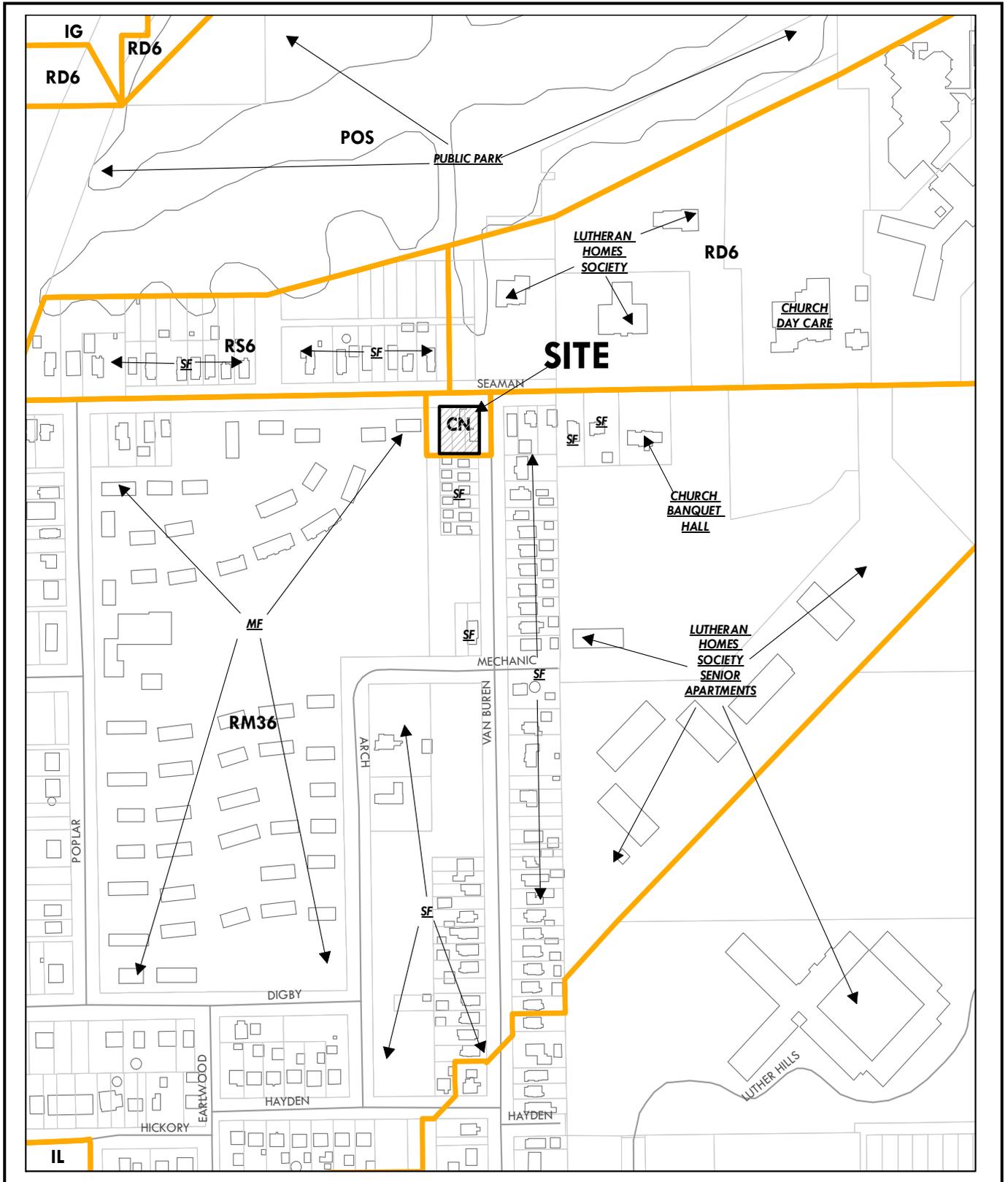
GENERAL LOCATION

SUP-11001-15
ID 26



ZONING & LAND USE

SUP-11001-15
ID 26



**Exhibit “A”
Review Agency Conditions**

The following thirty-four (34) conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **existing standard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch-thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained, before work begins, from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

5. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
6. Plans for new water service or modifications to existing water service shall be submitted to the Division of Engineering Services for review and approval.
7. Contact the Division of Water Distribution to determine the backflow-prevention requirements for this site.
8. Plans submitted indicate earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan, Storm Water Pollution Prevention, and plans for storm-water service for this project shall be submitted to the Division of Engineering Services for storm-water review & approval.

Exhibit “A” (cont’d)

Division of Engineering Services (cont’d)

9. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for storm-water detention and post-construction storm-water Best Management Practices (BMPs).
10. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs).
11. Any new storm drainage should be connected into the separated storm sewer.
12. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged and may be eligible for a percent reduction in the property’s storm-water utility fee through the Storm Water Credit Program.
13. A site-specific Storm Water Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit.
14. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
15. No construction work, including grading, will be permitted without approved plans and inspection.
16. A pre-submittal meeting is not required; however, one may be requested. Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850
Sanitary Sewers: Mike Elling, ph. 419-936-2276
Storm-water Drainage: Lorie Haslinger, ph. 419-245-3221;
Andy Stepnick 419-245-1338
Water: Andrea Kroma, ph. 419-936-2163
Roadway: Tim Grosjean, ph. 419-245-1344
17. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.

Exhibit “A” (cont’d)

Sewer & Drainage Services

18. Recommend that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
19. Recommend that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to Sewer & Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

20. Facility address numbers are required on the building. The numbers shall be visible from the street fronting the property. Numbers to be a minimum of 4” high by ½” wide.

Building Inspection

21. The three separate land parcels should be combined in to one single tax parcel to eliminate the need for “party walls” at the existing property lines.
22. Permits will be required for the construction of the building and parking lot improvements.

Division of Transportation

23. Traffic circulation on the site is inadequate. The proposed parking configuration should be modified to more closely meet the drive aisle width requirements of Toledo Municipal Code 1107.

Division of Economic Development

No concerns or objections.

Plan Commission

24. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks or along abutting residential areas (**unacceptable as depicted on site plan**).

Exhibit “A” (cont’d)

Plan Commission (cont’d)

25. All lots of the development site shall be combined into a single taxable parcel identification number.
26. The Special Use Permit may be reviewed for compliance with the conditions of approval, negative secondary effects, and adherence to all requirements of the Toledo Municipal Code. If outstanding issues are found and not addressed the Special Use Permit may be considered for revocation.
27. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)).
28. Applicant shall obtain a waiver of TMC§1107.0203.A.
29. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.
30. If the existing building is rebuilt or modified in the future, the building design shall meet the requirements of TMC§1109.0500 *Building Façade Materials and Color*. Exterior building materials shall not include concrete blocks, concrete panels or wood sheet goods as a predominant material. EIFS may not constitute more than 15% of the exterior for facades visible from the public right-of-way. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors.
31. A detailed site, lighting, sign, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A fifteen foot greenbelt is required along the Seaman Street frontage, and shall include a solid evergreen hedge planting and one tree per every 30 feet of frontage; **shall be noted on completed landscaping plan.**
 - b. A Type A Landscape Buffer is required along the rear of the property where the site abuts residential zoning. This buffer shall include ten feet of landscaping and a solid wood, board on board fence; **shall be noted on completed landscaping plan.**

Exhibit “A” (cont’d)

Plan Commission (cont’d)

- c. Interior site landscaping shall include one tree per 1000 square feet of building coverage. Greenbelt frontage trees are included in this total, minimum of 2 trees in the front and side yards. Interior site landscaping may consist of foundation shrub plantings and new tree planting or preservation of existing trees.
- d. Foundation plantings for the full street-facing building elevation; and landscape areas at major building entrances; **shall be noted on completed landscaping plan.**
- e. Total interior landscaping shall be 20 square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing; **not applicable.**
- f. All parking spaces must be within 100 linear feet of a landscaped area; **acceptable as depicted on site plan.**
- g. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; **not applicable.**
- h. Topsoil must be back filled to provide positive drainage of the landscape area.
- i. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage.
- j. Landscape terminal islands must be provided at the end of each parking row; **not applicable.**
- k. Divider medians that form a continuous landscaped strip may be installed between abutting rows of parking spaces, median shall be a minimum of 10’ in width; **not applicable.**
- l. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot (existing trees may be used for credits).
- m. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten feet (10’) in width; **shall be noted on completed landscape plan.**

Exhibit “A” (cont’d)

Plan Commission (cont’d)

- n. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards.
 - o. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details.
 - p. The location, height and materials for any fencing to be installed and maintained.
 - q. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and
 - r. The location, lighting and size of any signs.
32. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
33. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
34. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

GENERAL INFORMATION

Subject

- Request - Special Use Permit to add gasoline and fuel sales to existing convenience store
- Location - 1027 N. Reynolds Road
- Applicant - Ridi Reio LLC.
5131 Alexis Road
Sylvania, OH 43560
- Architect - Dwight Gilliland
Architecture by Design
5622 Mayberry Square
Sylvania, OH 43560

Site Description

- Zoning - Regional Commercial / CR
- Area - 0.672 acres
- Frontage - 148' along Reynolds Road
- Frontage - 156' along Darlene Drive
- Existing Use - Convenience Store with Gasoline and Fuel Sales
- Proposed Use - Convenience Store with Gasoline and Fuel Sales
- Required Parking - 13 spaces
- Proposed Parking - 14 spaces

Area Description

- North - Family Dollar/ CR
- East - Commercial Offices/ CR
- South - Advance Auto Parts/ CR
- West - Single Family Residential/ RS6

Parcel History

- SUP-208-83 - Special Use Permit to install a canopy over existing gas pumps for property at 1027 N. Reynolds Road. Plan Commission recommended approval on 12/01/1983. City Council approved on 12/20/1983, Ord. 1043-83.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

SUP-12004-13 - Special use permit for changes to convenience store and gas station. Case withdrawn (05-19-2014).

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Special Use Permit to expand an existing gas station and convenience store located at 1027 North Reynolds Road. The 0.672 acre site is zoned CR Regional Commercial and occupied by a 1,915 square foot building. The site currently has one (1) fuel island with four (4) dispensers covered by a canopy. The proposal includes the addition of three (3) new fuel islands (six (6) pumps), a new canopy and the realignment of the fuel islands.

Surrounding land uses include commercial uses east of the property across Reynolds Road and commercial uses immediately south of the site along Monroe Street. To the west of the parcel abuts a single-family residential district. North of the property, across Darlene Drive, are a variety of commercial uses.

Parking and Circulation

Pursuant to TMC§1107.0304 Parking, Loading, and Access – Schedule A, a convenience store with fuel sales is required to have one (1) parking space per pump (count as if parked at pump) plus one (1) parking space per 300 square feet of building area. The submitted plan indicates that a 1,913 square foot building currently exists on the site; therefore thirteen (13) parking spaces are required. The site plan indicates that eight (8) parking spaces are available. Parking is also provided at each fuel pump, resulting in a total of fourteen (14) parking spaces on site.

The site is currently accessed via three (3) curb cuts, two (2) along Reynolds Road and one (1) access point at Darlene Drive. The submitted plan depicts the removal of the northern curb cut along Reynolds Road. The Division of Transportation has no objection to the proposed site plan.

STAFF ANALYSIS (cont'd)

Landscaping and Screening

Upon site inspection, the existing landscaping shown on the submitted site plan does not accurately depict the existing conditions on the site. Fifteen (15) foot greenbelts are required along all street frontages for new developments. However, the site was developed before the 2004 zoning code and per TMC 1114.0500 is required to only be brought closer into compliance with the current landscape requirements. The applicant is proposing a twelve (12) foot greenbelt along the Reynolds Road frontage and approximately a five (5) foot greenbelt along Darlene Drive. However, there is opportunity to increase the greenbelt along Darlene Drive to fifteen (15) feet. The site plan depicts a dumpster along this frontage in the required front yard setback and in violation of TMC 1108.0203.G.5. This dumpster must be relocated elsewhere on site and once this occurs, enough space will be available to provide the appropriate frontage greenbelt along Darlene Drive. Additionally, one (1) tree per every thirty (30) linear feet of frontage and a solid evergreen hedge must be installed along with both greenbelts.

A Type A Landscape Buffer is required along the westerly and a portion of the southwesterly property lines, where the site abuts residential zoning. The site plan offers a ten (10) foot landscape area with a six (6) foot high board on board solid fence. This meets the requirement for a Type A Landscape Buffer and is acceptable, although plantings will be required per TMC 1108.0203.E.

Per TMC 1105.0302, the proposed fence must be reduced to a height of 3 ½ feet within the front yard setback along Darlene Drive. Additionally, the proposed 155 feet of board on board fence along the westerly property line is depicted off of the property line creating a void between it and an existing chain link fence. To reduce unmaintained landscaping, staff recommends that the proposed board on board fence be moved to sit as close to the property line and abutting the chain link fence as possible.

Staff is requiring that a separate landscape plan be submitted that addresses the issues of the frontage greenbelt along Darlene Drive, the relocation of the dumpster, the addition of plantings in the Type A Landscape Buffer, and the fence height and location.

Canopy Design

The site plan indicates there will be no changes to the existing commercial building on the property but a new canopy and fuel islands are proposed. Pursuant to TMC§1104.0903 Use Regulations – Canopies shall be set back a minimum of ten (10) feet from the property line, and shall be designed to be consistent with the building materials and colors of the principle building. Support columns shall be brick, brick base, or other durable materials compatible with the principle building. The applicant provided an elevation showing the use of brick in the areas of the support columns.

STAFF ANALYSIS (cont'd)

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Neighborhood Commercial land uses. As defined in the Toledo 20/20 Comprehensive Plan, a CN Neighborhood Commercial district is intended for predominantly small and medium scale commercial uses that serve neighborhoods. Small and medium scale office and mixed uses may be included. Gasoline and fuel sales facilities in the CN district are allowed as long as they are located on a major street.

Additionally, the site is large enough to meet all applicable provisions of the zoning code and meets the stated purpose of the zoning code.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-6005-15, to expand an existing gas station & convenience store located at 1027 N. Reynolds Road, to the Toledo City Council, for the following three (3) reasons:

1. The proposed use meets the stated purpose of this Zoning Code (TMC 1111.0706.A Review & Decision-Making Criteria);
2. The proposed use complies with all applicable provisions of this Zoning Code; TMC 1111.0706 B Review & Decision-Making Criteria);
3. The proposed use is consistent with the Toledo 20/20 Comprehensive Plan.

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP-6005-15, a Special Use Permit to expand an existing gas station & convenience store located at 1027 N. Reynolds Road to the Toledo City Council subject to the following thirty-three (33) conditions:

The conditions of approval are as follows and are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions

Division of Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch-thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop or opening.** Existing drive approaches, including the curb drop that will no longer be utilized, shall be removed and restored with curb to match the adjacent curb.
4. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

5. Do not construct permanent structures over unmetered water services. Plans submitted indicate earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan, Storm Water Pollution Prevention Plan (SWPPP), and plans for storm-water service for this project shall be submitted to the Division of Engineering Services for storm-water review and approval.
6. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for storm-water detention and post-construction storm-water Best Management Practices (BMPs).
7. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs).
8. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged and may be eligible for a percent reduction in the property's storm-water utility fee through the Storm Water Credit Program.
9. A site-specific Storm Water Pollution Prevention Plan (SWP3) shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit.
10. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
11. No construction work, including any earth-disturbing work will be permitted without approved plans and inspection.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

12. A pre-submittal meeting is not required; however, one may be requested. Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Sanitary Sewers: Mike Elling, ph. 419-936-2276

Storm-water Drainage: Lorie Haslinger, ph. 419-245-3221;

Andy Stepnick 419-245-1338

Water: Andrea Kroma, ph. 419-936-2163

Roadway: Tim Grosjean, ph. 419-245-1344

Sewer and Drainage Services

13. Recommend that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
14. Recommend that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to Sewer & Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

No comments or concerns.

Division of Environmental Services

15. Applicant shall maintain compliance with the City of Toledo's Stormwater regulations as specified in the Toledo Municipal Code.
16. Applicant shall maintain compliance with Ohio EPA's General Stormwater NPDES permit programs.
17. Applicant shall maintain compliance with the City of Toledo's Sanitary Sewer Use Regulations specified in the Toledo Municipal Code.
18. Applicant shall maintain compliance with the City of Toledo's Underground Storage Tank Requirements specified in the Toledo Municipal Code.

STAFF RECOMMENDATION (cont'd)

Division of Environmental Services (cont'd)

19. Applicant shall maintain compliance with the City of Toledo and State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Anti-Noise Laws.

Building Inspections

20. Permits will be required for the construction of the pump canopy and parking lot improvements.

Division of Economic Development

No comments or concerns.

Division of Transportation

21. The Division of Transportation does not object to the approval of the site plan by the Plan Commission.

Plan Commission

22. Canopy shall be set back a minimum of ten feet (10') from the property line (**acceptable as depicted on site plan**), and shall be designed to be consistent with the building materials and colors of the principal building. Support columns shall be brick, brick base, or other durable materials compatible with the principal building.
23. Flat lens lighting shall be used for all outside lighting, including canopies.
24. Pump islands shall be set back a minimum of fifteen feet (15') from the property line; **acceptable as depicted on site plan.**
25. Non-petroleum displays must be within twenty-five feet (25') of the building but not within twenty-five feet (25') of any right-of-way. The maximum height of such displays shall not exceed five feet (5').
26. Free air (with the capability of filling standard automobile tires), water, and restrooms shall be provided and maintained during operating hours of the station.
27. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscape areas.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

28. Dumpster location(s) shall have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks; **shall be noted on revised site plan. The site plan depicts the dumpster being located within the required front setback as defined in Sec. 1106.0102. The dumpster shall be located further away from Darlene Drive and closer to existing building on the site.**
29. A detailed site, lighting, fence, sign plan and four (4) landscape plans, separate from building plans, shall be submitted to the Plan Director for review and approval. Such plan shall include:
- a. The twelve (12) foot greenbelt is acceptable along the Reynolds Road frontage. A fifteen (15) foot greenbelt is required along the Darlene Drive frontage. Both greenbelts shall include one (1) tree per every 30 linear feet and a solid evergreen hedge along both right-of-ways; **shall be noted on revised landscape plan. The site plan does not indicate an adequate greenbelt along the Darlene Drive frontage. Detention facilities are not permitted in the frontage greenbelts.**
 - b. Type A Landscape buffer is required along the westerly and southwesterly property lines and shall include 10 feet of landscaping with a solid board-on-board fence. Plantings shall be added in this area per TMC 1108.02023.E.
 - c. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Material Standards, **acceptable as depicted on site plan.**
 - d. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground cover, **shall be noted on revised landscape plan.**
 - e. Topsoil must be back filled to provide positive drainage of the landscape area.
 - f. The location, height and materials for any fencing to be installed and maintained; **shall be noted on revised site plan. Fences may not exceed 3½ feet in height in the required front setback for commercial and industrial districts. Fencing located in the required front setback will need to be reduced from 6 feet to 3½ feet in order to comply with TMC 1105.0302. Fence shall be solid board-on-board.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- g. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties);
 - h. The location, lighting and size of any signage.
30. The Special Use Permit may be reviewed for compliance with the conditions of approval, negative secondary effects, and adherence to all requirements of the Toledo Municipal Code. If outstanding issues are found and not addressed the Special Use Permit may be considered for revocation.
31. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
32. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
33. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

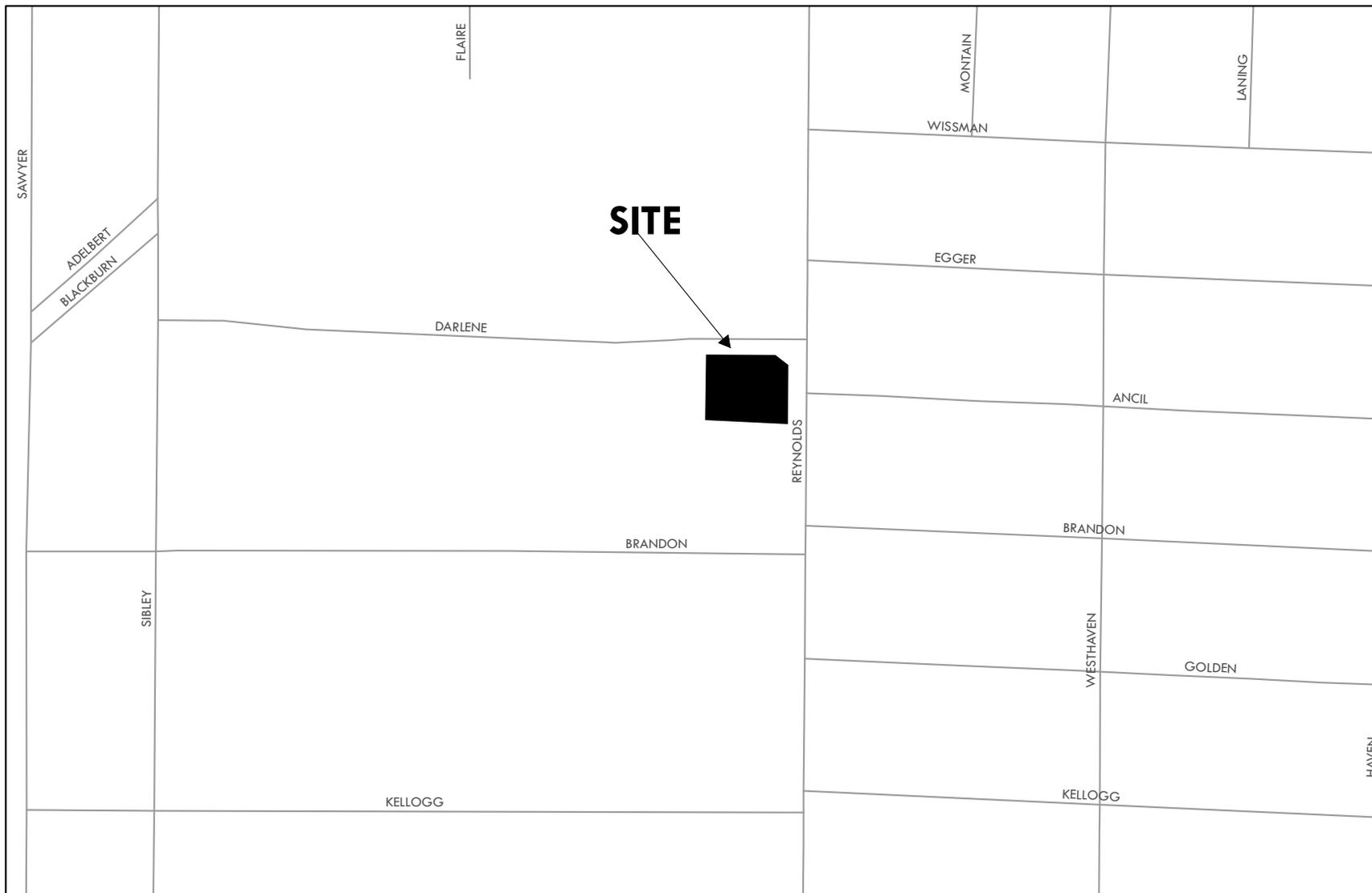
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-6005-15
DATE: January 14, 2016
TIME: 2:00 P.M.

TOLEDO CITY COUNCIL
ZONING AND PLANNING COMMITTEE
DATE: February 17, 2016
TIME: 4:00 P.M.

RS
Four (4) sketches follow

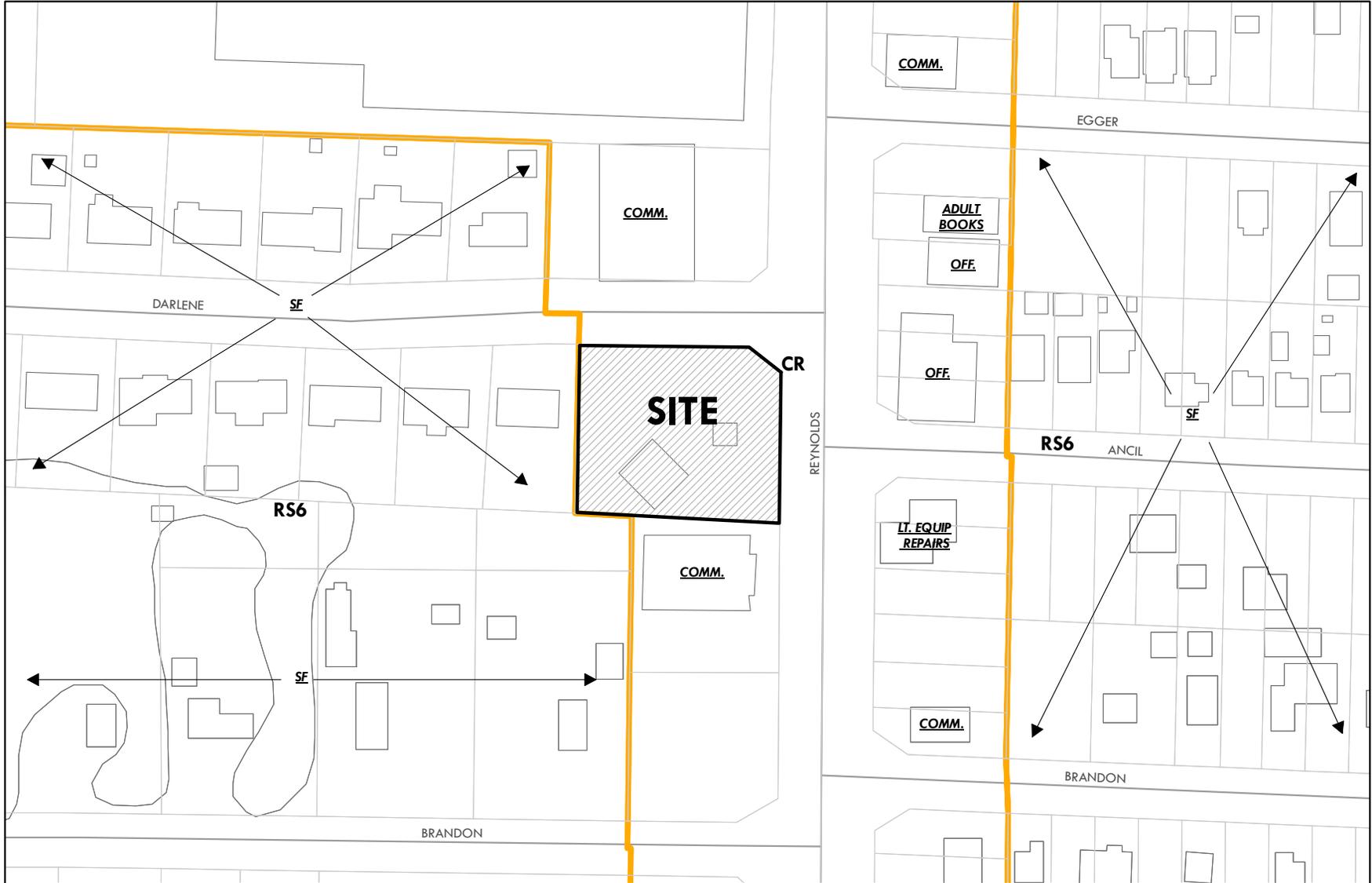
GENERAL LOCATION

SUP-6005-15
ID 119



ZONING & LAND USE

SUP-6005-15
ID 119



ELEVATIONS

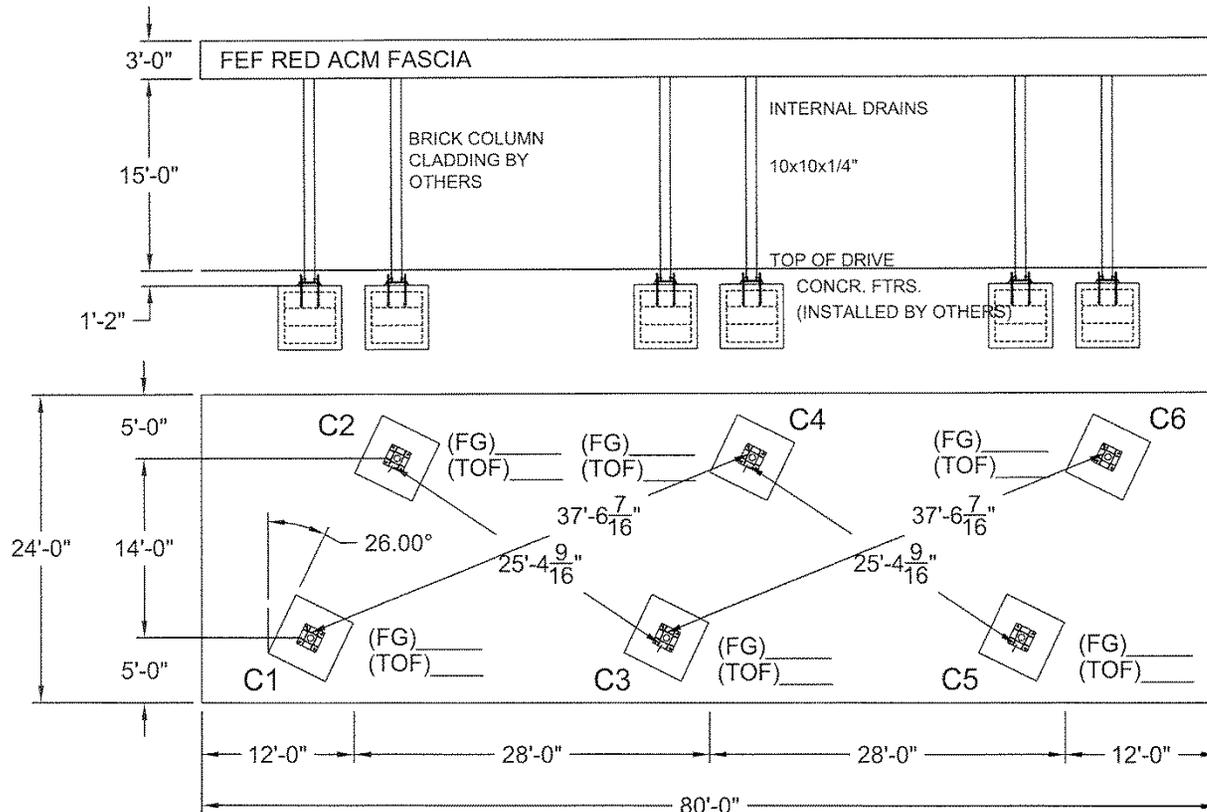
SUP-6005-15
ID 119



"QUICKIE PRELIM"
CUSTOMER TO REVISE IF NEEDED,
THEN SIGN AND RETURN

Preliminary Drawing
NOT TO BE USED FOR CONSTRUCTION
"SUBJECT TO CHANGE"

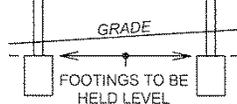
ABBREVIATIONS:
(FG) _____ ~ FINISHED GRADE ELEVATION
(TOF) _____ ~ TOP OF FOOTER ELEVATION



CONTRACTOR TO CALL TFC CANOPY AT TIME FOOTINGS ARE TO BE POURED TO VERIFY FOOTING SIZES, FOOTING DEPTHS, ANCHOR BOLT PATTERNS, COLUMN CENTERS AND THE AMOUNT OF SLOPE IN GRADE. FAILURE TO CALL SHALL RELEASE TFC FROM ANY ASSOCIATED LIABILITY.

IS GRADE SLOPED?

YES NO



CUSTOMER TO INDICATE: LOCATIONS & DIRECTIONS OF DRAINS, VENTS, CONDUITS. SIGN LOCATIONS, NORTH DIRECTION, COL. WRAPS. GRADE INFO.

ALL TFC COLUMNS TO DRAIN UNLESS NOTED OTHERWISE

SHEET 1 OF 2

DATE: Jul-06-2015
JOB: 2480Toledo
QUOTE: N/A

CUST: R.W Mercer
JOB LO: Toledo, OH



TFC CANOPY
1107 NORTH TAYLOR RD.
GARRETT, IN 46738
FAX - (260) 357-6533
PHONE - (260) 357-6665

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GENERAL INFORMATION

Subject

- Request - Text amendment to Chapter 1104.0603 of the City of Toledo Planning and Zoning Code to exempt gas stations with at least four (4) pumps from convenience store spacing requirements.
- Applicant - City of Toledo City Council
One Government Center, Suite 2120
Toledo, Ohio 43604

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning

STAFF ANALYSIS

This text amendment is to amend TMC 1104.0603 *Convenience Stores – Spacing Requirements* to add text exempting convenience stores that are partnered with gasoline and fuel sales facilities with more four (4) or more gas pumps from spacing requirements. The zoning code defines Convenience Store (TMC 1104.0600) and Gasoline and Fuel Sales Facilities (1106.0900) as separate principal uses, and each has standards that apply specifically to them. Spacing only applies to convenience stores. However, the two uses are often paired as one on the same site; therefore the spacing requirements of TMC 1104.0603 are applied accordingly.

The proposed text amendment targets only the standards listed for convenience stores. TMC 1104.0603 A and B specifies requirements spacing convenience stores from one another and from uses established specifically for the activities of minors (schools, parks, etc.). TMC 1104.0603.C provided measurement criteria and TMC 1104.0603.D exempts convenience stores located in any Community Entertainment District from spacing. The proposed text amendment will add TMC 1104.0603.E, and proposes to exempt convenience stores that have at least four (4) gasoline pumps from spacing.

Spacing requirements were originally introduced into the 1959 zoning code in 1993. They were removed from the 2004 zoning code and then reintroduced in 2009. On both instances, spacing requirements were added because the clustering of convenience stores led to secondary negative effects, such as littering and crime, which factored into the destabilization of neighborhoods.

STAFF ANALYSIS (cont'd)

Staff researched negative secondary effects in terms of nuisance conditions and crime. Using forty-two (42) convenience stores and thirty-four (34) gas station/convenience store addresses which were issued Special Use Permits (SUP) from 2007-2015, the Division of Code Enforcement provided data for Nuisance Abatement Enforcement Actions and citations issued from 2007-2015. Typical reports included nuisance conditions like junk, debris, trash, litter, graffiti, brush and tall grass along with zoning regulation infractions like exceeding maximum fence height or operating a business without a Special Use Permit. Results from the data indicated forty-two (48) reports of Nuisance Abatement Enforcement Actions from thirty-seven (37) convenience store and gas station/convenience store addresses. Eleven (11) of the addresses with Nuisance Abatement Enforcement Actions were issued citations more than once. This analysis indicates that convenience stores and gas station/convenience stores are problematic with regard to nuisance conditions but not directly correlated to the destabilization of neighborhoods.

With the help of crime analysts from the Toledo Police Department, crime report data was obtained for forty-two (42) convenience stores and thirty-four (34) gas station/convenience store addresses issued SUPs from 2007-2015. The crimes reported varied from minor misdemeanor charges like fraudulent checks to serious criminal felonies like assault and armed robbery. Total crime reports were summarized for each address and compared to convenience store crime reports. Analysis of the crime reports resulted in nearly twice the amount of crimes reported at gas stations that are paired with convenience stores rather than stand-alone convenience stores. Furthermore, all of the thirty-four (34) gas stations/convenience stores that were issued SUPs from 2007-2015 had a least two (2) pump islands with four (4) fuel pumps. As a result, there is no supporting evidence to exempt gas stations/convenience stores with at least four (4) existing fuel pumps in operation from the convenience store spacing requirements. A copy of total crimes reported for each convenience store and gas station/convenience store address is attached (Exhibit "B").

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of the amendment to the Planning and Zoning Code as shown in Exhibit "A" to the Toledo City Council.

REF: M-10-15...January 14, 2016
ZONING TEXT AMMENDMENT
TOLEDO CITY PLAN COMMISSION
REF: M-10-15
DATE: January 14, 2016
TIME: 2:00 p.m.

CITY COUNCIL PLANNING
AND ZONING COMMITTEE
DATE: February 17, 2016
TIME: 4:00 p.m.

RS
Exhibit "A" & "B" follows

Exhibit "A"

(Proposed additions are shown in bold italics,
proposed deletions are shown in strikethrough text)

1104.0603 Spacing Requirements

- A. A convenience store shall not be located within a 2,000 foot radius of another convenience store, whether that other convenience store is operating pursuant to a Special Use Permit or operating without such Special Use Permit by virtue of having been in operation prior to the requirement to obtain such permit.
- B. A convenience store shall not be located within a 1,000 foot radius of a school, public park, public library, licensed child day care center, or other use established specifically for the activities of minors.
- C. The distances specified in this section shall be measured per TMC 1106.0208, Distances for Spacing Requirements.
- D. A convenience store shall not be subject to the foregoing restrictions if the convenience store is located within the boundaries of any Community Entertainment District (CED) now in existence or subsequently established by ordinance of City Council.

(Ord. 568-09. Passed 11-24-09.)

- E. A convenience store shall not be subject to the foregoing restrictions if the convenience store is partnered with a gasoline & fuel sales facility that has at least four (4) fuel pumps in operation.***

Exhibit "B"

Total Crimes Reported at Recent SUP for Convenience Stores 2007-2015		Total Crimes Reported at Recent SUP for Gas Stations 2007-2015	
Address	Total Crime	Address	Total Crime
1103 SYLVANIA AVE	1	1005-1023 SOUTH AVE	2
1111 STARR AVE	47	1027 N REYNOLDS RD	15
1250 FLAIRE DR	3	1049 WESTERN AVE	15
1256 BROADWAY	19	1223 N BYRNE RD	86
1515 S BYRNE	74	1410 STARR	56
1853 EASTGATE RD	22	1438 W ALEXIS	2
1910 COLLINGWOOD	1	1702 W LASKEY	17
2011 STARR AVE	1	1829 EASTGATE	5
2029 S BYRNE RD	5	1853-1857 CENTRAL	11
2209 REYNOLDS	11	1872-1896 FRONT ST	40
22 S REYNOLDS	3	2202 S REYNOLDS & 5225 SOUTHWYCK	44
2301 LAGRANGE	9	2315 N DETROIT	62
2346 SEAMAN	6	2441 S REYNOLDS	41
2350 AIRPORT HWY	30	2445 W ALEXIS RD	16
2351 W SYLVANIA	1	2446 W ALEXIS RD	96
2467 NEBRASKA	4	2555 GLENDALE AVE	254
250 FEARING BLVD	44	2969-2963 TREMAINSVILLE	95
2600 SYLVANIA	193	2 N REYNOLDS RD	23
2603 DORR ST	14	3070 AIRPORT HWY	75
2938 STICKNEY AVE	5	30 S ST. CLAIR ST	1
2959 TREMAINSVILLE RD	4	3301 W CENTRAL	20
3131 W SYLVANIA AVE	21	3365 MONROE ST	107
320 N HURON ST	7	3405 CENTRAL AVE	171
3407 STICKNEY	2	3535 HEATHERDOWNS BLVD	10
3431 ELM ST	20	3841 AIRPORT HWY	3
3435 ELM ST	5	4401 HILL AVE	67
3519 W ALEXIS	21	4460 LEWIS AVE	2
3740 N SUMMIT ST	38	4630 MONROE ST	2
3944 SECOR	3	4633 SUDER AVE	157
4023 MONROE ST	4	4644 N SUMMIT ST	19
4365 HILL AVE	1	4933 SECOR RD	8
4625 N DETROIT	22	5001 DOUGLAS RD	15
503 OAKDALE AVE	1	740-758 E BROADWAY	1
522 S REYNOLDS RD	36	905 SOUTH AVE	49
5255 HILL AVE	25	34 Total	1587
551 S REYNOLDS	4		
5624 SECOR	11		
580 N BYRNE RD	3		
5831 DORR ST	5		
832 WALNUT	63		
841 W ALEXIS RD	2		
901 MADISON AVE	16		
42 Total	807		

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STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
CHRISTINE CUNNINGHAM
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

DIVISION OF FORESTRY
COMMISSIONER
2201 OTTAWA PARKWAY
TOLEDO, OH 43606
419-936-2326

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET
TOLEDO, OH 43601
419-245-6802

DIVISION OF WATER
RECLAMATION
COMMISSIONER
3900 N. SUMMIT STREET
TOLEDO, OH 43611
419-727-2602

DIVISION OF INSPECTION
COMMISSIONER
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
JEFF GRABARKIEWICZ
130-A W. DUDLEY
MAUMEE, OH 43537
419-893-1966

DIVISION OF TRANSPORTATION
COMMISSIONER
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
COMMISSIONER
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
KEITH EARLEY
1049 S. MCCORD ROAD
HOLLAND, OH 43528
419-213-2860

SERVICE DEPARTMENT
EDWARD MOORE, DIRECTOR
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD
TOLEDO, OH 43611
419-539-6078

LUCAS COUNTY
SANITARY ENGINEER
JIM SHAW
111 S. McCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT.
LANA GLORE, ENV. HEALTH SERV.
635 N. ERIE STREET ROOM 352
TOLEDO, OH 43604
419-213-4209

A T & T
ATTN: DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43604
419-245-7000

BUCKEYE CABLESYSTEM, INC.
GARY KASUBSKI
4818 ANGOLA ROAD
TOLEDO, OH 43615
419-724-3821

VERIZON
BRAD SNYDER
300 W. GYPSY LANE
BOWLING GREEN, OH 43402
419-354-9452

WATERVILLE GAS
JAMIE BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

OHIO GAS
MIKE CREAGER
13630 AIRPORT HWY.
SWANTON, OH 43558
419-636-1117

TIME WARNER
RAY MAURER
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

EMBARQ
117 E. CLINTON STREET
NAPOLEON, OH 43545
419-599-4030

CENTURYLINK
TIM R. TAYLOR
375 E. RIVERVIEW AVE.
NAPOLEON, OH 43502

