

*TOLEDO CITY
PLAN COMMISSION
REPORT*

August 11, 2016

*Toledo-Lucas County Plan Commissions
One Government Center, Suite 1620, Toledo, OH 43604
Phone 419-245-1200, FAX 419-936-3730*

MEMBERS OF THE TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

TOLEDO CITY PLAN COMMISSION

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(Chairman)

KEN FALLOWS
(Vice Chairman)

BALSHARAN SINGH GREWAL

OLIVIA HOLDEN

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**TOLEDO-LUCAS COUNTY PLAN COMMISSIONS
APPLICATION DEADLINE, AGENDA, STAFF REPORT AND HEARING
SCHEDULE - 2016**

APPLICATION DEADLINE*	AGENDA SET	STAFF REPORT DISTRIBUTED	HEARING DATE
CITY PLAN COMMISSION (<i>HEARINGS BEGIN AT 2PM</i>)			
November 30	December 28	December 31**	January 14
December 28	January 25	January 29	February 11
January 25	February 22	February 26	March 10
February 29	March 28	April 1	April 14
March 28	April 25	April 29	May 12
April 25	May 23	May 27	June 9
May 30	June 27	July 1	July 14
June 27	July 25	July 29	August 11
July 25	August 22	August 26	September 8
August 29	September 26	September 29	October 13
September 19	October 17	October 31	November 3**
October 17	November 14	November 18	December 1**
COUNTY PLANNING COMMISSION (<i>HEARINGS BEGIN AT 9AM</i>)			
December 14	January 11	January 15	January 27
January 11	February 8	February 12	February 24
February 8	March 7	March 11	March 23
March 14	April 11	April 15	April 27
April 11	May 9	May 13	May 25
May 9	June 6	June 10	June 22
June 13	July 11	July 15	July 27
July 11	August 8	August 12	August 24
August 15	September 12	September 16	September 28
September 12	October 11**	October 14	October 26
October 3	October 31	November 4	November 16**
October 31	November 28	December 2	December 14**

* County deadlines are for Preliminary Drawings

** Date shifts are due to holidays

**Conversion Table
Toledo Zoning Code Update - Zoning District Designations**

Existing District	New District Effective June 6, 2004
R-A, Single Family	RS12, Single Dwelling
R-B, Single Family	
R-1, Single Family	RS9, Single Dwelling
R-2, Single Family	RS6, Single Dwelling
R-3, Two Family	RD6, Duplex
R-2A, Restricted Multi Family	RM12, Multi Dwelling
None	RM24, Multi Dwelling
R-4, Multi Family	RM36, Multi Dwelling
R-4A, Multi Family	
R-5, Multi Family	
R-MH, Manufactured Home	RMH, Manufactured Housing Park
Commercial Districts	
C-1, Neighborhood	CN, Neighborhood
N-MX, Neighborhood Mixed Use	
C-2, Restricted Office	CO, Office
C-7, Office Park	
C-6-HS Redevelopment - Heritage South*	CS, Storefront
C-6-LA, Redevelopment - Lagrange*	
C-MX, Community Mixed Use	CM, Mixed Use
C-3, Commercial	CR, Regional
C-4, Shopping Center	CR-SO, Regional - Shopping Ctr. Sign Overlay
C-5, Central Business District	CD, Downtown
Industrial District	
M-1, Restricted Industrial	IL, Limited Industrial
M-2, Industrial	IG, General Industrial
M-4, Warehouse	
M-3, Planned Industrial	IP, Planned Industrial/Business Park
Special Purpose District	
P, Parks	POS, Park & Open Space
None	IC, Institutional Campus
Overlay Districts	
CUP, Community Unit Plan	None
D.O.D, Downtown	-DO, Downtown
HD, Historic District	-HO, Historic District
MR-O, Maumee River	-MRO, Maumee River
None	-UNO, Urban Neighborhood
None	-PO, Pedestrian
None	-SO, Shopping Center Sign

*The Heritage South and Lagrange C-6 Standards remain unless repealed

TOLEDO-LUCAS COUNTY PLAN COMMISSIONS

August 11, 2016

2:00 p.m.

PUBLIC HEARING WILL BE HELD AT ONE GOVERNMENT CENTER

AT JACKSON BOULEVARD AND ERIE STREET

IN COUNCIL CHAMBERS

ON THE FOLLOWING CASES

AGENDA

ROLL CALL - Toledo City Plan Commission

PROOF OF NOTICE

SWEARING IN

MINUTES

FINAL PLATS

DIRECTOR'S REPORT

CHAIRMAN'S REPORT

**ITEM
NO.**

CASE DESCRIPTION

- | | |
|-----------------|---|
| 1. SPR-27-16: | Major Site Plan review for building addition and parking lot at 3044 Jeep Parkway (rs) |
| 2. V-274-16: | Vacation of a portion of an alley running north from Expressway Drive North along lots 139-142 in the Northlawn Addition (gp) |
| 3. Z-6003-16: | Zone Change from CR to CM at 4901 Summit Street (gp) |
| 4. Z-6004-16: | Zone Change from IL to CD at 1210 Jackson Street (rs) |
| 5. Z-5005-16: | Zone Change from RD6 to RM36 at 2205 Parkwood Avenue (mm) |
| 6. SUP-7001-16: | Special Use Permit for community recreation – active, at 111 Ottawa Street (rs) |
| 7. SPR-29-16: | Major Site Plan review for new restaurant and parking lot at 5060 Monroe Street (gp) |

8. SUP-2005-16: Special Use Permit for used auto sales facility at 2965-2975 Sylvania Avenue (rs)
9. SPR-8-16: Appeal of Administrative Disapproval of Minor Site Plan review for site alterations at 4460 Lewis Avenue (gp)
10. SPR-16-16: Appeal of Administrative Disapproval of Minor Site Plan review for sports and recreation - and associated parking lots at 1902 Starr Avenue (rs)
11. M-13-16: Text Amendment to TMC 1116 to modify the definition for commercial parking lot (jl)

GENERAL INFORMATION

Subject

- Request - Major Site Plan Review for building addition and parking lot
- Location - 3044 Jeep Parkway
- Applicant - Brian Perz
Toledo-Lucas County Port Authority
One Maritime Plaza
Toledo, OH 43604
- Engineer - Jeff Myers
Mannik & Smith Group, Inc.
1800 Indian Wood Circle
Maumee, OH 43537
- Attorney - Dawn Wenk
Toledo-Lucas County Port Authority
One Maritime Plaza
Toledo, OH 43604

Site Description

- Zoning - General Industrial / IG
- Area - ± 22.97 acres
- Frontage - ± 1000' along Jeep Parkway
- Existing Use - Manufacturing facility and parking lot
- Proposed Use - Manufacturing facility and parking lot

Area Description

- North - Vacant industrial land / IG
- South - Central Avenue, vacant commercial structure / CR
- East - Pennsylvania Lines railroad / IG
- West - Vacant industrial land / IG

GENERAL INFORMATION (cont'd)

Parcel History

- | | | |
|-----------|---|---|
| S-5-13 | - | Preliminary Drawing Review of Overland Industrial Park Plat 1 at 1000 Jeep Parkway (Plan Commission approved preliminary plat drawing with conditions on 5/9/2013. Final Plat approved 7/11/2013). |
| SPR-49-13 | - | Major Site Plan Review for new 100,000 sq. ft. "Spec" building with 82 parking spaces for Port Authority at 1000 Jeep Parkway (Plan Commission approved with conditions on 12/05/2013). |
| S-9-16 | - | Preliminary Drawing Review of the Replat of Overland Industrial Park Plat 1 at 1000 Jeep Parkway (Plan Commission approved Preliminary Drawing on 7/14/2016. Final Plat set for 8/11/2016 P.C. Hearing.). |

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- Toledo Vacant Industrial Land Use Report

STAFF ANALYSIS

The applicant is requesting a Major Site Plan Review for a building addition and parking lot at 3044 Jeep Parkway. The site is currently occupied by a 102,000 sq. ft. building with plans for the expansion of two new additions of 139,800 square feet to the north and 58,300 square feet to the south. The proposed additions with the existing building will total 300,000 square feet. Pursuant to TMC§1111.0802(B)(1) & (2), a Major Site Plan Review is required for all nonresidential developments with a floor area of more than 50,000 square feet and for proposed off-street parking with 60 or more spaces. Surrounding land uses include vacant industrial land to the north and west of the property; railroads to the east and a vacant commercial building across Central Avenue to the south.

STAFF ANALYSIS (cont'd)

The 22.97 acre site is zoned IG General Industrial and is located on Lot 1 which is the larger of three (3) parcels that were created as part of the REPLAT OF OVERLAND INDUSTRIAL PARK PLAT 1. The purpose for the replat was to consolidate two existing lots and add two new lots. This replat also included a proposed roadway, drainage and utility easement that is located on Lot 2 just north of the proposed site. Additionally, the replat also included a proposed 20' wide waterline easement to connect to an existing easement on Lot 1 that runs along the eastern property boundary to the southwest corner of the property.

Parking and Circulation

The site plan submitted depicts two accesses from Jeep Parkway and one access onto the proposed roadway to the north of the site. Total number of parking spaces provided on site is 332 spaces. Parking requirements for industrial manufacturing and warehouse facilities are calculated cumulatively as listed in TMC§1107.0500 *Off-Street Parking Schedule "C" Additional Industrial Standards*. Calculations using the cumulative square feet of floor area indicate a total of 154 parking spaces are required for the facility. Pursuant to TMC§1107.0302 *Maximums* – an applicant may provide up to 150 percent of the minimum required parking, or 231 spaces. As stated in TMC§1107.1400 *Alternative Access and Parking Plans*, the Director of Planning is authorized to approve alternative parking plans that permit off-street parking spaces in excess of the allowed 150 percent maximum. The parking provided for the proposed expansions exceeds the minimum number of off-street parking spaces.

An alternative parking plan has been submitted to the Director to justify the parking in excess of 150 percent. The applicant stated parking on site is designed to accommodate an estimated 100 employees per shift with three (3) shifts per day, office employees, truck traffic, delivery and service vehicles, as well as visitor parking. Based upon the parking demands provided by the applicant, the Director has determined that the alternative-parking plan is acceptable.

In addition to the required off-street parking, loading zones and bicycle parking is also required. TMC1107.1000 *Off-street Loading Schedule* - requires five (5) loading spaces plus one (1) for each 80,000 square feet or fraction thereof in excess of 250,000 square feet be provided, resulting in a total of six (6) loading spaces. The site plan submitted indicates thirty-four (34) loading spaces along the eastern portion of the proposed building expansions. The required bicycle parking is one (1) bicycle space per ten (10) automobile spaces. The site plan submitted indicates thirty-four (34) bicycle parking spaces which exceed the minimum requirements.

Landscaping

Per TMC§1108.0202 *Frontage Greenbelts*, sites over five (5) acres are required to provide a thirty (30) foot frontage greenbelt. The frontage greenbelt shall include a solid evergreen hedge to screen the parking lot. Low, undulating (horizontal and vertical) earth berms or decorative stone or brick walls (no concrete block), or ornamental metal fencing or combinations thereof may also be approved by the Planning Director.

STAFF ANALYSIS (cont'd)

Landscaping (cont'd)

The landscape plan submitted depicts a thirty-foot (30') frontage greenbelt with landscaping and a six-foot (6') aluminum fence, requiring a variance, to screen the proposed parking lot. Additionally, a twelve-foot (12') retaining wall is proposed in the northwest portion of the site along the roundabout on Jeep Parkway. A variance of TMC§1105.0303(A)(1), through the Board of Zoning Appeals, will be required to allow for the proposed six-foot (6') aluminum fence and twelve-foot (12') retaining wall to be installed within the required thirty (30) foot front setback.

The applicant has provided a landscape plan that offers thirty-eight (38) trees and three hundred eighty (380) shrubs in the frontage greenbelt. Additionally, the site plan also indicates that plantings will be installed along the foundation of the buildings and along all perimeter property lines. The landscape plan offers the appropriate amount of trees and shrubs and is acceptable as submitted.

Building Materials

The building elevations indicate the use of precast painted concrete wall panels with accent banding on all facades. In addition, the applicant will provide glass-recessed areas and entry features on the front of the building with aluminum-framed windows on the north, south and west sides. Pursuant to TMC§1109.0400 along major streets, 30% of the building frontage shall not consist of a blank wall and the building shall be painted subtle, neutral or earth tone colors with the exception of the trim and accent areas. The elevations provided meet the criteria required for a new industrial building of this size.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this area for Heavy Industrial land uses. This includes industrial manufacturing and other moderate to high-impact industrial uses, including large scale or specialized industrial operations requiring good transportation access and public facilities and services. The Toledo Vacant Industrial Land Use Report recommends the parcels in the "Jeep Study Area" to be used for industrial purposes. The proposed use of this site is in compliance with the Toledo 20/20 Comprehensive Plan and the Toledo Vacant Industrial Land Use Report. Staff recommends approval of the Site Plan Review for this location because it complies with all standards of the Toledo Zoning Code. Additionally, the proposed land use is allowed within the current zoning district of the property. Finally, the proposed use will provide for safe, efficient and convenient movement of traffic.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission approve SPR-27-16, a Major Site Plan Review for a building addition and parking lot at 3044 Jeep Parkway for the following four (4) reasons:

1. The proposed use conforms to the Toledo 20/20 Comprehensive Plan and the Toledo Vacant Industrial Land Use Report.
2. The proposed land use complies with all standards of the Toledo Municipal Code, Zoning Code and other adopted City policies (TMC§1111.00809.A Approval Criteria).
3. The proposed land use is allowed in the zoning district which it is located (TMC§1111.0809.B Approval Criteria); and
4. Vehicular ingress and egress to and from the site will provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well (TMC§1111.0809.C. Approval Criteria).

The staff further recommends that the Toledo City Plan Commission approve SPR-27-16, a Major Site Plan Review for a building addition and parking lot at 3044 Jeep Parkway subject to the following forty-seven (47) conditions:

The conditions of approval are as follows and are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. A pre-submittal meeting is not required; however, one may be requested. Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Right-of-Way and Inspection: Joe Warnka 419-245-1220

Roadway: Tim Grosjean, ph. 419-245-1344

Water: Andrea Kroma, ph. 419-936-2163

Stormwater Drainage: Lorie Haslinger, 419-245-3221; Andy Stepnick, 419-245-1338

Sanitary Sewers: Mike Elling, ph. 419-936-2276

2. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

3. All **proposed** roadway, sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way or proposed for future right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
4. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch-thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop or opening.** Existing drive approaches, including the curb drop, that will no longer be utilized shall be removed and restored with curb to match the adjacent curb.
5. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. Contact the Division of Engineering Services for current Water General Notes for the plans. Allowable materials for domestic water services include ductile iron pipe (4-inch diameter and larger) or Type K copper (2-inch diameter and smaller).
8. Clarify the extent of water main being abandoned or removed. Do not construct the building over any portion of water main that is to remain in service.
9. If the existing connection to the Jeep Parkway water main is to be abandoned, it will be abandoned by the City of Toledo at the developer's expense. If existing water manholes are to be abandoned, they shall be abandoned by the Contractor at the developer's expense.
10. Detailed plans for the water services shall be submitted to the Division of Engineering Services for review and approval. Plan design and submittal shall comply with the current version of the City of Toledo DPU Infrastructure Design and Construction Requirements.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

11. Maintain 10 feet of horizontal clearance between existing or proposed water service and existing or proposed sanitary or storm sewers. Maintain 4 feet of horizontal clearance between existing or proposed water service and any other underground utility. Maintain 18 inches of vertical clearance between existing or proposed water service and sanitary or storm sewers. Maintain 12 inches of vertical clearance between existing or proposed water service and any underground utility.
12. New fire, domestic, and irrigation taps will be installed by City of Toledo at the developer's expense.
13. If existing public water facilities are in conflict and must be relocated, they will be relocated by the City of Toledo at the developer's cost.
14. All commercial properties are required to have approved backflow protection devices installed on the domestic water service and fire protection lines. Installation of the devices must be verified by the Division of Water Distribution and all devices must be registered with BSIonlinetracking.com at 800-414-4990. Contact the Division of Water Distribution (419-245-1395) to verify the backflow prevention requirements for this site.
15. The water meter setting detail, including meter bypass and backflow preventer, shall be submitted to the City of Toledo Backflow Prevention Coordinator, 401 S. Erie Street, Toledo, OH 43602.
16. Contact the City of Toledo Fire Prevention Bureau (419-245-1263) to verify the fire protection requirements for this site. Verify that the hydrant locations shown are acceptable to the Toledo Fire Prevention Bureau.
17. Contractors performing work on new or existing fire systems shall be licensed by the State of Ohio Fire Marshall and certified by the City of Toledo Fire & Rescue Department.
18. The plan submitted for plan commission review indicates earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan and plans for stormwater service shall be submitted directly to the Division of Engineering Services for stormwater review and approval. The Phase I stormwater management pond, shown on Page C4, has been previously approved to satisfy the Post-construction Stormwater Best Management Practices (BMPs) for this site.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

19. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for storm-water detention and post-construction storm-water Best Management Practices (BMPs).
20. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs) to provide sediment and erosion control during construction. Construction BMPs shall be designed and installed per the latest Ohio EPA General Storm Water NPDES permit.
21. All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
22. All sites disturbing 2,500 sq. ft. or more shall develop a site specific Storm Water Pollution Prevention Plan (SWP3) that shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit and shall accompany a completed Ohio EPA SWP3 Checklist. The checklist can be found at the following link: http://epa.ohio.gov/dsw/storm/const_SWP3_check.aspx
23. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged and may be eligible for a percent reduction in the property's storm-water utility fee through the Storm Water Credit Program.
24. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
25. No construction work, including any earth-disturbing work, including any earth-disturbing work, will be permitted without approved plans and inspection.
26. Sanitary-sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
27. A single sanitary-sewer tap from this site shall be allowed into the public sanitary-sewer system. Developer shall use existing sanitary tap, when available.
28. All sanitary-sewer manholes in the project area shall have solid lids installed on them.

STAFF RECOMMENDATION (cont'd)

Sewer & Drainage Services

29. All private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
30. All private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to Sewer & Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

31. Relocation or installation of private fire service mains, PIVs and hydrants shall be performed by contractors licensed for such work by the State of Ohio Fire Marshal's Office and registered as a Fire Protection Contractor in the City of Toledo per the requirements of the Toledo Municipal Code.
32. Installing Fire Protection Contractors shall contact the Fire Prevention Bureau at phone number: 419-245-1140 to schedule all required inspections and tests.

Division of Environmental Services

33. Applicant shall maintain compliance with the City of Toledo's Stormwater regulations as specified in the Toledo Municipal Code.
34. Applicant shall maintain compliance with Ohio EPA's General Stormwater NPDES permit programs.
35. Applicant shall provide inspection and maintenance records on the existing Post-Construction BMP for this site. If Post-Construction BMP inspection hasn't been performed within the last 6 months, please proceed with a current inspection and submit inspection records to the City of Toledo, Division of Environmental Services.
36. Any green infrastructure measures that can be included to minimize runoff and increase infiltration are highly advisable.
37. Applicant shall maintain compliance with the City of Toledo's stormwater regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential stormwater impacts from the facility, including but not limited to long-term operation and maintenance of both structural and non-structural Best Management Practices.

STAFF RECOMMENDATION (cont'd)

Division of Environmental Services (cont'd)

38. Applicant shall maintain compliance with the City of Toledo and State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Anti-Noise Laws.

Division of Transportation

No comments or objections to the submitted site plan.

Plan Commission

39. The proposed six-foot (6') fence and twelve-foot (12') masonry wall to be installed within the thirty-foot (30') front setback requires a variance of **TMC§1105.0302(A)(1)** through the Board of Zoning Appeals.
40. Applicant shall submit construction documents to the Division of Building Inspection for the proposed twelve-foot (12') masonry retaining wall to be installed on site.
41. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
42. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)).
43. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.
44. A detailed site, lighting, sign, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval (**acceptable as submitted**). Such plan shall include:
- a. A thirty-foot (30') greenbelt is required along the Jeep Parkway frontage, and shall include a solid evergreen hedge planting and one tree per every 30 feet of frontage; **acceptable as depicted on landscape plan.**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- a. Topsoil must be back filled to provide positive drainage of the landscape area **(acceptable as submitted)**.
 - b. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage **(acceptable as submitted)**;
 - c. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards **(acceptable as submitted)**.
 - d. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details.
 - e. The location, height and materials for any fencing to be installed and maintained **(acceptable as submitted)**.
 - f. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and
 - g. The location, lighting and size of any signs.
45. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
46. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
47. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

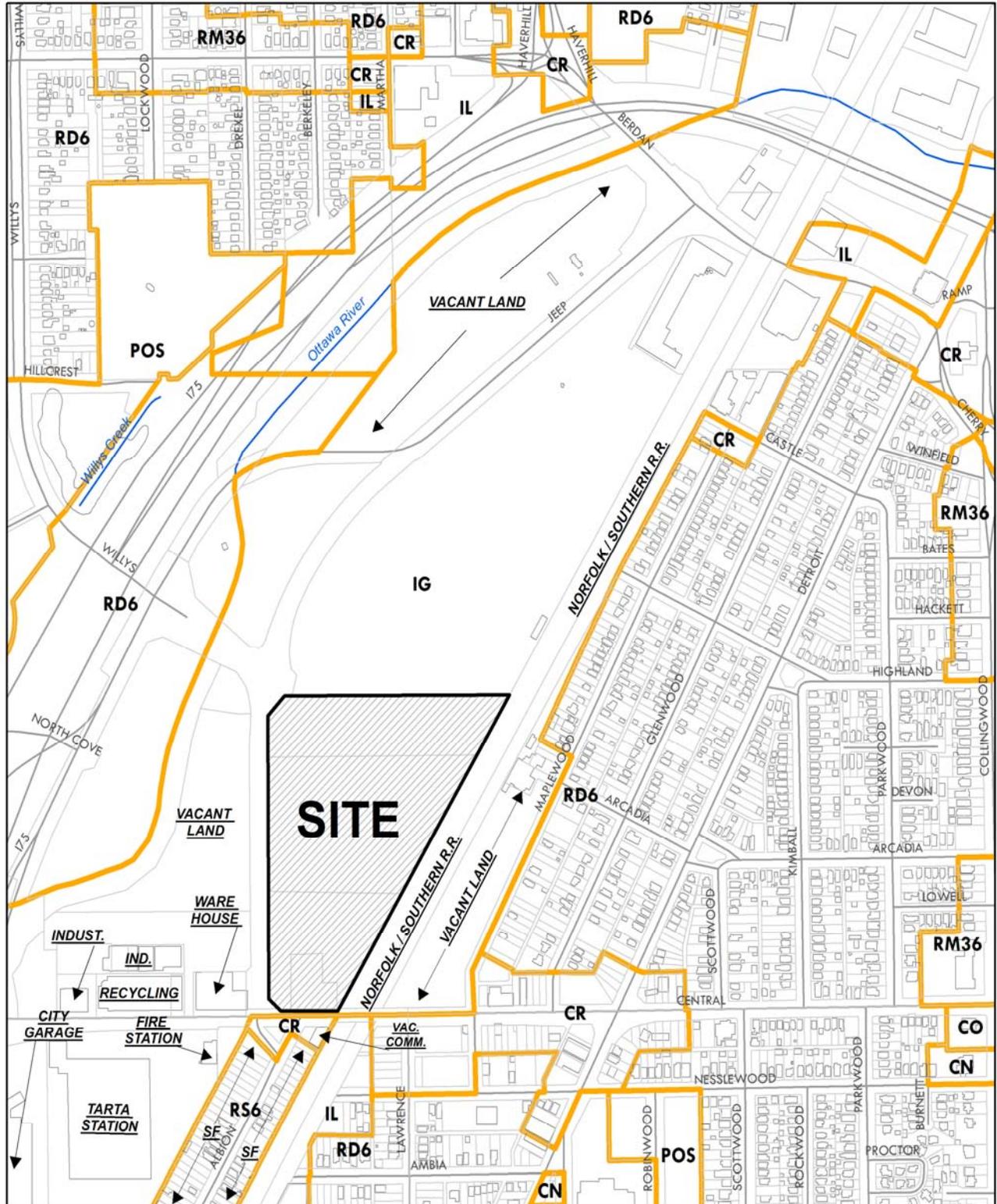
REF: SPR-27-16 . . . August 11, 2016

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-27-16
DATE: August 11, 2016
TIME: 2:00 P.M.

RS
Nine (9) sketches follow

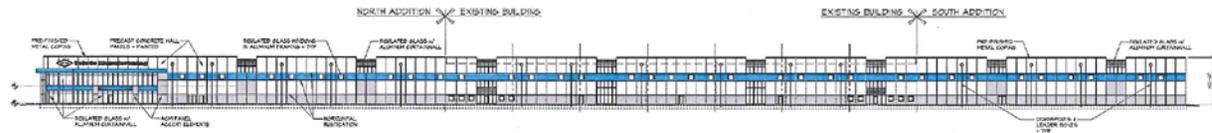
ZONING & LAND USE

SPR-27-16
ID 35/ 16

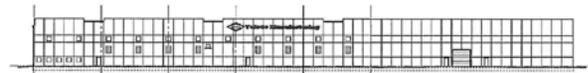


BUILDING ELEVATION

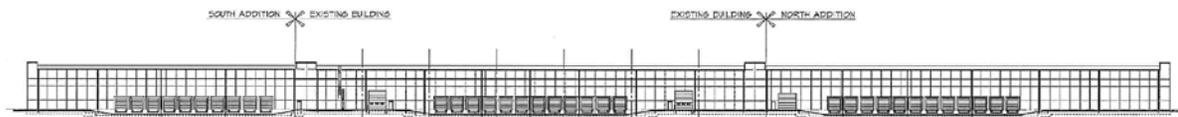
SPR-27-16
ID 35/16



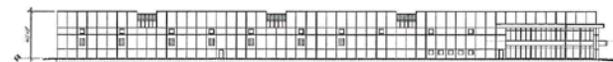
WEST ELEVATION
SCALE: 3/4" = 1'-0"



SOUTH ELEVATION
SCALE: 3/4" = 1'-0"



EAST ELEVATION
SCALE: 3/4" = 1'-0"



NORTH ELEVATION
SCALE: 3/4" = 1'-0"

**COOPER/SHAMBERGER
ARCHITECT, P.C.**
4400 W. 118th St.
Suite 200
Cleveland, OH 44130
PHONE: 440.438.4327
FAX: 440.438.4328

Logan Greathouse
ARCHITECTURE
4400 W. 118th St.
Suite 200
Cleveland, OH 44130
PHONE: 440.438.4327
FAX: 440.438.4328

**M/H
Hartman
Group**
4407 Lakeside Blvd.
Suite 200
Cleveland, OH 44130
PH: 415/534-4410

PHASE 3 LANDSCAPE IMPROVEMENTS POOL
TOLEDO AXLE PLANT
DANA
4400 W. 118th St.
Cleveland, OH 44130
PROPOSED ELEVATIONS

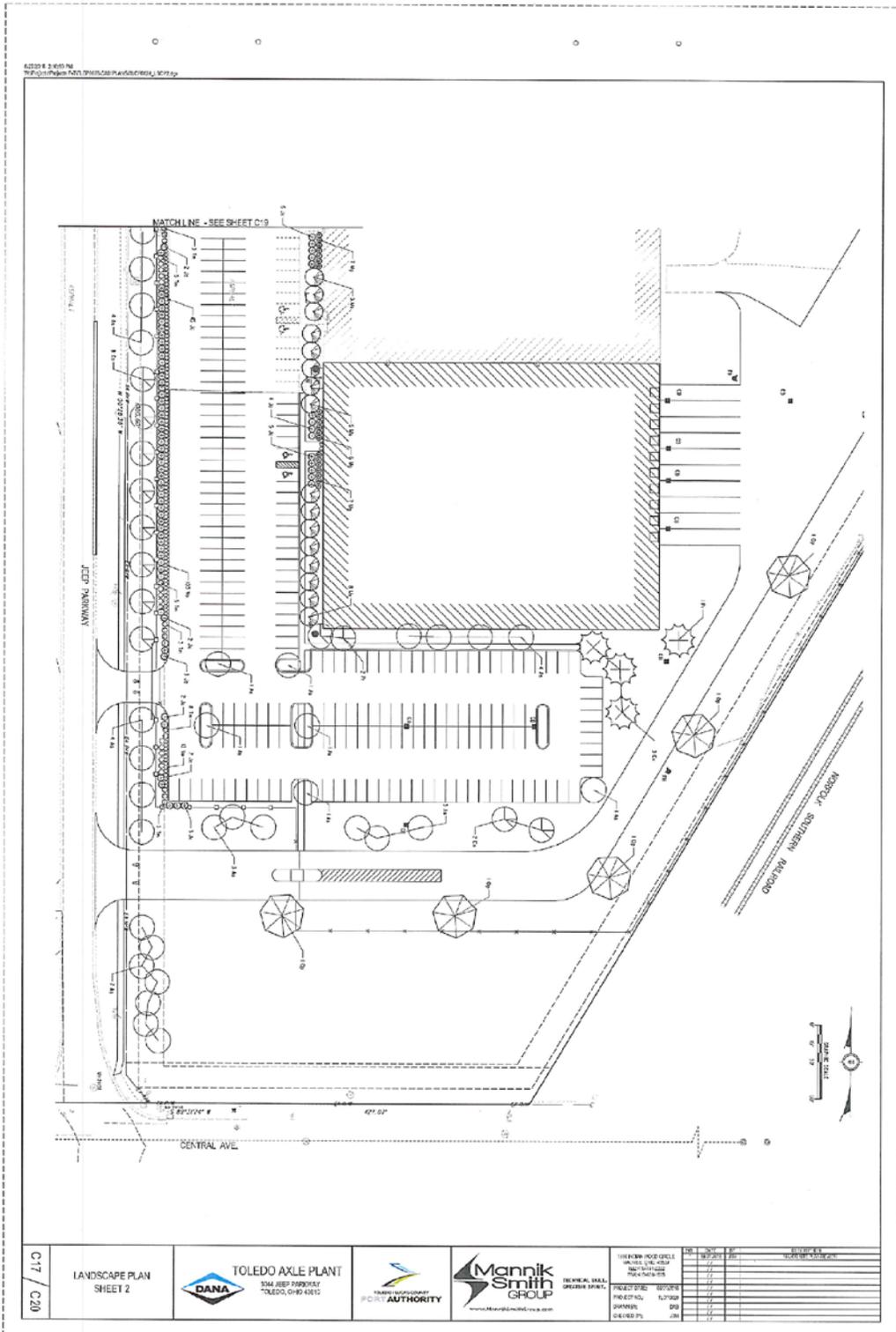
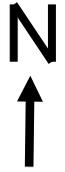
DATE
1-24-16

P2
6-40

1 - 17

LANDSCAPING PLAN

SPR-27-16
ID 35/16



C17 / C20

LANDSCAPE PLAN
SHEET 2

DANA TOLEDO AXLE PLANT
334 480 THROCKLE
TOLEDO, OH 43612

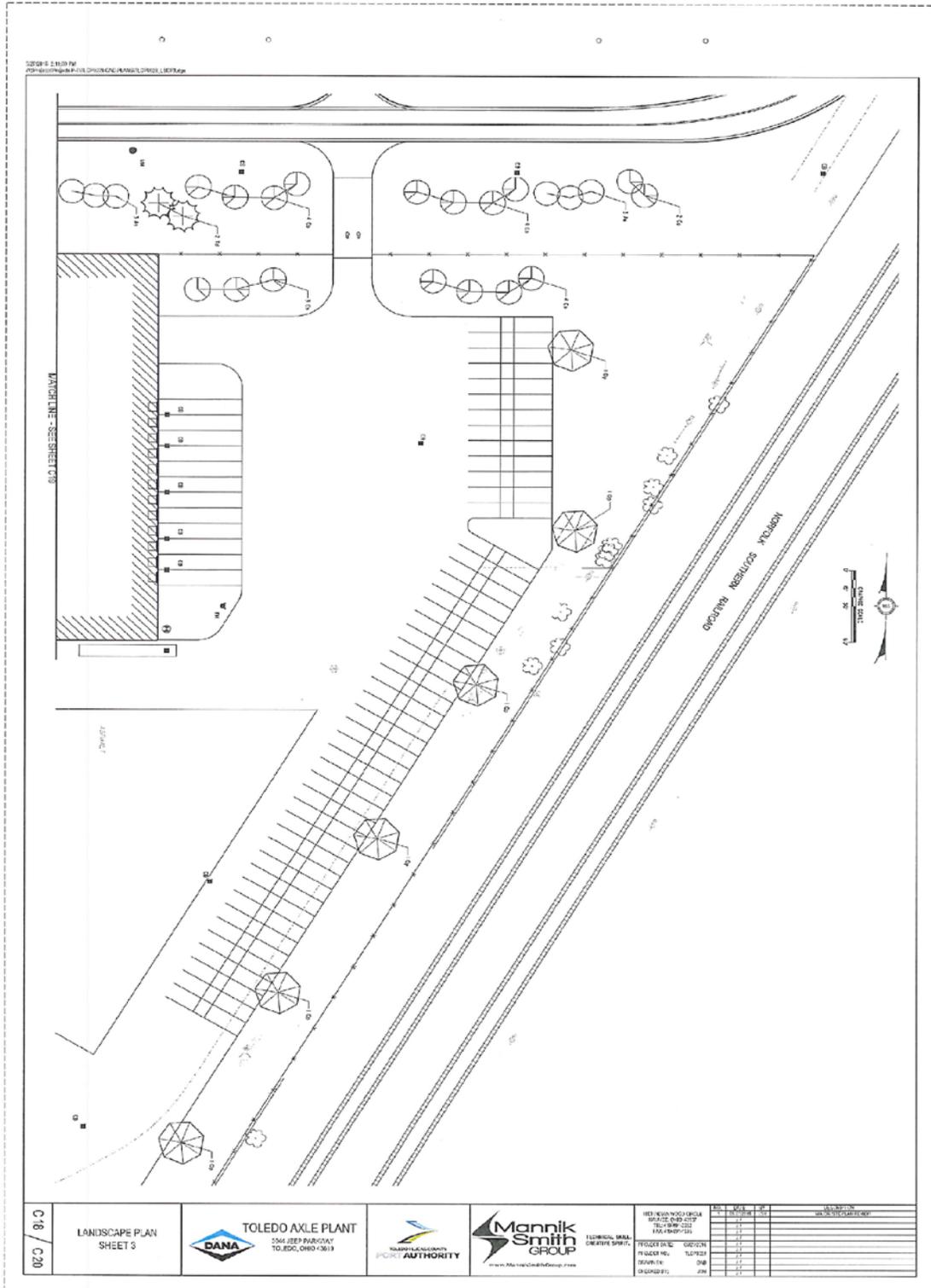
TOLEDO
PORT AUTHORITY

Mannik Smith GROUP
www.MannikSmith.com

NO.	DATE	DESCRIPTION	BY	CHKD BY
1	07/27/16	ISSUED FOR PERMITS	JM	
2	08/02/16	ISSUED FOR CONSTRUCTION	JM	
3	08/02/16	ISSUED FOR CONSTRUCTION	JM	
4	08/02/16	ISSUED FOR CONSTRUCTION	JM	
5	08/02/16	ISSUED FOR CONSTRUCTION	JM	
6	08/02/16	ISSUED FOR CONSTRUCTION	JM	
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10	08/02/16	ISSUED FOR CONSTRUCTION	JM	

LANDSCAPING PLAN

SPR-27-16
ID 35/16



C-18 / C-20

LANDSCAPE PLAN
SHEET 3



TOLEDO AXLE PLANT
5046 JEEP PARKWAY
TOLEDO, OHIO 43613



LELAND, MAIA
CREATIVE SERVICES

DESIGNER: MANNIK SMITH GROUP
DATE: 08/14/16
PROJECT NO.: 160001
PROJECT NAME: TOLEDO AXLE PLANT
DRAWN BY: MIA
CHECKED BY: JIM

NO.	DATE	DESCRIPTION
1	08/14/16	ISSUED FOR PERMIT
2	08/14/16	ISSUED FOR PERMIT
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GENERAL INFORMATION

Subject

- Request - Vacation of an alley running north of Expressway Drive and along lots 139 – 142 and 1 foot along lot 143 in the Northlawn Addition
- Applicant - Department of Real Estate
C/O: Paul Kwapich
One Government Center
Suite #2250
Toledo, OH 43604

Site Description

- Zoning - IL / Limited Industrial
Area - ±0.06 acres
Dimensions - ±16' X ±164'
Existing Use - Portion of an Alleyway

Area Description

- North - Industrial Warehouse / IL
South - Expressway / RS6, CR
East - Single Family Homes / IL
West - Undeveloped / IG

Parcel History

- V-448-15 - Request for a Vacation of Twining Street, Medcorp Drive, and north-south alley between Medcorp Drive and Expressway Drive, Plan Commission recommended conditional approval on 10/8/15, City Council approved on 11/18/15.
- SPR-19-07 - Request for a Minor Site Plan Review for Medcorp office vehicle building, administratively approved with conditions by Plan Commission on 7/17/07.
- SPR-69-06 - Request for a Minor Site Plan Review for a building expansion, administratively approved with conditions by Plan Commission on 1/17/07.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- V-408-05 - Request for a Vacation of Elbon Street west of Stickney Avenue, Plan Commission recommended conditional approval on 7/14/05, City Council approved on 8/17/05, Ord. 735-05.

- Z-6004-00 - Request for a Zone Change from R-2 Single Family Residential to M-1 Limited Industrial, Plan Commission recommended approval with conditions on 8/10/00, City Council approved on 9/26/00, Ord. 903-00.

- Z-6005-00 - Request for a Zone Change from R-2 Single Family Residential to M-1 Limited Industrial, Plan Commission recommended approval with conditions on 8/10/00, City Council approved on 9/26/00, Ord. 904-00.

- V-103-96 - Request for a Vacation of the alley between Elbon, Dayton, Stickney, and Twining, case was withdrawn.

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- City of Toledo Vacant Industrial Land Use Report 2005

STAFF ANALYSIS

The applicant is requesting the Vacation of an alley running north from Expressway Drive and along lots 139 – 142 and 1 foot along lot 143 in the Northlawn Addition. The alley is adjacent to single family homes to the east and undeveloped land to the west. The ±0.06 acre site is zoned IL Limited Industrial, but surrounding zoning districts in the immediate area include RS6 Single Family Residential, CR Regional Commercial, and IG General Industrial. Surrounding land uses include industrial buildings, and a few single family homes but the area is primarily undeveloped.

STAFF ANALYSIS (cont'd)

The intent of the proposal is to facilitate the assemblage of streets, alleys, and undeveloped parcels. The sites are intended to be used for industrial purposes. There was a previous request involving the vacation of Twining Street from its intersection with Expressway Drive and a north-south alley to the northerly right-of-way line of Elbon Street. This request has been modified to include the vacation of Twining Street north of Medcorp Drive and a portion of the north-south alley.

Toledo Vacant Industrial Land Use Report

The 2005 City of Toledo Vacant Industrial Land Use Report was prepared for the decision makers in the City of Toledo and the community at large at the request of the Toledo-Lucas County Plan Commissions with the goal that the report will serve as a basis for future land use and infrastructure policies in the City of Toledo. The report concentrates on the analysis of vacant and underutilized industrial land in fourteen (14) study areas through the City. The subject site is within the Stickney South Study Area.

The report recognizes that there are a limited number of vacant industrially zoned parcels in the Stickney South Study Area and that the proximity to the Interstate Highway System is the key factor in industrial business location and development. Retaining and expanding the existing industrial zoning classification is strongly recommended in anticipation of the expansion of the automotive parts and accessories manufacturing industries.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets the areas surrounding the subject right of way for Industrial, Commercial, and Single Family Residential land uses. However, industrial uses are the predominant proposed future land use. Industrial districts are intended to accommodate uses such as industrial manufacturing operations that may be high-impact and large scale developments.

Staff recommends approval of the Vacation request because it will facilitate development that is compatible with the Vacant Industrial Land Use Report and The Toledo 20/20 Comprehensive Plan. Additionally, the vacation will support future industrial development in an area that is suitable for industrial uses.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of V-274-16, a request for the Vacation of an alley running north from Expressway Drive along 139 – 142 and 1 foot along lot 143 in the Northlawn Addition, to Toledo City Council, for the following two (2) reasons:

1. The request is consistent with The Toledo Vacant Industrial Land Use Report and The Toledo 20/20 Comprehensive Plan; and
2. The proposed vacation will be incorporated into the future development and support industrial growth in an area that is suitable for industrial uses.

The staff further recommends that the Toledo City Plan Commission recommend approval of V-274-16, a request for the Vacation of an alley running north from Expressway Drive along 139 – 142 and 1 foot along lot 143 in the Northlawn Addition, to Toledo City Council, subject to the following three (3) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. Eliminate access of all Streets and the Alley proposed for vacation by installing new curb and sidewalk through existing right-of-way. The curb height should match the exiting curb on abutting roads.
2. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.
3. Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

Division of Transportation

Comments not received at time of printing.

Fire Prevention

No comments or objections to this vacation.

Division of Streets, Bridges, and Harbors

No comments or objections to this vacation.

STAFF RECOMMENDATION (cont'd)

Columbia Gas Company

Comments not received at time of printing.

AT&T (Ohio)

Comments not received at time of printing.

Toledo Edison Company

Comments not received at time of printing.

Buckeye Cablevision

No comments or objections to this vacation.

TARTA

No comments or objections to this vacation.

Lucas County Solid Waste

Comments not received at time of printing.

Lucas County Tax Map

No comments or objections to this vacation.

Republic Services

Comments not received at time of printing.

Plan Commission

No comments or objections to this vacation

REF: V-274-16...August 11, 2016

STREET VACATIONS
TOLEDO CITY PLAN COMMISSION

REF: V-274-16

DATE: August 11, 2016

TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
COMMITTEE OF ZONING AND PLANNING

DATE: September 14, 2016

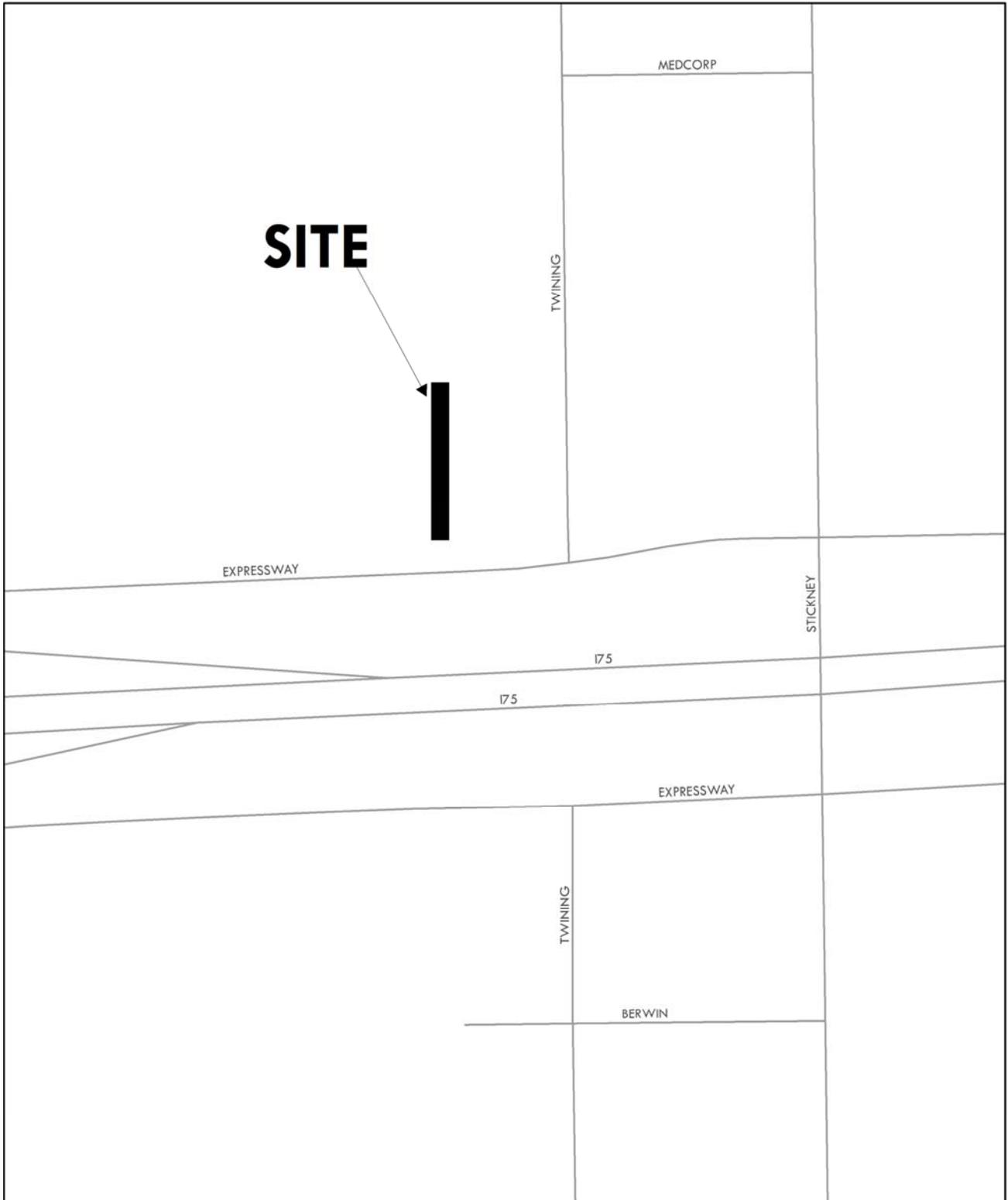
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GP/

Two (2) sketches follow

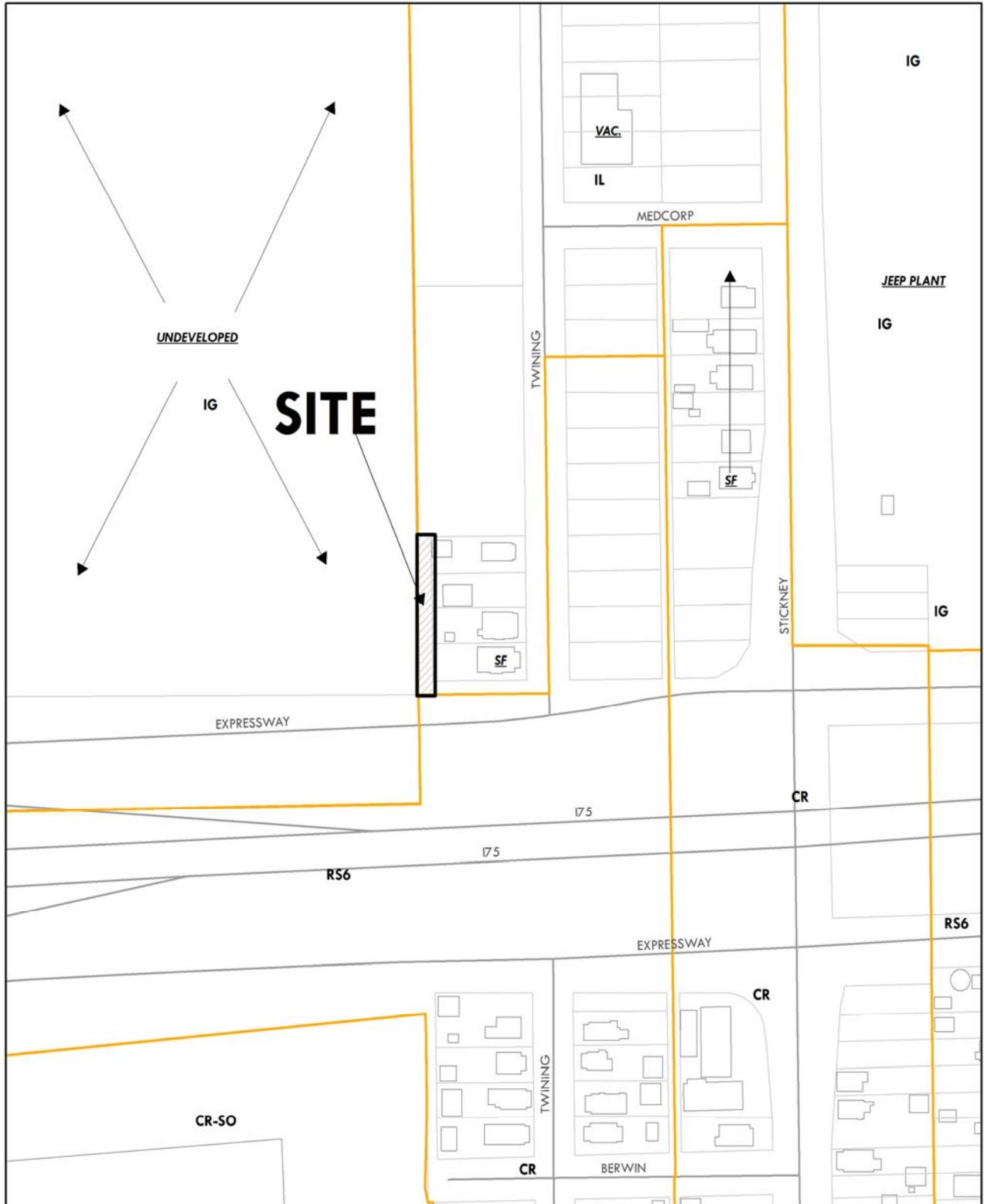
GENERAL LOCATION

V-274-16
ID 7



ZONING & LAND USE

V-274-16
ID 7



REF: Z-6003-16
DATE: August 11, 2016

GENERAL INFORMATION

Subject

- Request - Request a for Zone Change from CR Regional Commercial to CM Mixed Commercial – Residential

- Location - 4901 Summit Avenue

- Applicant - Ted Curtis
2815 Tremainsville Road
Toledo, OH 43613

- Contact - Mike Cappellety, P.E.
6145 Douglas Road
Toledo, OH 43613

Site Description

- Zoning - CR / Regional Commercial
- Area - ± .15 acres
- Frontage - ±50’ along Summit Street
- Frontage - ±127’ along 116th Street
- Existing Use - Mixed Commercial – Residential Building
- Proposed Use - Mixed Commercial – Residential Building

Area Description

- North - Commercial Building / CR
- South - Rite Aid / CR
- East - Local 45 / CR
- West - Single Family Dwelling / RS6

Parcel History

No Record on File

GENERAL INFORMATION (cont'd)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Zone Change from CR Regional Commercial to CM Mixed Commercial – Residential for a site located at 4901 Summit Street. The ±0.15 acre site is occupied by a two-story mixed-use commercial building and adjacent parking lot. Although the site is not within the boundaries of the Summit Street Urban Neighborhood Overlay, it is located within an extensive commercial corridor.

The applicant is requesting a Zone Change to facilitate the development of an additional single family living unit in an existing mixed-use commercial building. The ground level has two (2) vacant commercial spaces and the upper level is comprised of three (3) residential dwelling units. The applicant is intending to convert one of the vacant commercial units into an additional single family dwelling unit. Under the current CR Regional Commercial all dwelling units must be located above the ground floor of a commercial building. The CM Mixed Commercial-Residential does not have this stipulation and will allow for the conversion that the applicant is intending.

Due to lack of parking, the owner has little interest in marketing the lower commercial spaces. If these spaces are developed as commercial units the parking requirements would present a challenge for the site. The owner anticipates that the conversion will provide flexibility in marketing the lower level and reduce the parking requirements.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for CN Neighborhood Commercial land uses. The CN Neighborhood Commercial district is intended to accommodate pedestrian orientated small-scale retail and service businesses that serve nearby residential areas. The CM Mixed Commercial-Residential district is intended to accommodate mixed-use, pedestrian-orientated development. The proposed zoning district is comparable to the suggested zoning and meets the intent of the Toledo 20/20 Comprehensive Plan.

Staff recommends approval of the Zone Change because CM Mixed Commercial-Residential will allow for a low-intensity land use that will not be detrimental to properties within the general vicinity of the site. The proposed zoning supports a market place of attractive retail businesses that are accessible to pedestrians and maintains some of the characteristics of the traditional neighborhood.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z-6003-16, a request for a Zone Change from CR Regional Commercial to CM Mixed Commercial – Residential for the site located at 4901 Summit Street, to the Toledo City Council, for the following two (2) reasons:

1. The rezoning will not have a detrimental effect on properties within the general vicinity of the subject site (TMC§1111.0606(E) Review and Decision Making Criteria).
2. The proposed Zone Change allows for a land use that is physically suitable for the site (TMC§1111.0606(D) Review and Decision Making Criteria).

ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-6003-16
DATE: August 11, 2016
TIME: 2:00 P.M.

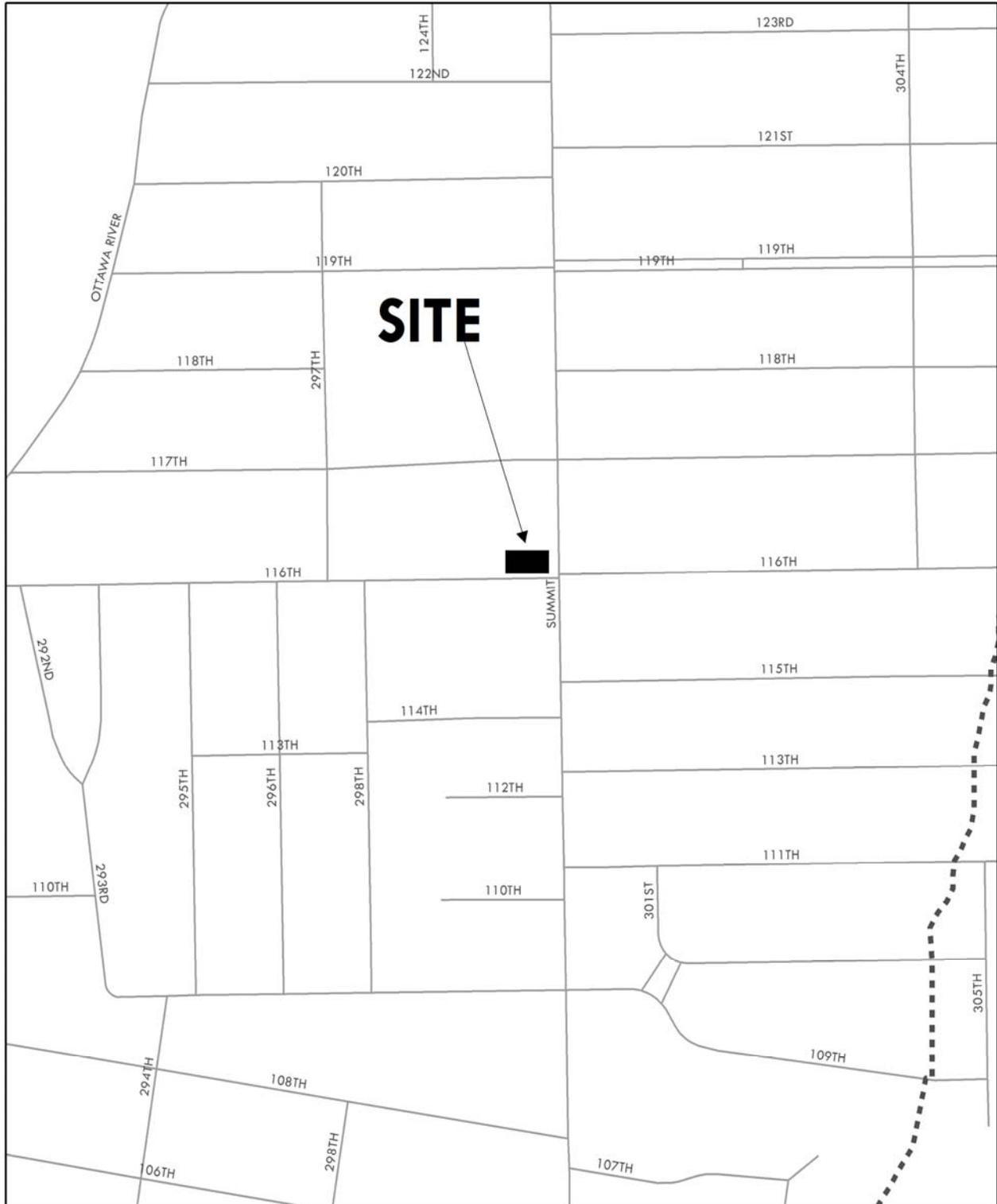
CITY COUNCIL COMMITTEE OF
COMMITTEE OF ZONING AND PLANNING
DATE: September 14, 2016
TIME: 4:00 P.M.

GP

Three (3) sketches follow

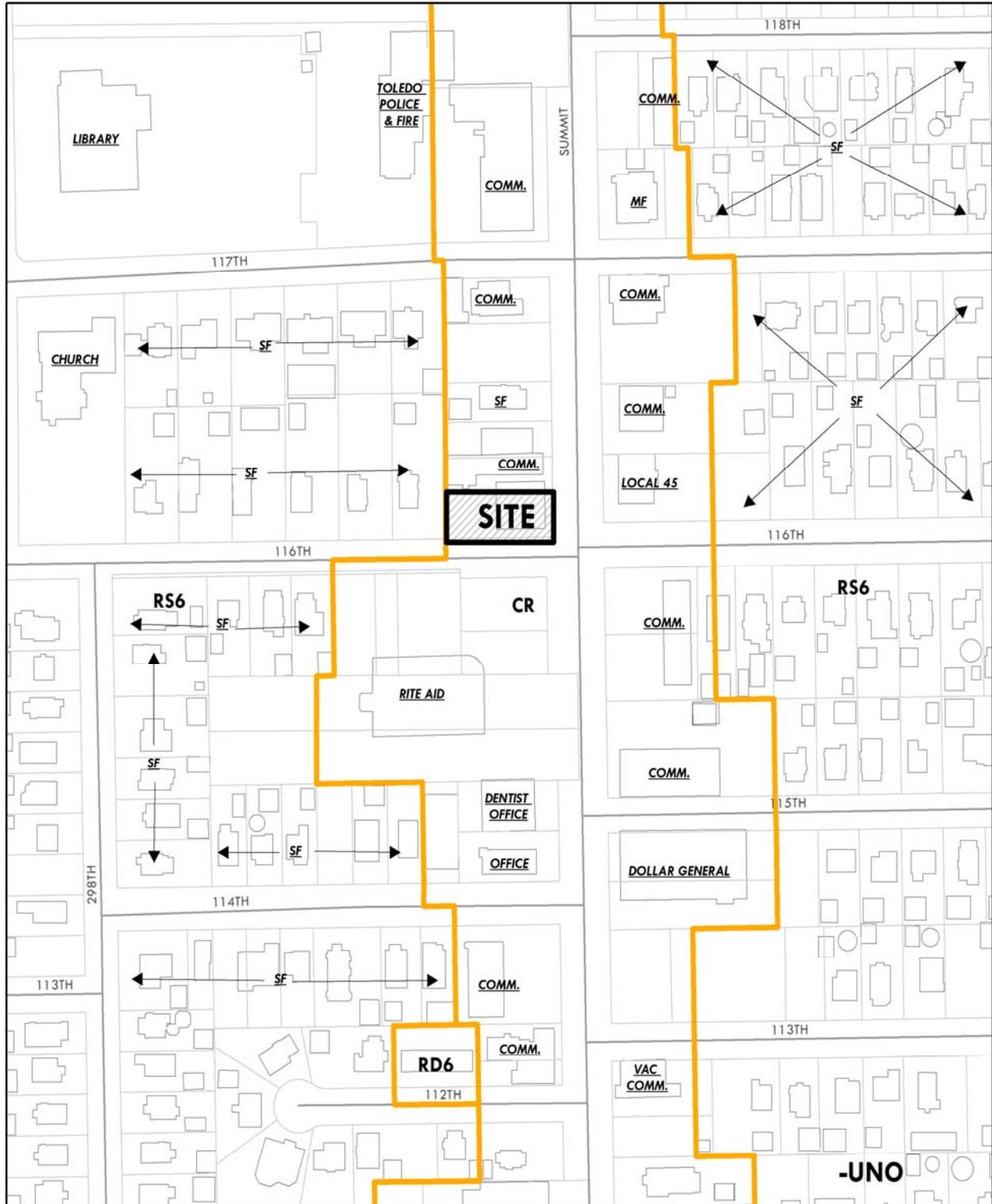
GENERAL LOCATION

Z-6003-16
ID 65



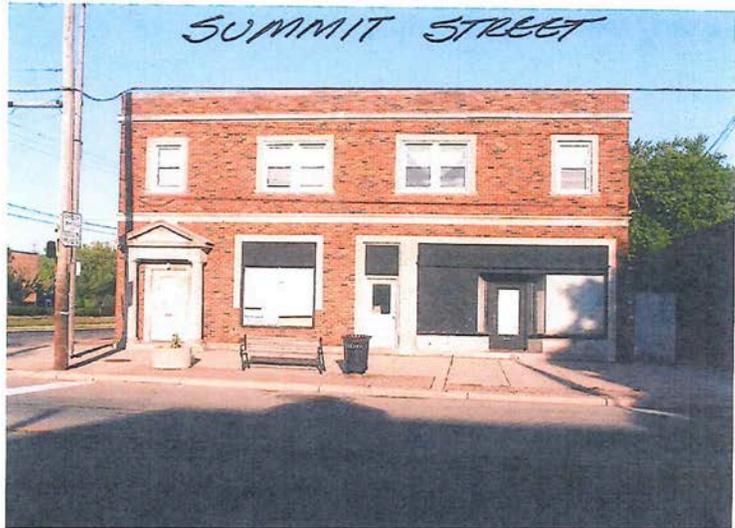
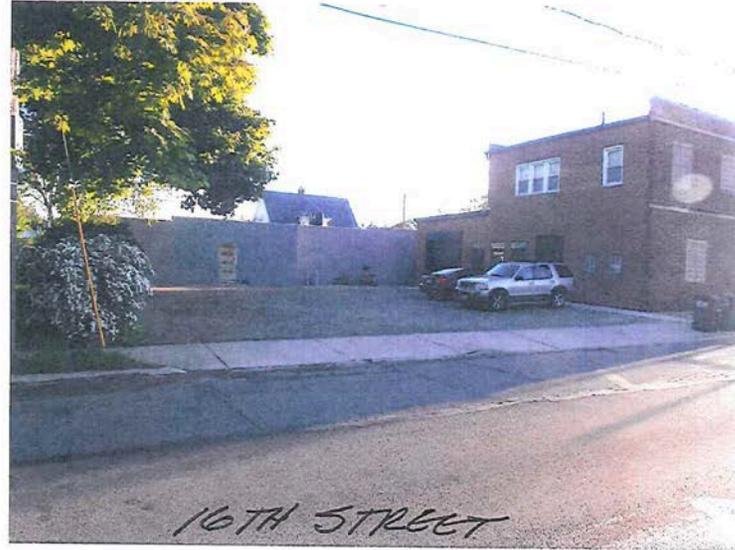
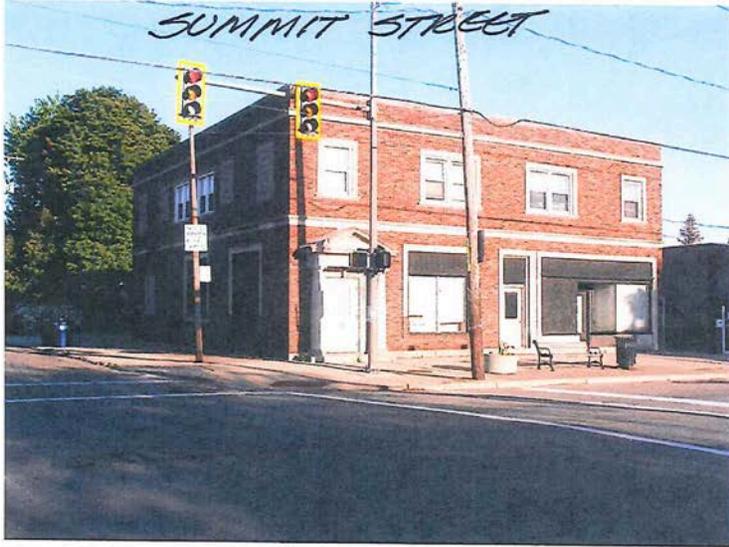
ZONING & LAND USE

Z-6003-16
ID 65



PHOTOS

Z-6003-16
ID 65



GENERAL INFORMATION

Subject

- Request - Zone Change from Limited Industrial to CD Downtown Commercial
- Location - 1210 Jackson Street
- Applicant - Craig Mossing
Mossing Studios LLC
152 Princeton Street
Toledo, Ohio 43614

Site Description

- Zoning - IL / Limited Industrial
- Area - ± 0.26 acres
- Frontage - ± 112' along Jackson Street
± 100' along 12th Street
- Existing Use - Warehouse
- Proposed Use - Live/work studios & retail space

Area Description

- North - Alley, warehouse / IL
- South - Jackson Street, parking lot / IL
- East - 12th Street, parking lot, law office / CD
- West - Vacant green space / IL

Parcel History

- Z.1(j) 205-88 - Amend TMC Part 11 to expand DOD to include those areas of the CBD covered by Phase II of the Toledo Central Business District Master Plan by Ord. 1028-88.

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- Toledo Downtown Overlay District

STAFF ANALYSIS

The applicant is requesting a Zone Change from Limited Industrial to CD Downtown Commercial at 1210 Jackson Street. The ± 0.26 acre site is currently occupied by an existing 24,000 square foot warehouse building and undeveloped lot. Surrounding land uses include properties used for warehousing across the alley to the north, a parking lot associated with a law office across 12th Street to the east, a parking lot across Jackson Street to the south and vacant green space to the west of the property.

The applicant intends to create a live work space which will accommodate his design studio with the addition of artist studios and a retail space. A Zone Change is required because residential uses are not permitted in IL Limited Industrial zoning districts. The proposed Zone Change to CD Downtown Commercial will support the proposed use without the requirements for above ground-floor residential and minimum parking spaces required with other commercial zoning districts.

Downtown Overlay District

The property is located within the Downtown Overlay District. In the event the property is modified by any exterior physical changes which the total cost is more than \$250,000 or 25% of the appraised value of the building, as listed by the County Auditor, whichever is the lesser amount, then the property will be subject to additional regulations per TMC§1103.0200. In computing the total cost, the cost of any such work accumulated in any 3-year period shall be considered.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this area as Urban Village. The Urban Village future land use district was intended as a specialized residential and commercial district that possesses characteristics of Traditional Neighborhood Development (TND), such as pedestrian orientation, zero building setbacks, mixed uses, and distinct architectural character. Downtown Commercial zoning requires buildings to be oriented in a pedestrian based design that requires distinct architecture and also allows a mix of uses not permitted in the IL district. The applicant is pursuing a live work space with artist studios and retail space which is consistent with the Urban Village future land use designation. Furthermore, the proposed CD zoning is consistent with the current zoning designation of the abutting property to the east.

Staff recommends approval of the Zone Change for this location because it is compatible with the established land uses in the surrounding area. Additionally, the proposed CD zoning is consistent with the current zoning designation of the property established in the immediate area east of the site. Finally, the proposed CD zoning is consistent with the future land use designation identified in the Toledo 20/20 Comprehensive Plan.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z-6004-16, a Zone Change from Limited Industrial to CD Downtown Commercial at 1210 Jackson Street to Toledo City Council for the following three (3) reasons:

1. The CD Zone Change conforms to the Toledo 20/20 Comprehensive Plan, which targets the site for Urban Village use (TMC§1111.0606.A Review & Decision-Making Criteria).
2. The CR zoning request is similar to existing land uses within the general vicinity of the subject property (TMC§1111.0606.B Review & Decision-Making Criteria).
3. A Zone Change to CR Regional Commercial is consistent with the zoning classification of properties within the general vicinity of the site (TMC§1111.0606.C Review & Decision-Making Criteria).

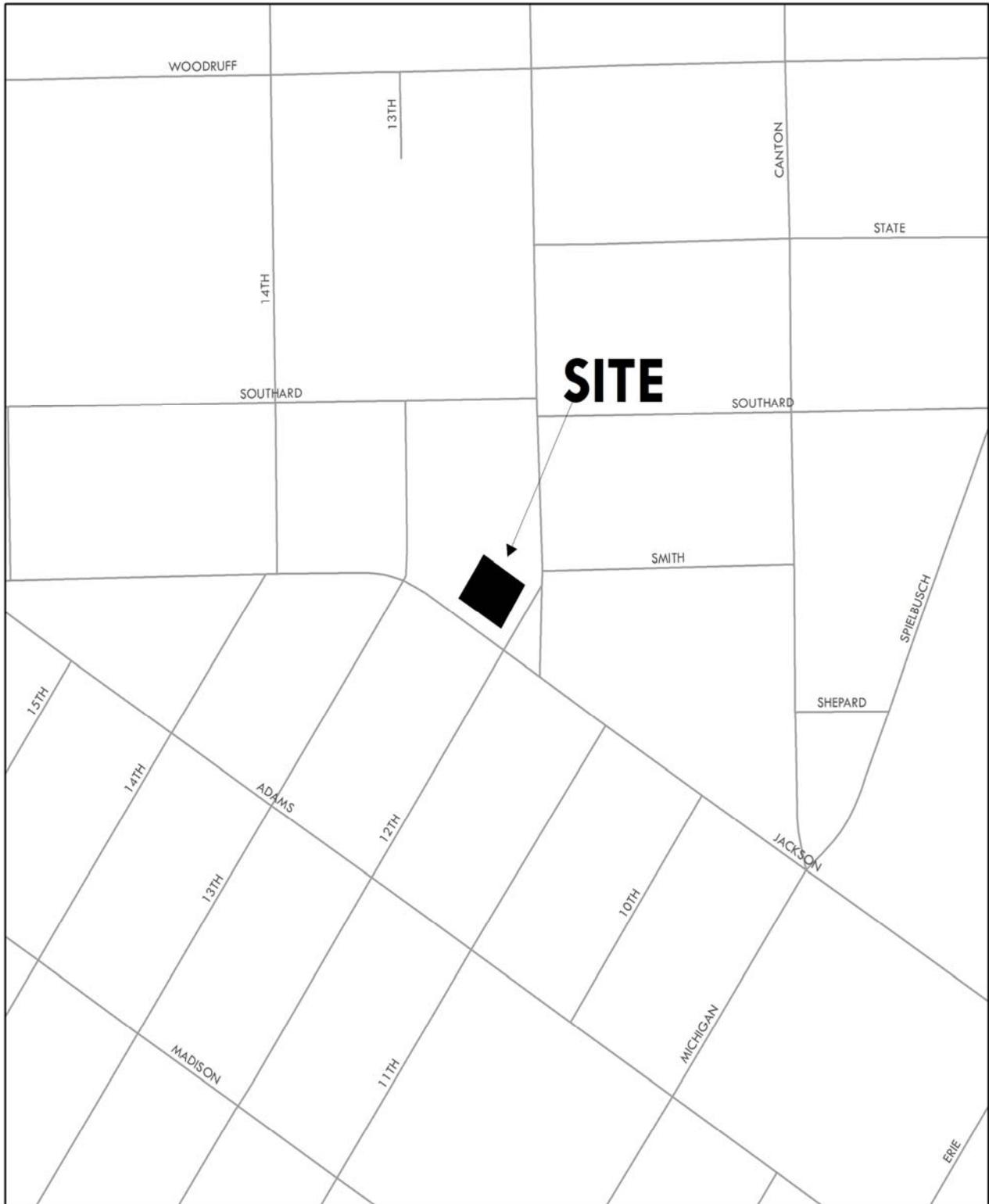
ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-6004-16
DATE: August 11, 2016
TIME: 2:00 P.M.

CITY COUNCIL
COMMITTEE OF ZONING AND PLANNING
DATE: September 14, 2016
TIME: 4:00 P.M.

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Two (2) sketches follow

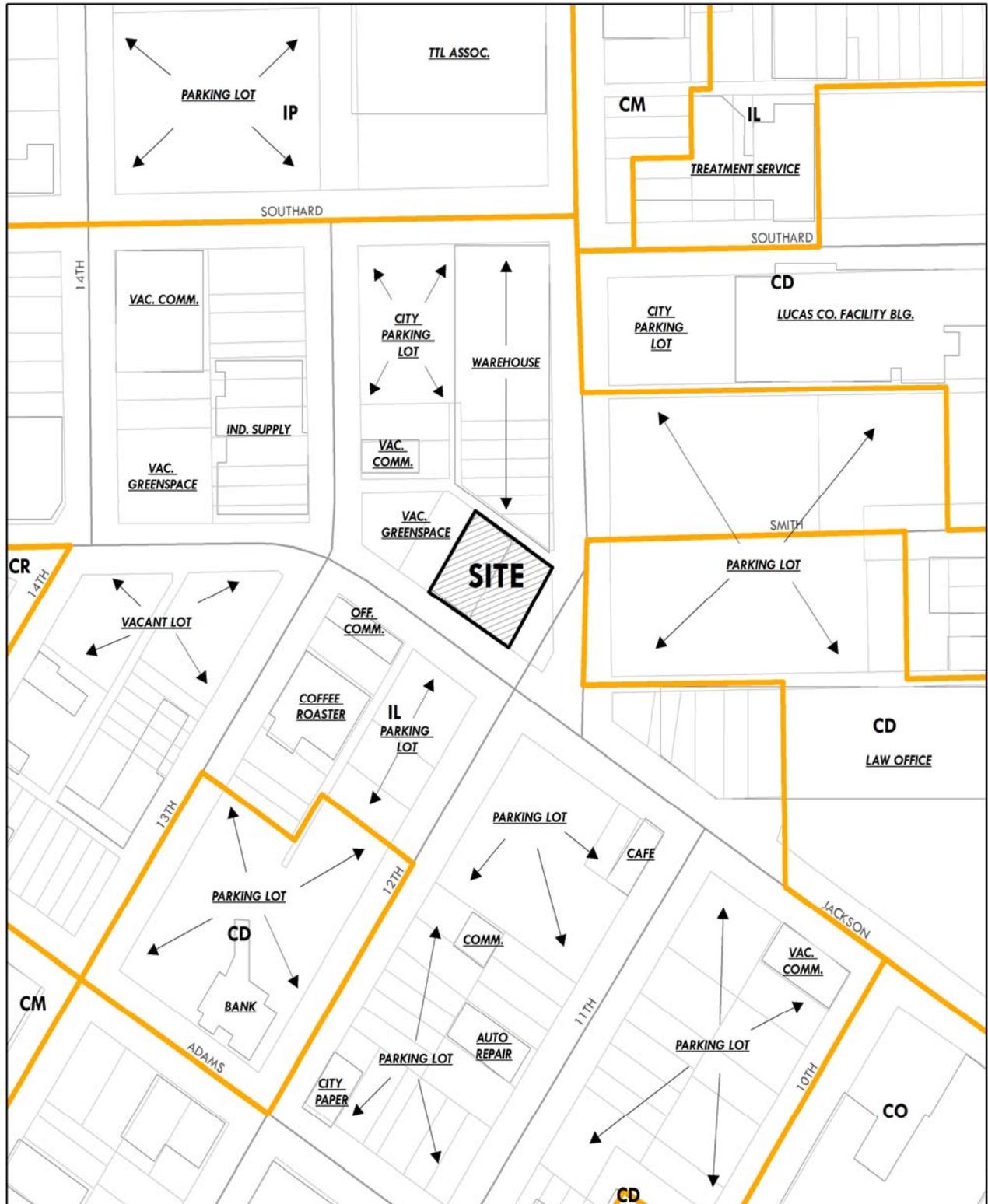
GENERAL LOCATION

Z-6004-16
ID 9



ZONING & LAND USE

Z-6004-16
ID 9



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GENERAL INFORMATION

Subject

- Request - Zone Change from RD6 Duplex Residential to RM36 Multi-Dwelling District
- Location - 2205 Parkwood Avenue
- Applicant - Woodborn Partners
Christopher Earley & Cliff Brown
P.O. Box 31029
Washington D.C. 20020

Site Description

- Zoning - RD6 Duplex Residential
- Area - .242-acres
- Frontage - 66'
- Existing Use - Vacant building
- Proposed Use - Apartments

Area Description

- North - Duplex Residential and Single-family / RD6
- South - Multi-Family Dwelling / RM36
- East - Church and Duplex Residential / RD6
- West - Multi-Family Dwelling / RM36

Parcel History

- OWE-77-93 - Corner fence (OWEHDC approved 10/18/93)
- OWE-76-93 - Re-roof (Administrative approval 1993)
- OWE-22-94 - Replace front and side doors (OWEHDC approved 5/9/94)
- OWE-67-01 - Chimney repair (OWEHDC approved 9/28/01)

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

The applicant is requesting a Zone Change from RD6 Duplex Residential to RM36 Multi-Dwelling District for a site located at 2205 Parkwood Avenue. The .242-acre site is located at the northwest corner of Parkwood Avenue and Bancroft Street. The applicant is proposing to use the site for apartments by converting the large structure into a nine unit building. A Zone Change is required for the location because multi-family uses are not permitted in the two-family zoning classification.

The site is occupied by a large structure that has 10,542 square feet in area. The structure was once a mansion in the early 1900's. The original building footprint was modified with by a building addition in the 1950's. This structure appears to be commercial in appearance and is comparable to the surrounding apartment buildings and condominiums located between Parkwood Avenue, Bancroft Street and Scottwood Avenue. The property is located in the Old West End Historic District.

This site was used by the previous owner as a nursing home that was called the Wunderley Nursing Home and started in the early 1950's. The number of residents that resided at the home was close to 40 and then during the late 1980's it was lowered to less than 20. This structure was abandoned and purchased by Lucas County Land Bank through tax foreclosure on January 29th, 2015. The Land Bank has marketed this property aggressively for the last 18 months. Staff has received multiple inquires in the last year where the interest was focused on converting the structure into apartments or for indoor recreation programming.

The applicant has an option to purchase the property and is requesting a Zone Change to RM36 Multi-Dwelling District in order to convert the structure into apartments with the maximum number of nine units. The applicants presented their plan to the neighbors located near the site on July 7th, 2016 and to the Old West End Historic District Commission (OWEHDC) on July 11th, 2016.

The residents at the public meeting were concerned about off-street parking, the size of the units, and what amenities would be provided to the tenants on site while off-site parking is a concern, no additional off-street parking is required for rehabilitation or reuse of existing structures within locally designated historic districts.

Another concern was the number of units projected with the floor size and rental rate. The applicant stated they had built their business plan for ten units but have reduced the number of units to nine based on the maximum density allowed in the RM36 district. Since the public meeting, staff received a letter from the Old West End Association stating support for the Zone Change in order to preserve the structure.

At the OWEHDC meeting, the members made a motion to support this project in order to save a historic structure from possible demolition in the future. The interior of this building will require extensive rehabilitation due to water damage but the exterior of the building will not require any major changes.

STAFF ANALYSIS (cont'd)

The proposed zoning is consistent with zoning classifications of the properties within the general vicinity of the site. The parcels to the south and west of the site are currently zoned RM36 Multi-Dwelling District. On the north and east side of parcel, the parcels are zoned RD6 Duplex Residential. Surrounding land uses include a church, a doctor's office, single family and two family houses and condominiums.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Single Family uses with Multi Family abutting to the west and south. When the 20/20 Comprehensive Plan was updated in 2010, this property was vacant and delinquent in property taxes. The 20/20 Comprehensive Plan recommends protecting neighborhood historic structures by reusing them and integrating new development with respect to existing character.

Staff reviewed a Zone Change case, Z-95-82 for OWE Conservation Area, where the intent was to down zone the area from multi-family to two-family in order to protect the single-family neighborhood that was being impacted from the multi-family conversions that were occurring at a high rate in the 1970's. At that time, the structure was considered institutional and was not considered to be a negative impact on the neighborhood. Since that time, this structure has sat vacant for over seven years and is a blighted structure that is located on a major thoroughfare in the OWE.

Staff recommends approval of the Zone Change for this location because it is compatible with the land uses on Bancroft Street. Additionally, the proposed RM36 Zoning is consistent with the current zoning designations of properties established in the immediate area of the site.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of Z-5005-16, a request for a Zone Change from RD6 Duplex Residential to RM36 Multi-Dwelling District for a site located at 2205 Parkwood Avenue, to the Toledo City Council, for the following two (2) reasons:

1. The proposed Zone Change is consistent with existing land uses within the general vicinity of the subject property (TMC 1111.0606.B *Review and Decision-Making Criteria*); and
2. The proposed RM36 Multi-Dwelling District zoning is compatible with the zoning classifications of properties within the general vicinity of the subject property (TMC 1111.0606.C *Review and Decision-Making Criteria*).

REF: Z-5005-16 . . . August 11, 2016

ZONE CHANGE
TOLEDO CITY PLAN COMMISSION
REF: Z-5005-16
DATE: August 11, 2016
TIME: 2:00 P.M.

CITY COUNCIL COMMITTEE OF
ZONING AND PLANNING
DATE: September 14, 2016
TIME: 4:00 P.M.

MM
Two (2) sketches follow

GENERAL LOCATION

Z-5005-16
ID 15

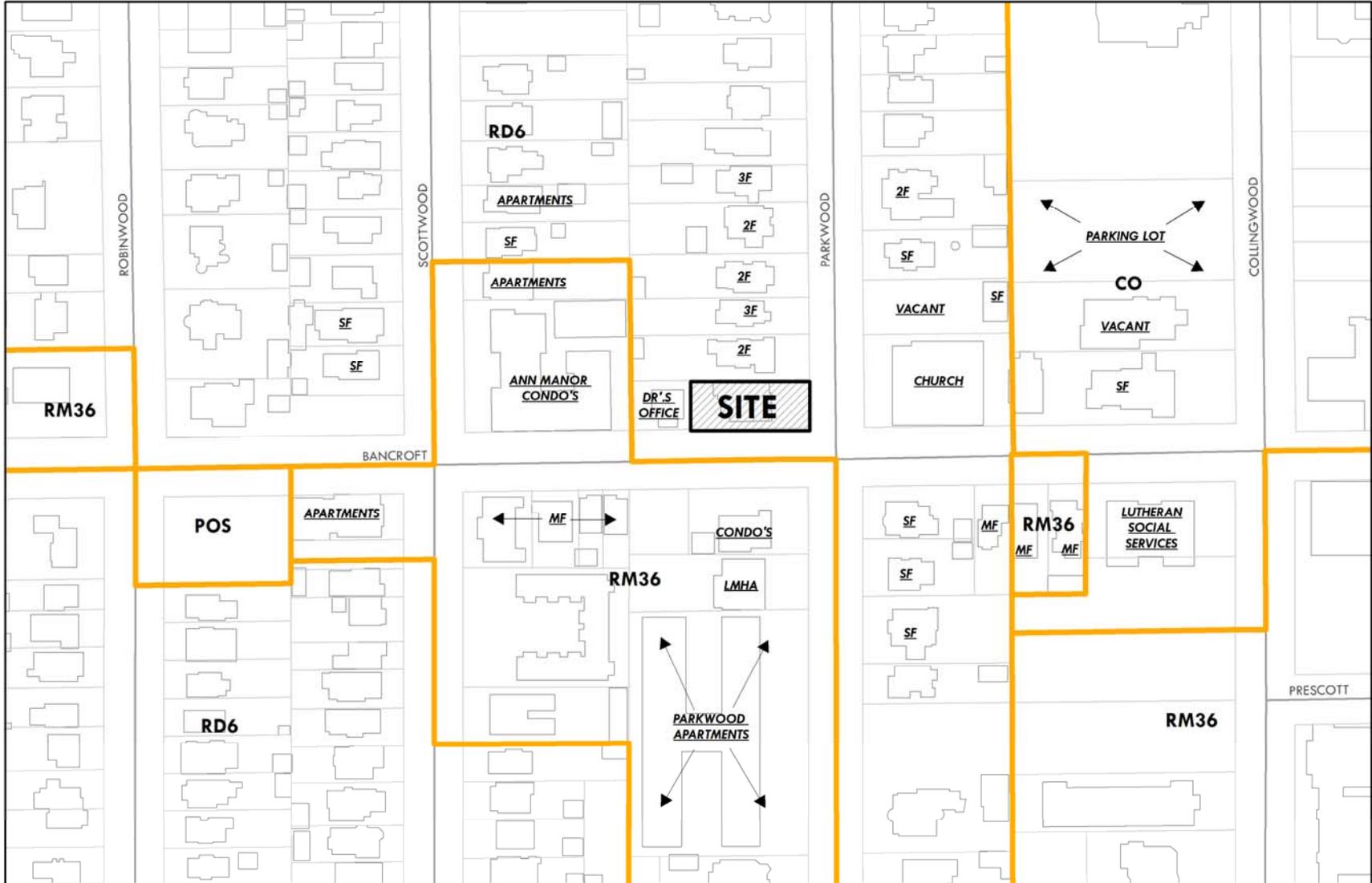


ZONING & LAND USE

Z-5005-16
ID 15



5 - 6



GENERAL INFORMATION

Subject

- Request - Special Use Permit for Community Recreation, Active
- Location - 111 Ottawa Street
- Applicant - Metroparks of the Toledo Area
5100 West Central Avenue
Toledo, OH 43615
- Architect - Smithgroup JJR
201 Depot Street, Second Floor
Ann Arbor, MI 48104

Site Description

- Zoning - POS / Public Open Space
- Area - ± 3.70 acres
- Frontage - ± 510' on Ottawa Street
- Existing Use - Vacant green space
- Proposed Use - Community Recreation, Active (Dog Park)
- Parking Required - per Schedule D (TMC§1107.0600)
- Parking Provided - 66 spaces + on-street parking along Ottawa Street

Area Description

- North - Anthony Wayne Bridge, Owens Corning / CD
- South - Norfolk Southern freight yard / IG
- East - Middlegrounds Metropark, Maumee River / POS
- West - Ottawa Street, terminal warehouse / IG

Parcel History

- Z-5002-08 - IG to POS at 111 Ottawa Street and 101 Emerald Street (Plan Commission recommended approval on 7/10/2008. City Council approved on 8/26/2008 by Ord. 551-08).
- MRO-2-14 - Community Recreations, Active “Middlegrounds Metropark” at 111 Ottawa Street (Plan Commission approved with conditions on 4/10/2014).

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- | | | |
|-----------|---|---|
| SPR-11-14 | - | Major Site Plan Review for Community Recreations, Active “Middlegrounds Metropark” at 111 Ottawa Street (Plan Commission approved with conditions on 4/10/2014). |
| M-2-15 | - | Middlegrounds Plan amended to the Toledo 20/20 Comprehensive Plan (Plan Commission recommended approval on 11/05/2015. City Council approved on 12/22/2015 by Ord. 598-15). |

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan
- Maumee Riverfront Overlay District

STAFF ANALYSIS

The request is for a Special Use Permit for Community Recreation, Active to develop a dog park at 111 Ottawa Street. The 3.70 acre site occupies a portion of the previously approved Middlegrounds Metropark (SPR-11-14) which is accessed from Ottawa Street. A Special Use Permit is required due to the dog park being added to an existing park. Surrounding land uses include Owens Corning campus to the north, a railroad stockyard for Norfolk Southern to the south, Middlegrounds Metropark with the Maumee River to the east and an industrial warehouse across Ottawa Street to the west.

The Metroparks of the Toledo Area are proposing to develop an off-leash dog park within the new Middlegrounds Metropark on Ottawa Street. The dog park will occupy roughly 3 acres of the 28 acre overall park site. Signage is proposed to be installed on site to reinforce park rules and chain link fencing with gates will define the area, with separate spaces for both large and small dogs. Site amenities include benches, picnic tables, native prairie planting beds and a dual drinking fountain with dog bowl.

Parking and Circulation

Pursuant to TMC§1107.0600 – Off-Street Parking Schedule “D”; Community Recreation facilities have widely varying parking demand characteristics, making it impossible to specify a single off-street parking standard. The previously approved site plan indicated 66 parking spaces allocated for the park accessed by a driveway off Ottawa Street which traverses the northern portion of the site to access the parking lot on the south side of the park.

STAFF ANALYSIS (cont'd)

Parking and Circulation (cont'd)

Additional on-street parking located west of the property on Ottawa Street is depicted on the submitted site plan. Based on the intended use, the existing parking provided on-site with the additional on-street parking satisfies the parking demand.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan designates the area for Parks and Open Space land uses. Staff recommends approval of the applicant's request because the proposed development conforms to the targeted land uses identified in the Toledo 20/20 Comprehensive Plan and the guidelines and principals of the Maumee Riverfront Overlay District. Additionally, the proposed use meets the stated purposed and complies with all applicable provisions of the Toledo Municipal Zoning Code. Furthermore, the request for a dog park to be installed on site is compatible with adjacent land uses in terms of scale, site design, and operational characteristics.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend approval of SUP-7001-16, a Special Use Permit for Community Recreation, Active at 111 Ottawa Street, to Toledo City Council for the following four (4) reasons:

1. The proposed use meets the stated purpose of this Zoning Code (TMC§1111.0706.A Review & Decision-Making Criteria);
2. The proposed use complies with all applicable provisions of this Zoning Code (TMC§1111.0706.B Review & Decision-Making Criteria); and
3. The request is compatible with adjacent uses in terms of scale, site design, and operating characteristics (TMC§1111.0706.C Review & Decision-Making Criteria).
4. The plan is consistent with the goals of the Toledo 20/20 Comprehensive Plan and the Maumee Riverfront Overly District.

The staff further recommends that the Toledo City Plan Commission recommend approval of SUP-7001-16, a Special Use Permit for Community Recreation, Active at 111 Ottawa Street to the Toledo City Council subject to the following eighteen (18) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services

1. A pre-submittal meeting is not required; however, one may be requested. Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Right-of-Way and Inspection: Joe Warnka 419-245-1220

Roadway: Tim Grosjean, ph. 419-245-1344

Water: Andrea Kroma, ph. 419-936-2163

Stormwater Drainage: Lorie Haslinger, 419-245-3221; Andy Stepnick, 419-245-1338

Sanitary Sewers: Mike Elling, ph. 419-936-2276

2. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
3. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
4. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch-thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop or opening.** Existing drive approaches, including the curb drop, that will no longer be utilized shall be removed and restored with curb to match the adjacent curb.
5. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. The 2-inch water service for the proposed drinking fountain shall be installed per the plan previously approved for the Middlegrounds Metropark. Contact the Division of Engineering Services for information regarding the approved plan.

STAFF RECOMMENDATION (cont'd)

Division of Engineering Services (cont'd)

8. The water-meter setting detail for the proposed drinking fountain, including meter bypass and backflow preventer, shall be submitted to the City of Toledo Backflow Prevention Coordinator, 401 S. Erie Street, Toledo, OH 43602.
9. A detailed site-grading plan and Storm Water Pollution Prevention Plan (SWP3) shall be submitted to the Division of Engineering Services for stormwater review and approval.
10. This project does not appear to include the installation of impervious surface; therefore, the City of Toledo requirements for stormwater detention and water quality can be waived.
11. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs) to provide sediment and erosion control during construction. Construction BMPs shall be designed and installed per the latest Ohio EPA General Storm Water NPDES permit.
12. All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
13. All sites disturbing 2,500 sq. ft or more shall develop a site-specific Storm Water Pollution Prevention Plan (SWP3), which shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit and shall accompany a completed Ohio EPA SWP3 Checklist. The checklist can be found at the following link: http://epa.ohio.gov/dsw/storm/const_SWP3_check.aspx
14. No construction work, including any earth-disturbing work, will be permitted without approved plans and inspection.

Sewer & Drainage Services

No comments at time of print.

Fire Prevention

No concerns or objections to this project.

STAFF RECOMMENDATION (cont'd)

Division of Environmental Services

15. Applicant shall maintain compliance with the City of Toledo's Stormwater regulations as specified in the Toledo Municipal Code.
16. Applicant shall maintain compliance with Ohio EPA's General Stormwater NPDES permit programs. Provide proof of site cleanup due to previous land use.
17. Applicant shall notify City of Toledo, Division of Environmental Services three days prior to starting any construction activities at (419) 936-3015.
18. Applicant shall provide inspection and maintenance records on the existing Post-Construction BMP for this site.
19. Any green infrastructure measures that can be included to minimize runoff and increase infiltration are highly advisable.
20. Applicant shall maintain compliance with the City of Toledo's stormwater regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential stormwater impacts from the addition to the Maumee River, including but not limited to long-term operation and maintenance of both structural and non-structural Best Management Practices.
21. Applicant shall maintain compliance with the City of Toledo and State of Ohio's Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Anti-Noise Laws.

Division of Transportation

22. There is no parking for persons with disabilities shown on the site plan. ADA parking is required and must meet the requirements of the Toledo Municipal Code.

Plan Commission

23. The Special Use Permit may be reviewed for compliance with the conditions of approval, negative secondary effects, and adherence to all requirements of the Toledo Municipal Code. If outstanding issues are found and not addressed the Special Use Permit may be considered for revocation.
24. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

25. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-7001-16
DATE: August 11, 2016
TIME: 2:00 P.M.

CITY COUNCIL
COMMITTEE OF ZONING AND PLANNING
DATE: September 14, 2016
TIME: 4:00 P.M.

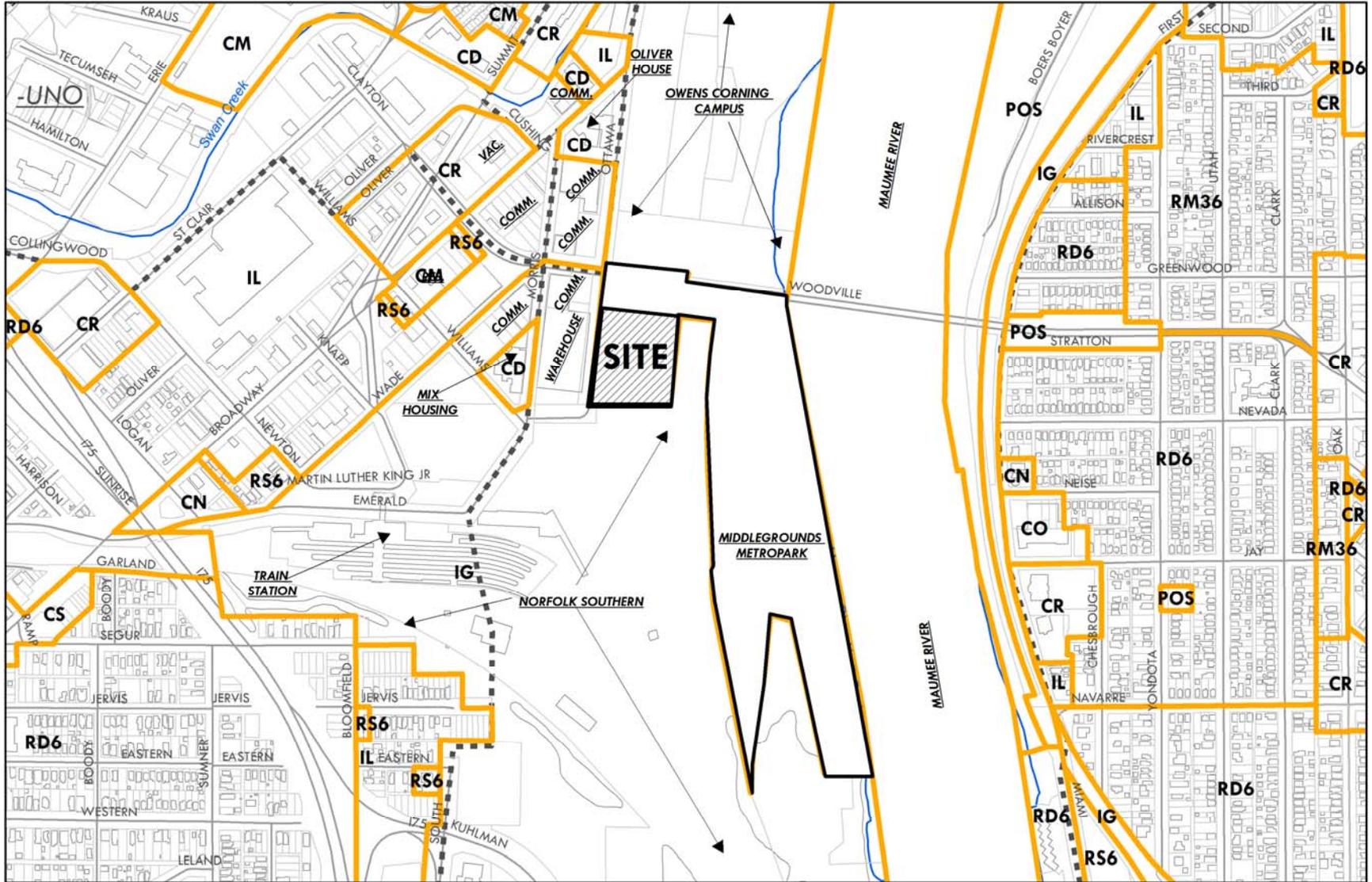
RS
Four (4) sketches follow

ZONING & LAND USE

SUP-7001-16
ID 10



6-9



CONCEPT PLAN

SUP-7001-16
ID 10



Middlegrounds Metropark - Ottawa Street Dog Park

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GENERAL INFORMATION

Subject

- Request - Major Site Plan Review for a new sit-down restaurant parking lot modifications
- Location - 5060 Monroe Street
- Applicant - On The Border Grill and Cantina
2201 W. Royal Lane
Suite 240
Irving, TX 75063
- Contact - Lesley Netzer
1001 Warrenville Road
Suite 350
Lisle, IL 60532

Site Description

- Zoning - CR Regional Commercial District
- Area - ±1.90 acres
- Frontage - ±139' along Monroe Street
- Existing Use - Partially developed (parking lot)
- Proposed Use - Sit-Down Restaurant
- CDC - None

Area Description

- North - Single Family Residential / RS12
- South - General Retail Shopping / CR
- East - Tire Repair and Sales Shop / CR
- West - Retail Shopping Plaza/ CR

Parcel History

- SPR-6-13 - Major Site Plan Review for new restaurant and parking lot. Case was withdrawn on 7/17/13.

GENERAL INFORMATION (cont'd)

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is requesting a Major Site Plan Review to facilitate the development of a new sit-down restaurant and parking lot modifications located at 5060 Monroe Street. A sit-down restaurant is defined as: “the sale of food prepared and served to be generally consumed on the premises. Typically, clientele does not turn over rapidly”. The site is comprised of one (1) parcel that was formerly occupied by a Lone Star Steakhouse Restaurant that is now demolished, and a portion of the parcel to the north. Located in a CR Regional Commercial zoning district, the site has a total land area of ±1.90 acres. Pursuant to TMC§1111.0802.B.2, all nonresidential developments that propose 60 or more off-street parking spaces require a Major Site Plan review.

The site plan depicts the construction of a new 1-story, ±6,592 square foot restaurant and associated parking area. The building will rest on the site so that it forms a relationship with the adjacent street and creates a sense of arrival for customers by placing the majority of parking in the rear of the property. The site plan identifies 243 seats as the maximum occupancy allowed for the sit-down restaurant. The proposal includes the acquisition of a small portion of property to the north to accommodate additional parking.

Parking and Circulation

Pursuant to TMC§1107.0304 Parking, Loading, and Access – Schedule A, a development of this type is required to have (1) one parking space per (3) three employees plus (1) parking space per seventy-five (75 sqft.) square feet of customer area. The site plan shows that this establishment will employ thirty (30) people and the building’s footprint is a total of ±6,592 square feet. The applicant is proposing a total of 129 parking spaces which is well above the required 98 spaces. A total of (5) five handicap parking spaces are required. The site plan submitted is in compliance with this requirement.

According to TMC§1107.1905 Parking, Loading, and Access – Surfacing and Drainage, off street parking and loading spaces, parking lots, maneuvering aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot. The site plan depicts an internal storm drainage system that will service the majority of the parking lot and outlet into the existing stormwater sewer line located along Monroe Street.

STAFF ANALYSIS (cont'd)

Density

The site is zoned CR Regional Commercial. The entire development site is comprised of ±1.9 acres (82,764 sqft) in total parcel area, with the new restaurant consisting of ±6,592 square feet. The remainder of the site will be dedicated to landscaping requirements along with parking and circulation needs. Floor Area Ratio (FAR) standards regulate the amount of building floor area allowed on a site. Based on Floor Area Ratio calculations (dividing the floor area of a non-residential building space on a site by the gross lot area of the site), the FAR is equal to 0.08 percent. This is well below the 2.5 percent maximum allowed in the CR zoning district as stated in TMC§1106.0102 Intensity and Dimensional Standards Table.

The maximum building coverage of the site is 85 percent (TMC§1106.0102 Intensity and Dimensional Standards Table). Building coverage refers to the total area of a lot covered by buildings or roofed areas. Ground level parking, open recreation areas, courtyards, patios and plazas are not to be counted as building coverage (TMC§1106.0207). The proposed site plan coverage is thirteen (13%) percent, which is well below the 85 percent allowed in the CR zoning district.

Landscaping

A landscape plan has been submitted as part of the Major Site Plan Review. Pursuant to TMC§1108.0202 “Landscaping and Screening”, the following criteria apply: At least one tree must be provided for every 30 feet of lot frontage or fraction thereof. Trees are not required to be evenly spaced and may be clustered; If parking lot is proposed to be developed in the front of the property, the frontage greenbelt shall include a solid evergreen hedge planting to screen the parking lot so that no headlights of any vehicles can be seen from the public street; Frontage greenbelts shall be a minimum of 15 feet.

Calculations for the Monroe Street Frontage Greenbelt (±139') require that five (5) trees are to be incorporated into the greenbelt. Landscape terminal islands are also required to be provided at the end of each parking row. Although interior and perimeter parking lot landscaping requirements are met, a revised landscape plan that shows compliance with the required number of frontage greenbelt trees and a solid evergreen hedge planting to screen the parking lot (so that no headlights of any vehicles can be seen from the public street) is required. Landscaped areas must be properly maintained and irrigated as necessary to assure good and healthy conditions for the required plant material. For projects over one-half (½) acre in site area, irrigation plans that contain all construction details must be submitted with development plans. Irrigation will be required for this site.

STAFF ANALYSIS (cont'd)

Landscaping (cont'd)

Pursuant to TMC§1108.0205, interior site landscaping must consist of foundation shrub plantings and new tree plantings or the preservation of existing trees or hedges within the development site. TMC§1108.0205(B) requires that one 2-inch caliper tree for every 1,000 square feet of building coverage (footprint); foundation plantings along all portions of the building that are visible from the public right-of-way; and landscaping at all major building entrances shall be provided. The landscape plan fulfills this requirement and offers foundation plantings along all facades, not just those visible from the public right-of-way.

Building Design

The intent of building design standards is to ensure a base level of quality architecture that is responsible to its context and contributes to the established architectural character of an area. The pitched roof of the restaurant is compatible with the context of the residential neighborhood located northeast of the site, while its scale and massing are responsive to the commercial developments abutting the site to the east and to the west. Per TMC§1109.0205.C.3 Building Design Standards, primary entrance(s) shall be clearly defined and contrast with surrounding wall plane. This is achieved with convex entryways on the south side and east side that are also expressed through a height change and a flat parapet roof system.

Buildings in the CR district have a maximum height limit of 65 feet. The proposed design is in compliance with this regulation. The elevation drawings and site plan for the proposed restaurant indicate the total height of the structure will be ±26 feet. The elevation renderings indicate the use of low-reflectance, subtle, neutral or earth tone materials throughout the development. The building will have varying roof heights, and recesses at various locations to help break the mass of the building and provide the building with architectural character.

Predominate exterior building materials shall be high-quality materials. For facades visible from the public right-of-way, predominate materials must comprise at least seventy-five percent (75%) of the total wall area of the façade. The building materials shall meet the requirements of TMC§1109.0500 Building Façade Materials and Color. Exterior building materials shall not include concrete blocks, concrete panels or wood sheet goods. The applicant is proposing to use a small percentage of corrugated metal paneling (15.2% on the “front” elevation) to help accent and add character to the building along the “front” facade. The use of this material may be approved by the Planning Director and is included as a condition of approval.

STAFF ANALYSIS (cont'd)

Building Design (cont'd)

Pursuant to TMC§1109.0501.6 – *Façade Materials*, exterior insulation and finish systems (E.I. F. S) or equivalent product is only acceptable when thirty-six (36”) inches above grade and not within an entryway, and comprising less than fifteen (15%) percent of the façade. The “right” side elevation (east elevation) proposes the use of thirty-eight (38%) percent E.I.F.S as a façade material. Although this elevation is not visible from the right-of-way, it has one (1) of the two (2) main entrances and it is adjacent to the main access drive, both of which make it a prominent facade to restaurant patrons. Staff recommends that the amount of E.I.F.S for this façade is reduced to around twenty-five (25%) percent. The applicant is requesting a waiver to allow for than fifteen (15%) of E.I.F.S on subject façade.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Regional Commercial uses. The intent of the CR Regional Commercial designation is to accommodate auto-oriented commercial development in areas already built in this manner and to accommodate community and regional-oriented commercial uses. The proposed development conforms to this land use designation.

Staff has reviewed the proposed Major Site Plan Review in accordance with the criteria of TMC§1111.0809 and based on the results of the review, staff has determined that the Major Site Plan is suitable for this location because the approval of the proposed use is allowed within the zoning district in which it is located in and the plan complies with all standards of the Toledo Municipal Zoning Code.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommends approval of SPR-29-16, a request for a Major Site Plan Review for a new sit-down restaurant and parking lot modifications for a site located at 5060 Monroe Street to the Toledo City Council, for the following two (2) reasons:

1. The proposed use complies with all the standards or the Toledo Municipal Zoning Code and other adopted City policies (TMC§1111.0809(A)); and
2. The proposed use is allowed within the zoning district in which it is located in (TMC§1111.0809(B)).

STAFF RECOMMENDATION (cont'd)

The staff recommends that the Toledo City Plan Commission make the following recommendations to the Toledo City Council on the allowable amount of exterior insulation and finish systems (E.I.F.S) or equivalent product when thirty-six (36") inches above grade proposed and the use of fifteen (15%) percent of corrugated metal paneling along the "front" façade as proposed at 5060 Monroe Street:

Chapter 1109 Design Standards

Sec. 1109.0500 Building Façade Materials and Color

Sec. 1109.0501.A.6 Façade Materials

Approve waiver to allow for no more than twenty-five (25%) percent of exterior insulation and finish systems (E.I.F.S) or equivalent product when thirty-six (36") inches above grade.

Staff further recommends the use of fifteen (15%) percent of corrugated metal paneling along the "front" façade as proposed at 5060 Monroe Street as a condition of approval.

The staff recommends that the Toledo City Plan Commission approve SPR-29-16, a Major Site Plan Review for a new restaurant and parking lot modifications located at 5060 Monroe Street, subject to the following forty (40) conditions:

The following conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. A pre-submittal meeting is not required; however, one may be requested. Contact Information is as follows:

Division of Engineering Services: ph. 419-245-1315, fax 419-936-2850

Right-of-Way and Inspection: Joe Warnka 419-245-1220

Roadway: Tim Grosjean, ph. 419-245-1344

Water: Andrea Kroma, ph. 419-936-2163

Storm-water Drainage: Lorie Haslinger, ph. 419-245-3221;

Andy Stepnick 419-245-1338

Sanitary Sewers: Mike Elling, ph. 419-936-2276

2. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

3. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
4. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch-thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop or opening.** Existing drive approaches, including the curb drop, that will no longer be utilized shall be removed and restored with curb to match the adjacent curb.
5. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

6. Water service is available subject to the Rules and Regulations of the Department of Public Utilities.
7. Detailed plans for the water services shall be submitted to the Division of Engineering Services for review and approval. Plan design and submittal shall comply with the current version of the City of Toledo DPU Infrastructure Design and Construction Requirements.
8. Contact the City of Toledo Fire Prevention Bureau (419-245-1263) to verify the fire protection requirements for this site.
9. Plans for new water meter shall be submitted to the Division of Water Distribution for review and approval.
10. All commercial properties are required to have approved backflow protection devices installed on the domestic water service and fire protection lines. Installation of the devices must be verified by the Division of Water Distribution and all devices must be registered with BSIonlinetracking.com at 800-414-4990. Contact the Division of Water Distribution (419-245-1395) to verify the backflow prevention requirements for this site.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

11. The plan submitted for Plan Commission review indicate earth-disturbing activity greater than 2,500 square feet; therefore, a detailed site-grading plan, Storm Water Pollution Prevention Plan (SWP3), calculations, plans for stormwater service, and a maintenance plan and maintenance agreement for Post-Construction Storm Water Best Management Practices (BMP's) for this project shall be submitted directly to the Division of Engineering Services for stormwater review and approval.
12. Plan submittals shall be in conformance with the latest version of Infrastructure Design and Construction Requirements available at <http://toledo.oh.gov/services/public-utilities/div-engineering-services/plan-review-process/>, including the requirements for stormwater detention and post-construction stormwater Best Management Practices (BMPs).
13. Any person performing earth-disturbing activities within the City of Toledo shall employ Construction Best Management Practices (BMPs) to provide sediment and erosion control during construction. Construction BMPs shall be designed and installed per the latest Ohio EPA General Storm Water NPDES permit.
14. All disturbed land areas over 1 acre must submit an NOI to and obtain a permit from the Ohio EPA.
15. All sites disturbing 2,500 sq. ft or more shall develop a site-specific Storm Water Pollution Prevention Plan (SWP3), which shall be submitted for review and approval. The SWP3 shall address all components required per the latest Ohio EPA General Storm Water NPDES permit and shall accompany a completed Ohio EPA SWP3 Checklist. The checklist can be found at the following link: http://epa.ohio.gov/dsw/storm/const_SWP3_check.aspx
16. Designs incorporating low impact development solutions, such as grassy swales and bio-retention areas in lieu of curb, storm sewers, and underground detention, are encouraged and may be eligible for a percent reduction in the property's storm-water utility fee through the Stormwater Credit Program.
17. All storm drainage must be internal and not run off onto adjacent properties unless approved by the City of Toledo Drainage Engineer.
18. No construction work, including any earth-disturbing work, will be permitted without approved plans and inspection.

STAFF RECOMMENDATION (cont'd)

Engineering Services (cont'd)

19. Being in or adjacent to a flood hazard zone, this area is subject to Toledo Municipal Code, Chapter 1110, which must be complied with in full.
20. To allow for maintenance access, structures, permanent fences, walls, or other obstructions are not permitted within 12 feet of the top of bank or ordinary high water mark of Tiffit Ditch or within the floodway. Clearing of vegetation, storage of materials, or development within 40 feet of the ordinary high water mark of Tiffit Ditch is discouraged due to water quality impacts.
21. Sanitary sewer service for this development is available subject to the Rules and Regulations of the Department of Public Utilities.
22. A single sanitary sewer tap from this site shall be allowed into the public sanitary sewer system. Developer shall use existing sanitary tap, when available.
23. Any previous kills that were not done at the right-of-way line shall be re-killed at the right-of-way to eliminate any active pipes on the property.
24. All sanitary sewer manholes in the project area shall have solid lids installed on them.

Sewer & Drainage Services

25. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
26. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Fire Prevention

No comments and/or objections to the site plan.

Transportation

27. If not already established, a cross-access agreement shall be formalized with adjacent property owners.

STAFF RECOMMENDATION (cont'd)

Plan Commission

28. A copy of the proposed cross-access agreement with the property to the west shall be submitted to the Plan Director.
29. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks. **Acceptable as depicted on site plan.**
30. Ingress and egress to a parking lot in a Commercial or Industrial zoning district must be from a major street or from a street located in a Commercial or Industrial district with Commercial or Industrial zoning on the opposite side of the street (TMC§1107.1203). **Acceptable as depicted on site plan.**
31. Off-street parking and loading spaces, parking lots, maneuvering aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water toward the interior of the parking lot (TMC§1107.1906).
32. A concrete curb or permanent wheel stops shall be constructed along the edge of all parking spaces adjoining landscaping area.
33. Parking lots must be maintained in a safe operating condition so as not to create a hazard or nuisance. All materials used in the construction of paving, lighting fixtures, retaining walls, fences, curbs and benches must be continuously maintained and kept free of debris (TMC§1107.1909).
34. The building materials shall meet the requirements subject to waiver of TMC§1109.0500 *Building Façade Materials and Color*, to allow for no more than twenty-five (25%) percent of exterior insulation and finish systems (E.I.F.S) or equivalent product when thirty-six (36") inches above grade. **A revised elevation shall be submitted indicating compliance with this requirement.**
35. The use of 15.2% percent of corrugated metal paneling along the "front" façade is an acceptable material.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

36. A detailed site, lighting, sign, fencing and four (4) landscaping plans separate from the Building Plans shall be submitted to the Plan Director for review and approval. Such plan shall include:
- a. One tree is required for every 500 square feet of building coverage, or fraction thereof, for all structures. Greenbelt Frontage trees are included in this total, minimum of two trees in the front and side yards. Foundation plantings for the full street facing building elevation; and landscape areas at major building entrances; **acceptable as depicted on landscape plan.**
 - b. Total interior landscaping shall be 20 square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing; **acceptable as depicted on landscape plan.**
 - c. All parking spaces must be within 100 linear feet of a landscaped area. **(acceptable as depicted on landscape plan);**
 - d. All landscaped areas must have a minimum dimension of at least 9 feet and be at least 160 square feet in area; **acceptable as depicted on landscape plan.**
 - e. Topsoil must be back filled to provide positive drainage of the landscape area;
 - f. Landscaped areas **may not** contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage;
 - g. Landscape terminal islands must be provided at the end of each parking row. **(acceptable as depicted on landscape plan);**
 - h. Two canopy trees and six shrubs are required to be installed in interior landscape areas for each 10 parking spaces within the parking lot. **(acceptable as depicted on landscape plan);**

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

- i. Frontage greenbelts shall be constructed of grass, trees and shrub plantings. Greenbelt frontage landscaping shall be a minimum width of 15 feet, constructed of a solid evergreen hedge and provide a minimum of one tree for every 30 feet of frontage. Trees are not required to be evenly spaced and may be clustered. **(acceptable as depicted on landscape plan);**
 - j. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten feet (10') in width. **(acceptable as depicted on landscape plan);**
 - k. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards; **acceptable as depicted on landscape plan.**
 - l. If site is ½ acre or larger, landscaped areas must be irrigated as necessary to maintain required plant materials in good and healthy condition. Irrigation plans must be submitted with development plans and must contain all construction details. Irrigation plan can be provided up to one year following site plan approval;
 - m. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties); **compliance to be determined.**
 - n. The location, lighting and size of any signs, all signage is subject to TMC§1387; **compliance to be determined.**
37. Landscape materials shall be installed to satisfy the minimum requirements of TMC§1108.0401.
38. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.

STAFF RECOMMENDATION (cont'd)

Plan Commission (cont'd)

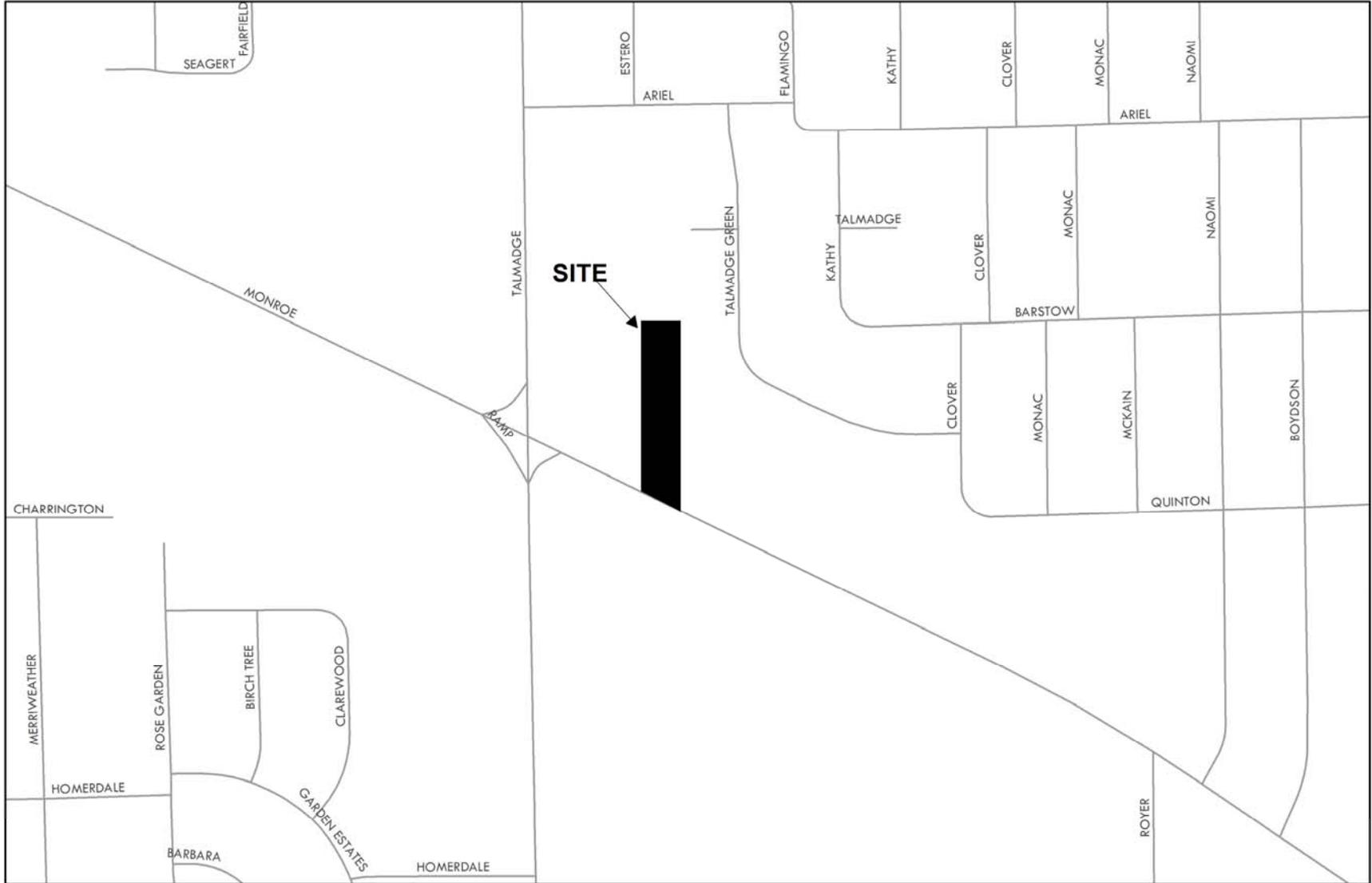
39. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.
40. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. Landscaping shall be installed & maintained indefinitely.

MAJOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-29-16
DATE: August 11, 2016
TIME: 2:00 P.M.

GP/mn
Nine (9) sketches follow

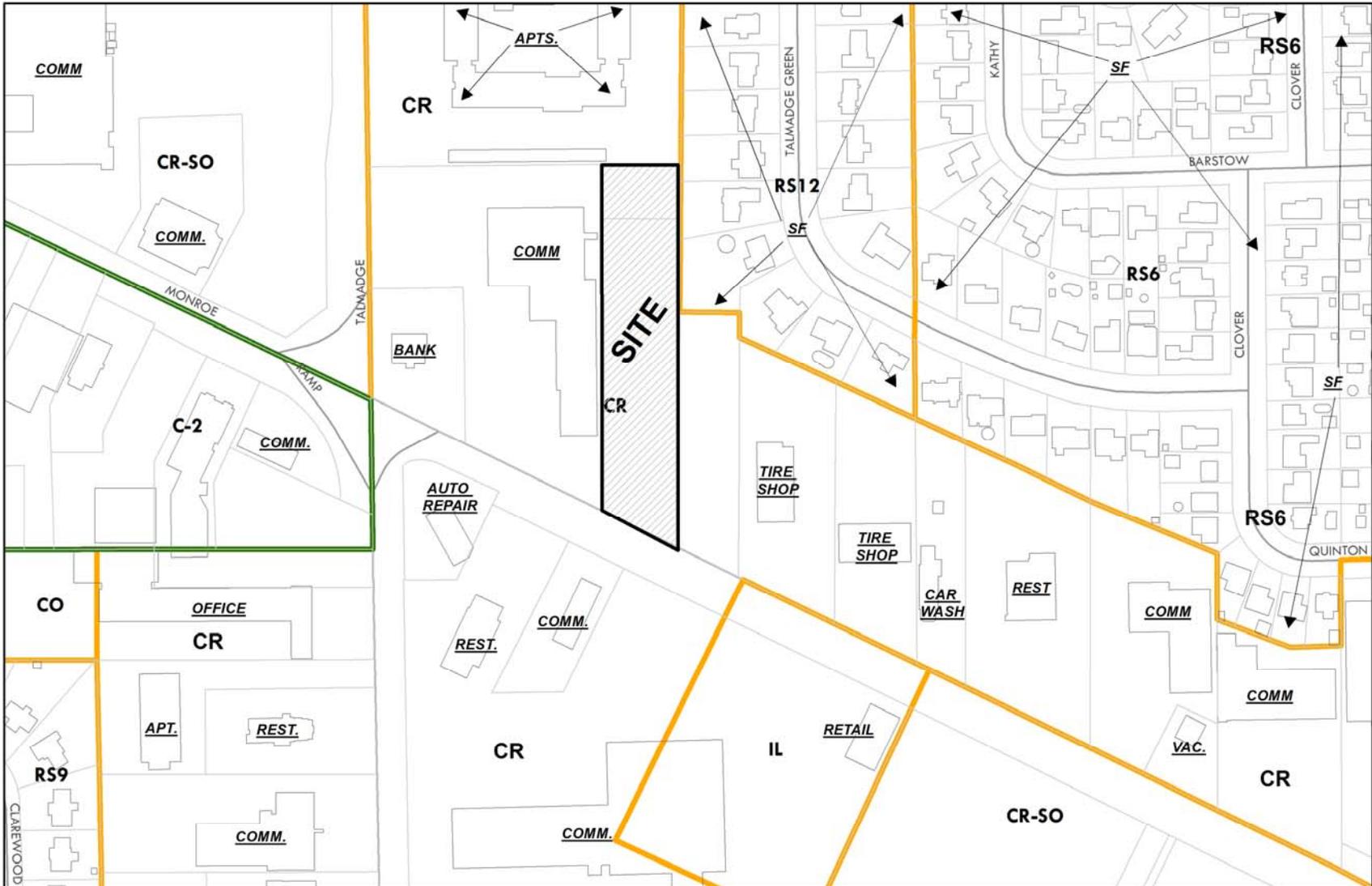
GENERAL LOCATION

SPR-29-16
ID 77



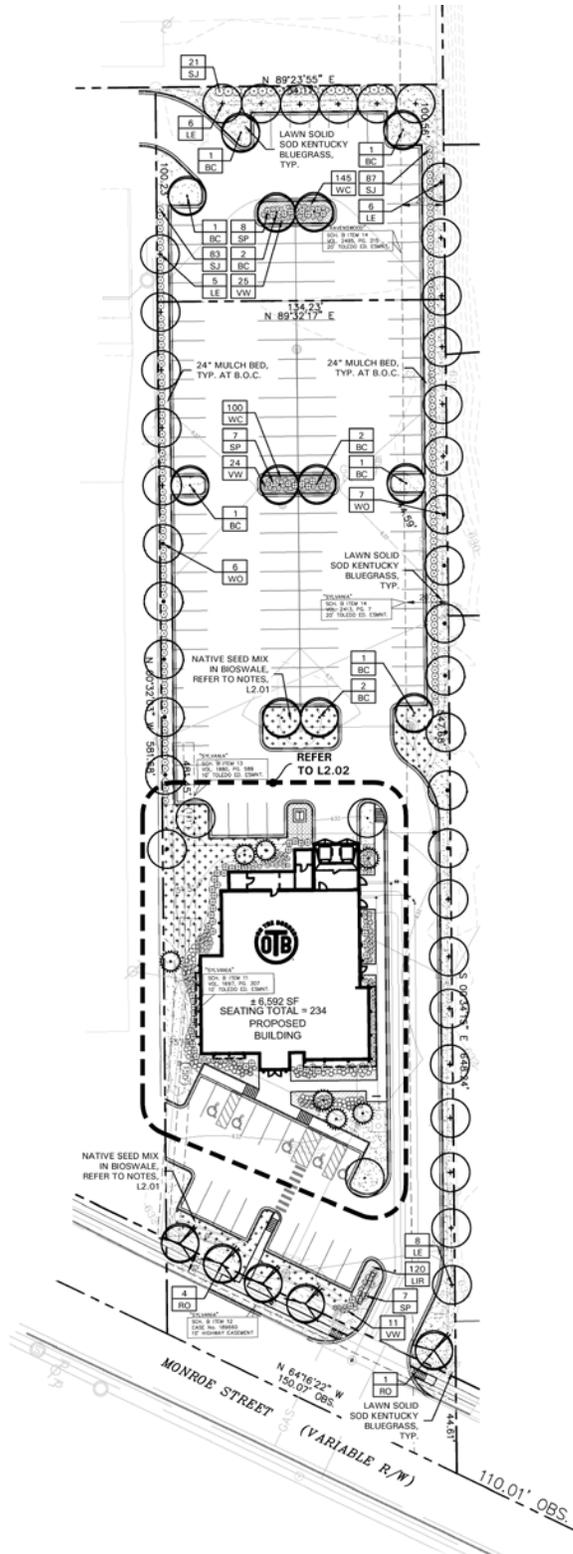
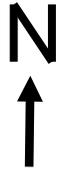
ZONING & LAND USE

SPR-29-16
ID 77



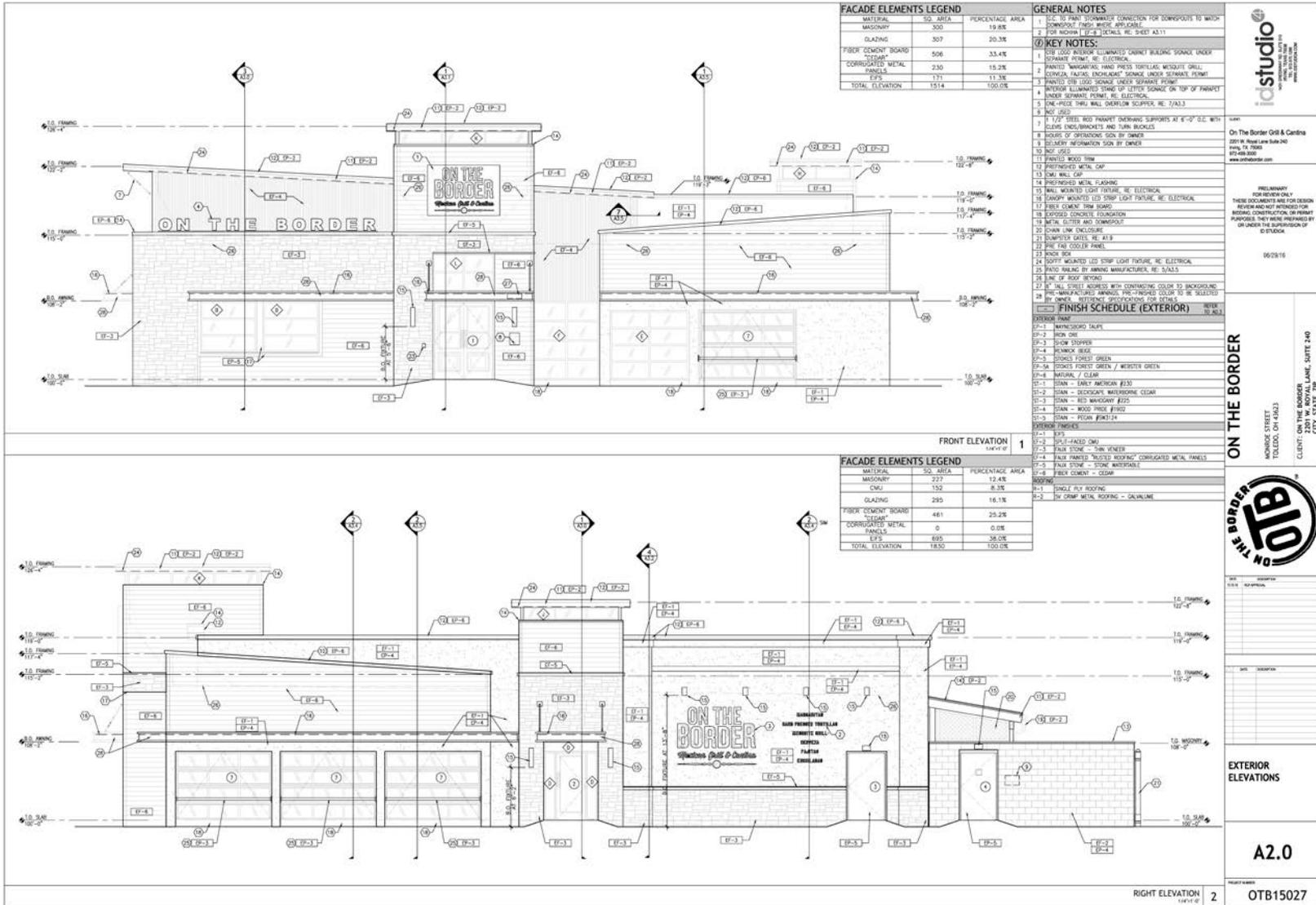
LANDSCAPE PLAN 2.01

SPR-29-16
ID 77



ELEVATION A2.0

SPR-29-16
ID 77



OTB
ON THE BORDER

100 MONROE STREET
TOLLEDO, OH 43603

CLIENT: ON THE BORDER
2301 W. ROYAL LANE, SUITE 240
CITY, STATE, ZIP

PROJECT NUMBER: OTB15027

DATE: 06/28/16

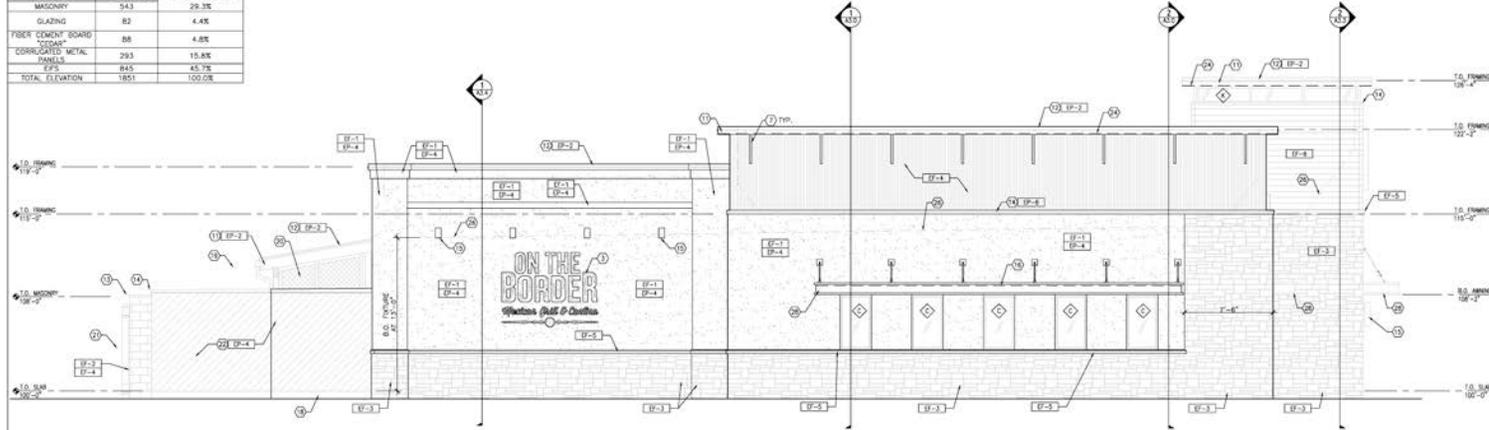
FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW AND NOT INTENDED FOR RECORD CONSTRUCTION. ANY PRINT PURCHASES, THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF D. STEINBOCK

On The Border Off & Onsite
2301 W. Royal Lane Suite 240
TOLLEDO, OH 43603
877-499-3000
www.ontheborder.com

ELEVATION A2.1

SPR-29-16
ID 77

FACADE ELEMENTS LEGEND		
MATERIAL	SG. AREA	PERCENTAGE AREA
MASONRY	543	29.3%
GLAZING	82	4.4%
FIBER CEMENT BOARD "COTINA"	88	4.8%
CORRUGATED METAL PANELS	293	15.8%
EPS	845	45.7%
TOTAL ELEVATION	1851	100.0%



LEFT ELEVATION
1 of 2

FACADE ELEMENTS LEGEND		
MATERIAL	SG. AREA	PERCENTAGE AREA
MASONRY	58	4.8%
GLAZING	10	0.8%
FIBER CEMENT BOARD "COTINA"	75	6.3%
CORRUGATED METAL PANELS	48	4.0%
EPS	1007	84.1%
TOTAL ELEVATION	1198	100.0%

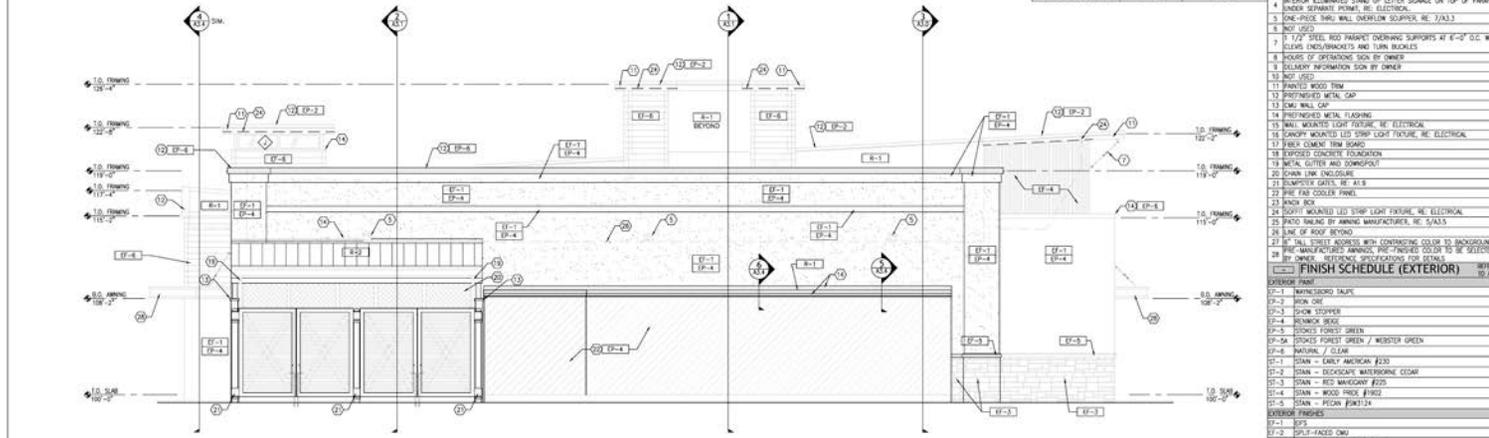
GENERAL NOTES

- D.C. TO PAINT DOWNWARD CONNECTION FOR CORROSION TO MATCH DOWNWARD FINISH WHERE APPLICABLE
 - FOR MOHAWK (E-4) DETAILS, RE. SHEET A3.11
- KEY NOTES:**
- SEE COOP DRAWING FOR ILLUMINATED CABINET BUILDING SIGNAGE UNDER SEPARATE POINT, RE. ELECTRICAL
 - PANTRY SIGNAGE HAS FINISH PORTLAND MESSQUITE GRILL, CROWN, RAJAS, ENCHILADAS' SIGNAGE UNDER SEPARATE POINT
 - PANTRY ONE LOG SIGNAGE UNDER SEPARATE POINT
 - INTERIOR ILLUMINATED SIGNAGE OF 12" X 12" SIGNAGE ON TOP OF PANTRY UNDER SEPARATE POINT, RE. ELECTRICAL
 - ONE-PIECE WALL OVERLAP SUPPLIER, RE. 7(A)3.3
 - NOF USED
 - TYP. STEEL ROD HANGERS OVERHANG SUPPORTS AT 6"-0" O.C. WITH CLIPS END/BRACKETS AND TURN BUCKLES
 - HOURS OF OPERATING SIGN BY OWNER
 - ILLUMINATED SIGNAGE BY OWNER
 - NOF USED
 - FRAME WOOD TRIM
 - PREFINISHED METAL CAP
 - EMG WALL CAP
 - PREFINISHED METAL FLASHING
 - WALL MOUNTED LIGHT FIXTURE, RE. ELECTRICAL
 - CANOPY MOUNTED LED STRIP LIGHT FIXTURE, RE. ELECTRICAL
 - BLACK LUMINE TRIM BOARD
 - EXPOSED CONCRETE FOUNDATION
 - METAL GUTTER AND DOWNSPOUT
 - DOWN LINE ENCLOSURE
 - COMPUTER GATES, RE. A1.8
 - FREE AIR COLLER PANEL
 - SANDBOX
 - ROOF MOUNTED LED STRIP LIGHT FIXTURE, RE. ELECTRICAL
 - PAVO SLAB BY ANNING MANUFACTURER, RE. 5(A)3.5
 - LINE OF ROOF BEYOND
 - SEE ALL EXIST. ADDRESS WITH CONSIDERING COLOR TO BACKGROUND PRE-MANUFACTURED ANIMALS, PRE-FINISHED COLOR TO BE SUCCEEDED BY OWNER, REFERENCE SPECIFICATIONS FOR DETAILS

FINISH SCHEDULE (EXTERIOR)

- EXTERIOR PAINT
- E-1 - INTERIOR PAINT
 - E-2 - BROWN OCE
 - E-3 - SPAN OLYMPIE
 - E-4 - BRUNNEN BRICK
 - E-5 - SPAN FOREST GREEN
 - E-6 - SPAN FOREST GREEN / ROBERT GREEN
 - E-7 - NATURAL / CLEAR
 - E-8 - SPAN - EARLY AMERICAN #220
 - E-9 - SPAN - DECADENT MANSIONING COGNAC
 - E-10 - SPAN - RED MANSION #220
 - E-11 - SPAN - WOOD PROX #190
 - E-12 - SPAN - PEGAN PASTELIA
- EXTERIOR FINISHES
- F-1 - EPS
 - F-2 - POLY-FACED GYPSUM
 - F-3 - FAUX STONE - TAN VENETI
 - F-4 - FAUX MANTON "MIDDLE" ROOFING CORRUGATED METAL PANELS
 - F-5 - FAUX STONE - STONE MATERIALS
 - F-6 - FIBER CEMENT - CLEAR
- ROOFING
- R-1 - SINGLE PLY ROOFING
 - R-2 - 20Y DUMP METAL ROOFING - GALVALUME

BACK ELEVATION
2 of 2



idstudio
ARCHITECTURAL & INTERIOR DESIGN

On The Border Grill & Cantina
2011 W. Howe Lane Suite 240
Toledo, OH 43620
www.ontheborder.com

PRELIMINARY FOR REVIEW ONLY
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF DESIGN DEVELOPMENT AND PROVISION. THE WORK PREPARED BY OR UNDER THE AUTHORITY OF ENGINEER NAME, RE. BE ON EXERCISE. IT IS NOT TO BE USED FOR OTHER PURPOSES.

06/2016

ON THE BORDER
WORKING STREET
TOLEDO, OH 43623

CLIENT: ON THE BORDER, 2011 W. HOWE LANE, SUITE 240
TOLEDO, OH 43623

OTB
ON THE BORDER

DATE: 06/2016
SCALE: AS SHOWN

DATE: 06/2016
SCALE: AS SHOWN

EXTERIOR ELEVATIONS

A2.1

PROJECT NUMBER: OTB15027

RENDERING

SPR-29-16
ID 77



Front Elevation



Left Elevation



On The Border
Toledo, Ohio

RUSTY ALLAN
RIDGE, AIA

RENDERING

SPR-29-16
ID 77



Rear Elevation



Right Elevation



On The Border
Toledo, Ohio

RUSTY ALLAN
RIDGE, AIA

GENERAL INFORMATION

Subject

- Request - Special Use Permit for a Used Auto Sales Lot
- Location - 2965-2975 West Sylvania Avenue
- Applicant - John Murphy
Murphy Properties
3749 W. Erie Road
Temperance, MI 48182
- Engineer - George Oravec
Oravec & Associates, LLC.
5333 Secor Road #2
Toledo, Ohio 43623

Site Description

- Zoning - CR Regional Commercial
- Area - ± 0.34 acres
- Frontage - ±135' on Sylvania Avenue
±109' on Doty Street
- Existing Use - Used Auto Sales Lot
- Proposed Use - Used Auto Sales Lot
- Parking Required - 6 total required spaces (1 per 5,000 square feet of open sales area (±10,000 sq ft) plus 1 per 500 square feet of enclosed sales area (±500 sq ft), plus 1.5 per service bay (2 service bays))
- Parking Provided - 25 spaces with no customer parking depicted

Area Description

- North - Office, Photography Studio, Funeral Home / CR
- South - Single Family Residential / RS6
- East - Chiropractor / CN
- West - Comic Bookstore / CR

Parcel History

No records on file.

GENERAL INFORMATION (cont'd)

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

This case was deferred from the April 14, June 9 and July 14, 2016 Plan Commission hearings in order for a representative to be present. The request is for a Special Use Permit to operate a used auto sales lot at 2965-2975 West Sylvania Avenue. The overall site is comprised of four (4) parcels and has frontage on West Sylvania Avenue and Doty Street. The current site is occupied by one (1) auto repair structure with an area of roughly 1,400 square feet and contains two service bays. Surrounding land uses include a mixture of single and multi-family homes immediately behind the subject property with Neighborhood Commercial land uses abutting the subject property along Sylvania Avenue.

The applicant is requesting a Special Use Permit to continue to operate a used auto sales lot. On November 24, 2015, the Division of Code Enforcement issued a citation for motor vehicles parked in the City right-of-way and operating a used auto sales lot without a Special Use Permit. A Special Use Permit has been required for all Used Automobile and Recreational Vehicle Sales facilities since 2004.

Used Auto Regulations

TMC§1104.0300 – *Auto and RV Sales, Used Only* outlines site design criteria for used auto sales facilities, including criteria governing minimum lot size and frontage. Used auto sales facilities shall be located on a lot with no less than one-half (1/2) acre and have a minimum average width of 150 feet along the main road frontage. The site plan submitted is not in compliance with these regulations.

Site plans for Used Automobile and Recreational Vehicle Sales shall be delineated, with dimensions, parking areas and drive aisles for the outdoor display area and customer/employee parking area. Used vehicle inventory shall only be displayed, parked or located within designated parking spaces approved and defined on the plan. Required customer/employee parking may not be used for used vehicle inventory (TMC§1104.0308). The site plan submitted does not delineate the outdoor display areas with customer parking and therefore not in compliance with this regulation.

STAFF ANALYSIS (cont'd)

Parking and Circulation

Pursuant to TMC§1107.0304 – *Parking, Loading, and Access*: Schedule A, a Used Auto and Recreational Vehicle Sales/Rental facility is required to have one (1) parking space per every 5,000 square feet of open sales area, plus one (1) parking space per every 500 square feet of enclosed sales area, plus one and one half (1.5) per every service bay. The site plan depicts a total 10,000 square feet of open sales area, requiring two (2) customer parking spaces on the site.

Calculations using the square footage of enclosed sales (1 per 500 sq. ft.) and two (2) service bays would require an additional four (4) customer spaces. The site plan submitted depicts a total of twenty-five (25) parking spaces but does not depict the total number of customer parking spaces. Total customer parking required for this site is six (6) spaces and these spaces shall be noted on a revised site plan.

Comments from the Division of Transportation identified several issues with the site required to be in conformance with the Toledo Municipal Code. The drive on to Doty Street is not permitted in its current location and shall be removed. The parking space closest to Sylvania Avenue does not meet the minimum dimension requirements. The drive aisles on the eastern portion of the property do not meet the requirement of twenty-five foot (25') wide access drive aisles. The parking spaces proposed in the center of the lot are not permitted to be perpendicular to other parking spaces. Finally, there is no parking for persons with disabilities shown on the site plan. ADA parking is required and must meet the requirements of the Toledo Municipal Code. If approved, a revised site plan shall be submitted addressing the concerns raised by the Division of Transportation.

Landscaping

The site was developed before the 2004 zoning code and therefore not required to completely comply with the landscape standards of the 2004 code. However, TMC§1114.0500 Appearance Upgrade for Nonconforming Development, requires futures changes to bring a site closer into compliance with the 2004 code. The site plan submitted did not depict any landscaping proposed on the site however, conditions of approval are listed in Exhibit "A".

A fifteen (15') foot frontage greenbelt is required along Sylvania Avenue and Doty Street. The frontage greenbelt shall include a solid evergreen hedge along both frontages to screen the parking lot. Low, undulating (horizontal and vertical) earth berms or decorative stone or brick walls (no concrete block), or ornamental metal fencing or combinations thereof may also be approved by the Planning Director.

STAFF ANALYSIS (cont'd)

Landscaping (cont'd)

A Type A landscape screen and buffer will be required along the southern property line of the site that abuts the residential zoning district. Said screen and buffer shall consist of a solid six (6') to eight foot (8') tall fence or wall with a ten foot (10') wide landscape buffer abutting the screening with canopy trees and shrubs. Fencing is to be installed so that the smooth/flush side faces away from the development site. Additionally, per TMC§1108.0203, a Type B landscape buffer is required with a ten foot (10') perimeter landscaping buffer between the eastern property line and the parking lot consisting of two (2) canopy trees with eight (8) shrubs. If approved, a completed Landscaping Plan must be submitted in compliance with TMC§1108.0200 Landscape Standards.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this area for Neighborhood Commercial land uses. CN land uses typically include predominantly small and medium scale commercial uses that serve neighborhoods. Small and medium scale office and mixed uses are permitted uses in the CN zoning designation. Used car sale lots are not considered a compatible land use within the CN zoning designation and therefore it does not conform to the Toledo 20/20 Comprehensive Plan.

Staff recommends disapproval of the Special Use Permit for this location because it does not meet the minimum lot width and area requirements for used auto sales lots per TMC§1104.0306. Additionally, the request is not compatible with the adjacent land uses along Sylvania Avenue and not consistent with the Toledo 20/20 Comprehensive Plan. Finally, the proposal does not comply with all applicable provisions of the zoning code as outlined in TMC§1111.0706 Review and Decision-making Criteria.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of SUP-2005-16, a Special Use Permit for a used car lot located at 2965-2975 West Sylvania Avenue, to Toledo City Council for the following four (4) reasons:

1. The request does not meet the provisions of TMC§1104.0306 for used auto sales requiring a minimum lot size of half (0.5) acre of area and one-hundred fifty feet (150') of major street frontage.
2. The proposed use does not meet the stated purpose of this Zoning Code (TMC§1111.0706.A Review & Decision-Making Criteria);

STAFF RECOMMENDATION (cont'd)

3. The proposed use does not comply with all applicable provisions of this Zoning Code (TMC§1111.0706.B Review & Decision-Making Criteria); and
4. The request is not compatible with adjacent uses in terms of scale, site design, and operating characteristics (hours of operation, traffic generation, lighting, noise, odor, dust, and other impacts associated with the use's operation) (TMC§1111.0706.C Review & Decision-Making Criteria).

Although staff is recommending disapproval, conditions of approval are included and listed by agency of origin as Exhibit "A" for informational purposes.

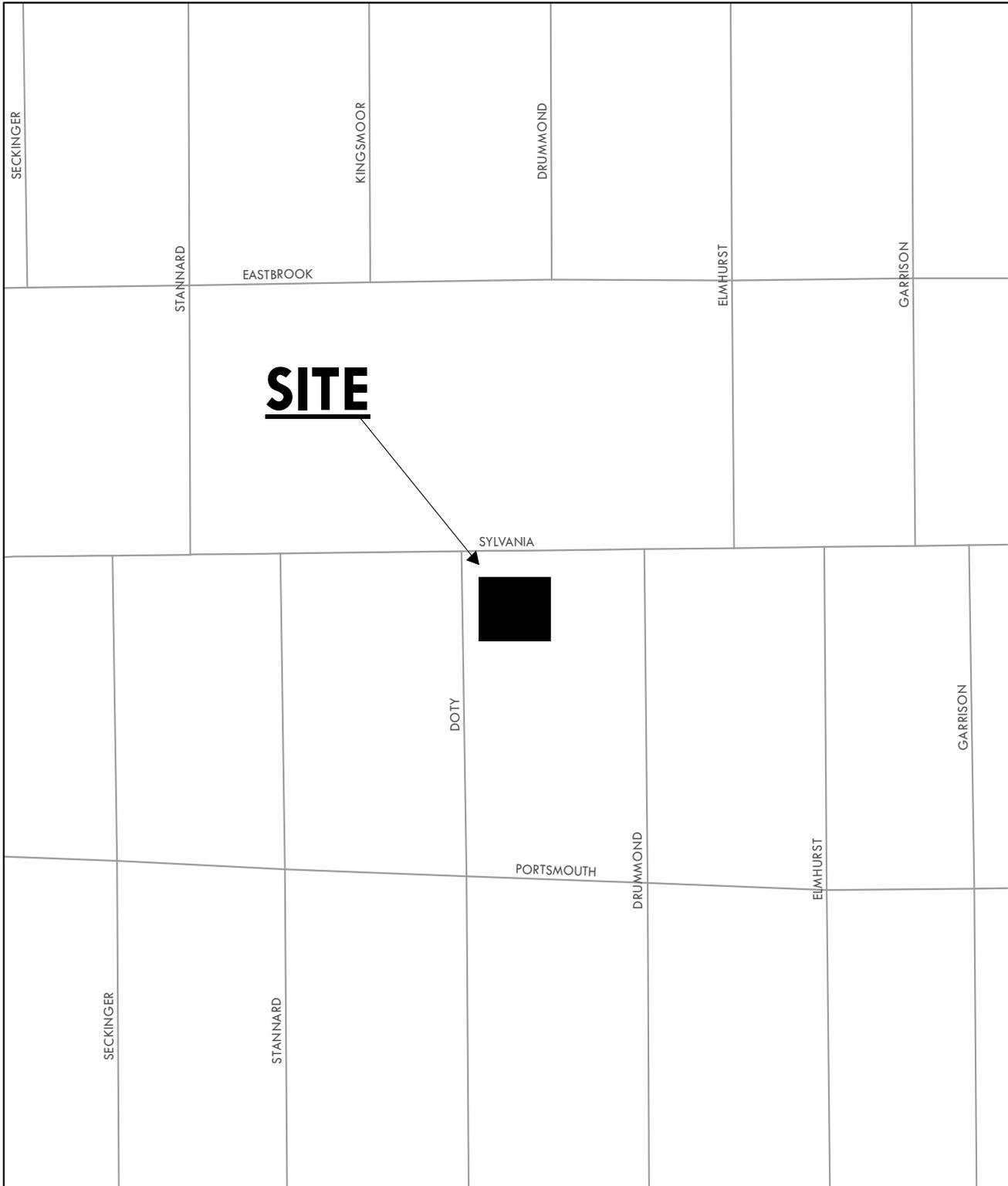
SPECIAL USE PERMIT
TOLEDO CITY PLAN COMMISSION
REF: SUP-2005-16
DATE: August 11, 2016
TIME: 2:00 P.M.

CITY COUNCIL
COMMITTEE OF ZONING AND PLANNING
DATE: September 14, 2016
TIME: 4:00 P.M.

RS
Three (3) sketches follow
One (1) exhibit follows

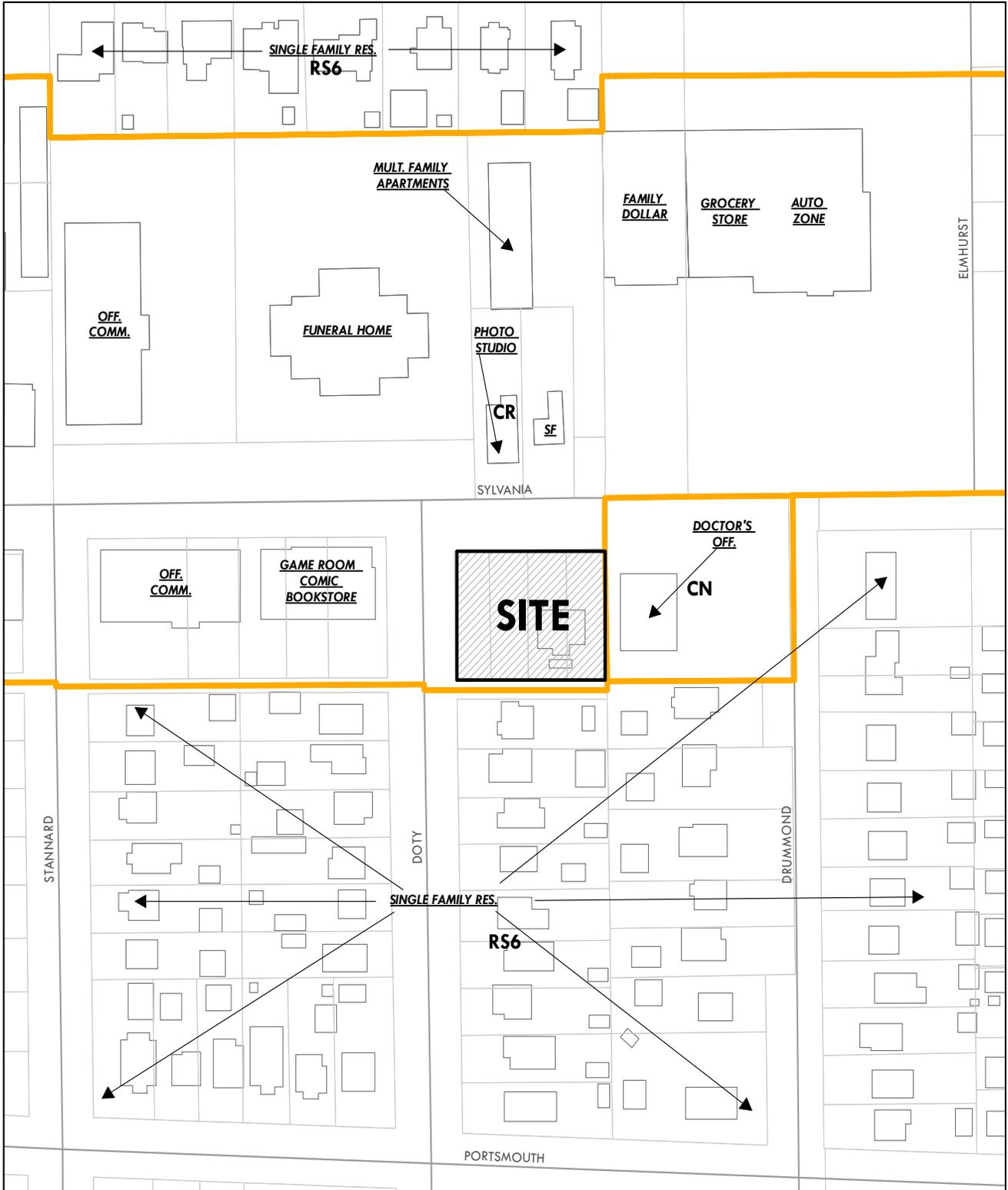
GENERAL LOCATION

SUP-2005-16
ID 46



ZONING & LAND USE

SUP-2005-16
ID 46



SITE PLAN

SUP-2005-16
ID 46



ORAVECZ & ASSOCIATES, LLC

SURVEYORS & ENGINEERS

PH 474-6664 FAX 474-5059 www.oraveczassociates.com 474-2405
5333 SECOR ROAD SUITE TWO TOLEDO, OHIO 43623

SITE PLAN

of
LOTS 1, 2, 3, & 4, CHIEFTON SUBDIVISION
CITY OF TOLEDO, LUCAS COUNTY, OHIO
for

MURPHY FAMILY PROPERTIES, LLC

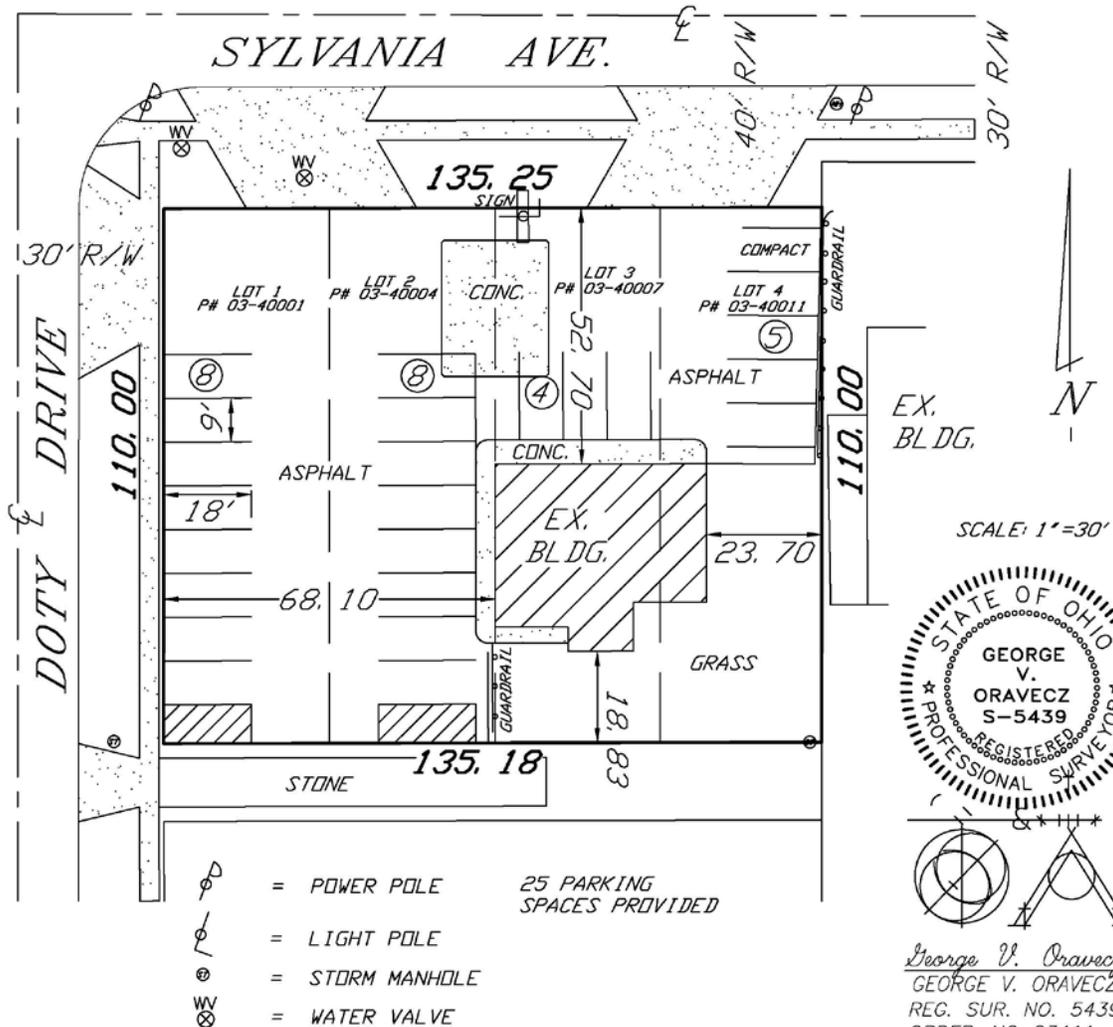


EXHIBIT “A”
Review Agency Conditions

The following thirty-two (32) conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Division of Engineering Services

1. All **existing standard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch-thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop or opening.** Existing drive approaches, including the curb drop, that will no longer be utilized shall be removed and restored with curb to match the adjacent curb.
4. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

5. Contact the City of Toledo Fire Prevention Bureau to determine the fire-protection requirements for this site.
6. Plan commission submittal does not detail any revisions to the existing site that will require earth-disturbing activity of 2,500 or more square feet, nor are any changes shown to the existing storm sewer system. Therefore, it appears that there are no items requiring a storm-water plan review. However, if revisions are made to the site plan that will result in earth-disturbing activity of 2,500 or more square feet or cause changes to the existing storm sewer, a full site-plan review and approval will be required by the Division of Engineering Services. Plans will be subject to the rules and regulations of the City of Toledo, Storm Water Utility, including storm-water detention and post-construction storm water Best Management Practices (BMPs) as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities.

EXHIBIT “A” (cont’d)

Sewer & Drainage Services

7. Recommend that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
8. Recommend that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to Sewer & Drainage Services demonstrating the lines cleaning and integrity.

Fire Prevention

No concerns.

Division of Environmental Services

9. Applicant shall maintain compliance with the City of Toledo’s Stormwater regulations as specified in the Toledo Municipal Code.
10. Applicant shall maintain compliance with Ohio EPA’s General Stormwater NPDES permit programs.
11. Any green infrastructure measures that can be included to minimize runoff and increase infiltration are highly advisable. An in-depth Stormwater Pollution Prevention Plan is also recommended especially containment of all pollutants associated with the proposed operation.
12. Applicant shall maintain compliance with the City of Toledo’s stormwater regulations as specified in the Toledo Municipal Code. Special attention must be paid to all potential stormwater impacts from the facility, including but not limited to long-term operation and maintenance of both structural and non-structural Best Management Practices.
13. Applicant shall maintain compliance with the City of Toledo and State of Ohio’s Air Quality Regulations applicable in the Toledo Municipal Code and the Ohio Administrative Code including, but not limited to the Anti-Noise Laws.

Building Inspection

No comments at time of print.

EXHIBIT “A” (cont’d)

Division of Transportation

14. In accordance with the Toledo Municipal Code, drive approaches shall be a minimum of 65’ from the stop side of an intersection. The drive on Doty Street is not permitted in its current location and shall be removed.
15. 25’ wide access drive aisles shall be maintained throughout the site to accommodate two-way traffic. Drive aisles on the eastern portion of the property do not meet this requirement.
16. Parking spaces are not permitted to perpendicularly about other parking spaces as proposed in the center of the lot.
17. The compact car space does not meet the minimum dimension requirements for standard parking and shall not be permitted.
18. There is no parking for persons with disabilities shown on the site plan. ADA parking is required and must meet the requirements of the Toledo Municipal Code.

Plan Commission

19. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks **(if applicable)**.
20. Dumpsters may not be located in the public right-of-way as stated in TMC§1361.10(b)(10) of the Building Code.
21. All lots of the development site shall be combined into a single taxable parcel identification number.
22. Elevated displays lifts or metal structures used in conjunction with the display of motor vehicles shall be permitted only within those areas specifically designated upon the Site Plan and shall not be allowed in any required front yard. (TMC§1104.0302(A)) **(if applicable)**.
23. The Special Use Permit may be reviewed for compliance with the conditions of approval, negative secondary effects, and adherence to all requirements of the Toledo Municipal Code. If outstanding issues are found and not addressed the Special Use Permit may be considered for revocation.
24. All vehicles on display must be parked in striped parking spaces that shall be designated on an approved Site Plan. Vehicle parking that deviates from the approved Site Plan shall not be permitted.

EXHIBIT “A” (cont’d)

Plan Commission (cont’d)

25. Repairs and services of vehicles shall be conducted wholly within an enclosed building permanently located on the site.
26. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)).
27. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.
28. If the existing sales building is rebuilt or modified in the future, the building design shall meet the requirements of TMC§1109.0500 *Building Façade Materials and Color*. Exterior building materials shall not include concrete blocks, concrete panels or wood sheet goods as a predominant material. EIFS may not constitute more than 15% of the exterior for facades visible from the public right-of-way. The façade colors shall be low-reflectance, subtle, neutral or earth tone colors.
29. A detailed site, lighting, sign, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A fifteen foot greenbelt is required along the Sylvania Avenue and Doty Street frontages, and shall include a solid evergreen hedge planting and one tree per every 30 feet of frontage; **shall be noted on completed landscaping plan.**
 - b. A Type A Landscape Buffer is required along the rear of the property where the site abuts residential zoning. This buffer shall include ten feet of landscaping and a solid wood, board on board fence; **shall be noted on completed landscaping plan.**
 - c. A Type B Landscape Buffer is required along the side of the property where the site abuts CN Neighborhood Commercial zoning. This buffer shall include ten feet of landscaping consisting of two (2) canopy trees with eight (8) shrubs; **shall be noted on completed landscaping plan.**

EXHIBIT “A” (cont’d)

Plan Commission (cont’d)

- d. Foundation plantings for the full street-facing building elevation; and landscape areas at major building entrances; **shall be noted on completed landscaping plan.**
 - e. Topsoil must be back filled to provide positive drainage of the landscape area.
 - f. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage; **shall be noted on completed landscaping plan.**
 - g. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten feet (10’) in width; **shall be noted on completed landscaping plan.**
 - h. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC 1108.0400 Landscape Materials Standards.
 - i. The location, height and materials for any fencing to be installed and maintained.
 - j. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and
 - k. The location, lighting and size of any signs.
30. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
31. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
32. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

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GENERAL INFORMATION

Subject

- Request - Appeal of administrative disapproval of a Minor Site Plan Review for general retail sales
- Location - 4460 Lewis Avenue
- Applicant - Michael Safadi
38585 Scott
Westland, MI 48186
- Agent - John A. Weithman
P.O. Box 184
Waterville, OH 43566

Site Description

- Zoning - CR / Regional Commercial
- Area - ±0.19 acres
- Frontage - ±67' along Lewis Avenue
- Frontage - ±120' along Eleanor Avenue
- Existing Use - Vacant Gas Station
- Proposed Use - General Retail Sales

Area Description

- North - Drug Store / CR
- South - Commercial / CR
- East - Duplex Dwelling / CR & RD6
- West - Used Car Lot / CR

Parcel History

- SUP-5061-94 - Request for a Special Use Permit for a canopy installation to an existing filling station located at 4460 Lewis Avenue. Plan Commission recommended approval on 8/4/94, City Council approved on 9/6/94, Ord. 515-94.

GENERAL INFORMATION (cont'd)

Parcel History (cont'd)

- | | | |
|--------------|---|---|
| SUP-6001-10 | - | Request for a Special Use Permit for a convenience store and gasoline station located at 4460 Lewis Avenue. Plan Commission recommended disapproval on 7/8/14. Planning and Zoning referred back to Plan Commission with new application on 8/11/10. Application was withdrawn. |
| SUP-11001-14 | - | Request for a Special Use Permit for a convenience store and gasoline station located at 4460 Lewis Avenue. Application was withdrawn. |

Applicable Regulations

- Toledo Municipal Code, Part Eleven: Planning and Zoning Code
- Toledo 20/20 Comprehensive Plan.

STAFF ANALYSIS

The applicant is requesting an appeal of an administrative disapproval for a Minor Site Plan Review for a site located at 4460 Lewis Avenue, to facilitate the development of general retail sales. The site consists of one (1) parcel that is comprised of ±0.19 acres of total land area. The site is zoned CR Regional Commercial and was formerly a Clark Gas Station but has ceased operation for more than a year.

The existing ±448 square foot building will be utilized as a general retail sales shop that will not prepare nor sell food or beverage from the premises. The fuel tanks and pumps will be removed from the site to avoid ground contamination and allow for a more efficient parking scheme. An existing legal non-conforming fuel sales canopy located on the site is a remnant from a bygone gas station. Plan Commission staff has required that this canopy and columns be removed as part of site improvements. The applicant desires to keep said canopy as a beneficial amenity to the site.

STAFF ANALYSIS (cont'd)

Parking and Circulation

The existing fueling station canopy is located on the north side parallel to Eleanor Avenue and is intended to provide shelter over five (5) parking spaces. The site plan proposes the site to be accessed via one (1) curb cut on Lewis Avenue and one (1) curb cut on Eleanor Avenue. The applicant is proposing to reduce the width of the oversized curb cuts to provide code compliant ingress/egress to the site.

General Retail Sales are required to meet the number of parking spaces and standards outlined in Off-Street Parking Schedule B TMC§1107.0400. Pursuant to TMC§1107.0400 *Parking, Loading, and Access* – Schedule B, general retail sales are required to have one (1) parking space per 300 square feet of floor area. Calculations conclude that two (2) parking spaces are required for the proposed land use. The site plan submitted depicts a total of eight (8) customer parking spaces and is in compliance with the zoning code. The number of required bicycle parking slots is one (1) per ten (10) parking spaces. A revised site plan depicting the number and location of bicycle parking slots is required as a condition of approval.

Landscaping

The purpose of landscape and screening is to preserve existing landscaping, promote health, safety and welfare; protect, preserve, and enhance aesthetic appeal, character and value of the surrounding neighborhoods; provide coordinated streetscapes; reduce heat island effect; reduce pollutants in stormwater runoff; and improve the appearance of parking lots.

If approved, staff recommends the installation of greenbelts along both street frontages, outside of the right-of-way, to include a minimum of five (5) feet in width and shall consist of trees and an evergreen hedge. Additionally, staff recommends the installation of foundation plantings along all portions of the building that is visible from the public right-of-way. A landscape plan has not been submitted and the submittal of a landscape plan is a condition of approval.

Building Design

A building elevation has been submitted indicating metal siding as the predominant exterior building material on the north, south, and west facades. The east façade is primarily standard concrete block. While these materials do not comply with TMC§1109.0501.A – (*Façade Materials*) the building is existing, therefore, if approved, no modifications are required. Façade colors shall be low-reflectance, subtle, neutral or earth tone colors. Building trim and accent areas may feature brighter colors, including primary colors subject to the approval of the Planning Director (TMC§1109.0502(A) - *Design Standards*). The existing commercial building is in compliance with this regulation of the Zoning Code.

STAFF ANALYSIS (cont'd)

Building Design (cont'd)

Pursuant to TMC§1104.0903 *Use Regulations* – Support columns shall be brick, brick base, or other durable materials compatible with the principle building. Although the location of the canopy meets the required setback of ten (10) feet and the design criteria per TMC§1104.0903, the existing support columns are non-compliant. Staff views the canopy and support columns as obstructive to an efficient parking scheme while also being incompatible to the proposed development. Therefore, a condition of approval has been added requiring the removal of this feature (canopy and support columns) to resolve the aforementioned issues.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets this site for Neighborhood Commercial uses. The intent of the CN Neighborhood Commercial designation is to accommodate small and medium scale commercial uses that serve neighborhoods. The plan makes recommendations that are intended to improve the quality of life in neighborhoods and make them more attractive for current and future residents. The proposed development conforms to this land use designation.

Staff does not support the request for the canopy and support columns to remain on the site for the proposed development of general retail sales. The proposed use does not comply with all standards of the TMC, the zoning code, and other adopted City policies. Furthermore, the proposed plan does not provide for the safe, efficient, and convenient movement of pedestrians on the site

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission recommend disapproval of SPR-8-16, a request for an appeal of an administrative disapproval of a Minor Site Plan Review, for a general retail shop located at 4460 Lewis Avenue, to the Toledo City Council, for the following two (2) reasons:

1. The proposed use does not comply with tall standards of the TMC, the zoning code, and other adopted City policies (TMC§1111.0908.A) ; and
2. The proposed plan does not provide for the safe, efficient, and convenient movement of pedestrians on the site (TMC§1111.0908.D).

Although staff is recommending disapproval, conditions of approval are attached as Exhibit “A”.

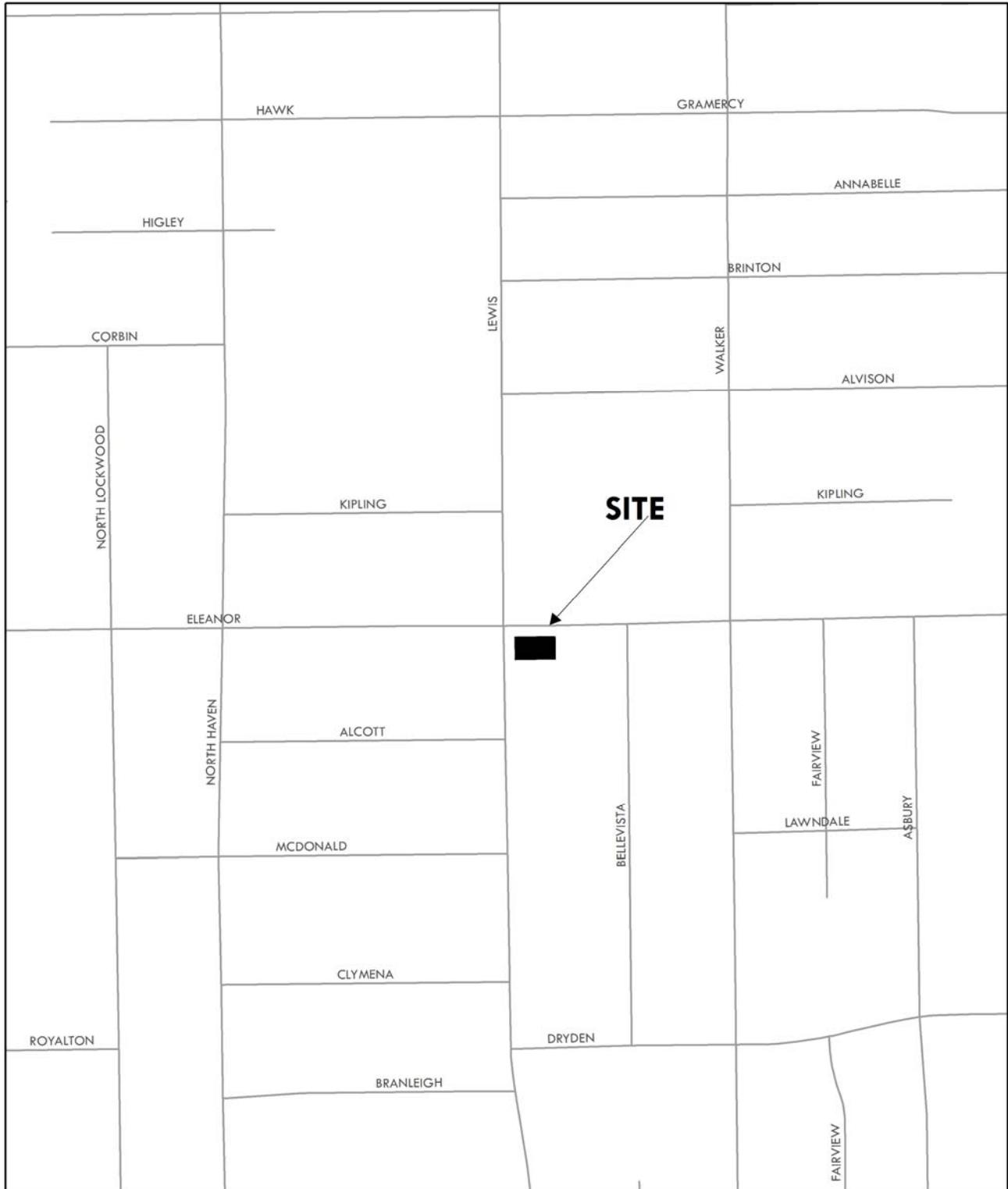
REF: SPR-8-16...August 11, 2016

MINOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SUP-8-16
DATE: August 11, 2016
TIME: 2:00 P.M.

GP/nn
Four (4) sketches follow
Exhibit "A" follow

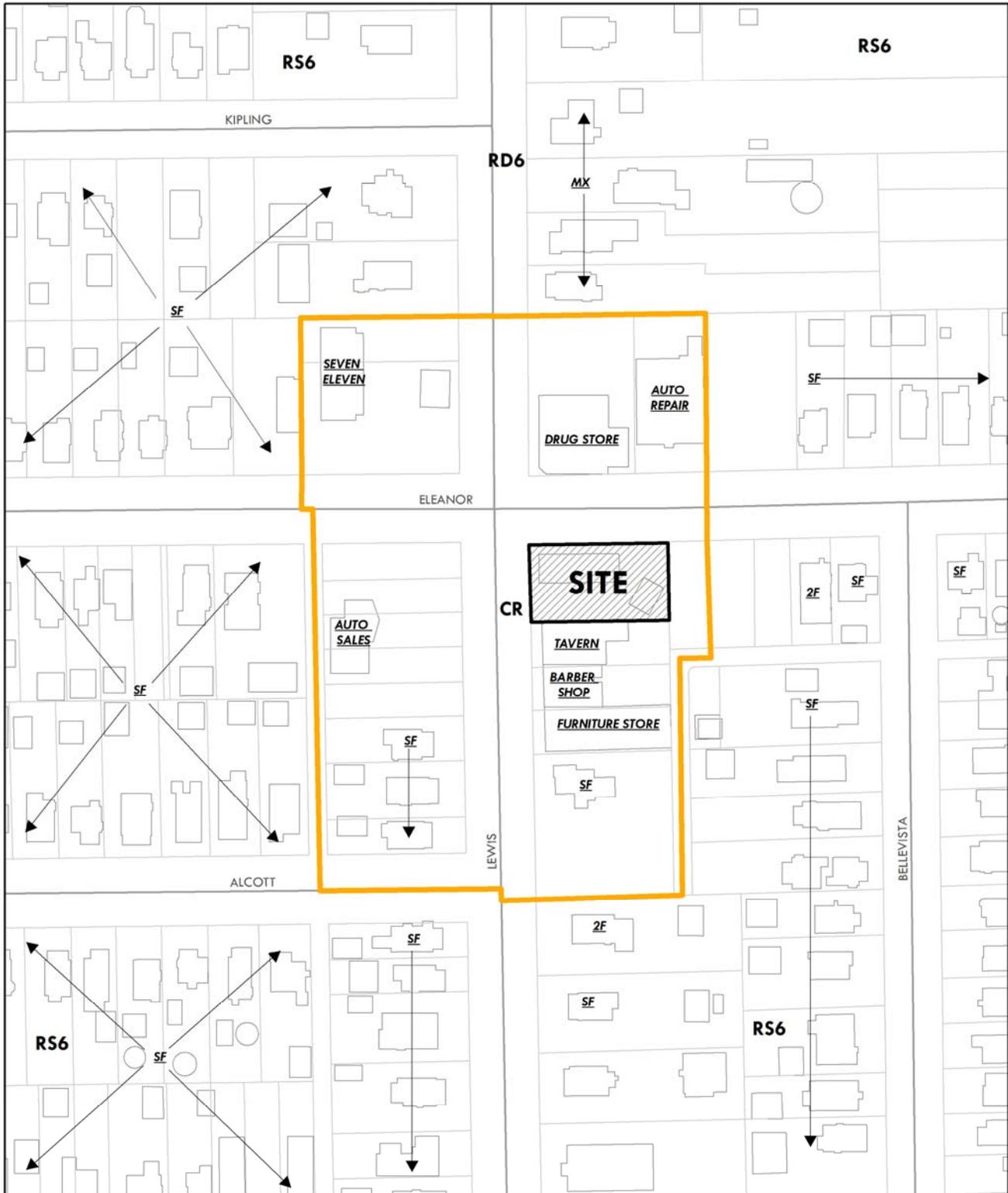
GENERAL LOCATION

SPR-8-16
ID 38



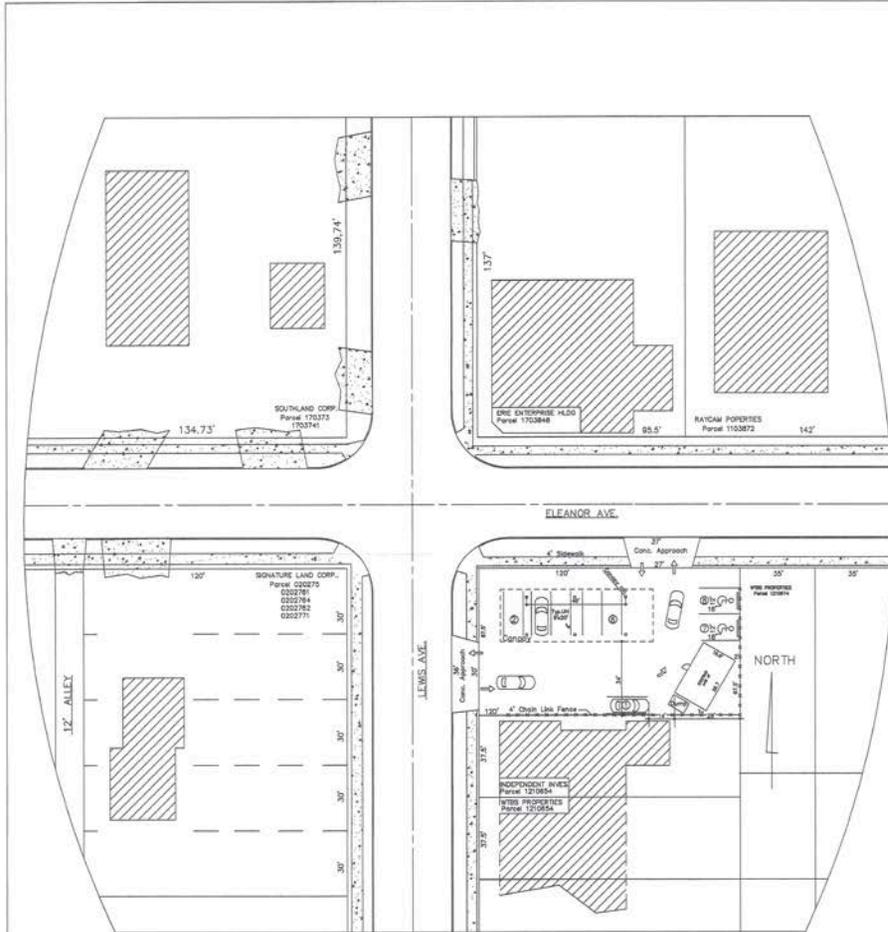
ZONING & LAND USE

SPR-8-16
ID 38

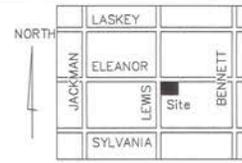


SITE PLAN

SPR-8-16
ID 38



SITE PLAN
Scale: 1" = 30'



LOCATION MAP

LEGAL DESCRIPTION
North 97.5 ft. of the West
150 ft except for streets
PORT LAWRENCE LANDS
Parcel # 18-20811
Assessor # 02-209-053.0

SITE DATA
Zoning: CR/Regional Commercial
Site: 8,100 sq ft
Existing building: 448 sq ft
Pavement area: 7,652 sq ft
Parking spaces required: 5
Parking spaces supplied: 8
No changes to on-site drainage
Pump islands & tanks to be removed.
Copy to remain.
All utilities are existing

OWNER
VICTOR SAFADI
Parcel #18-20811
Assessor #02-209-053



JOHN A. WEITHMAN, P.E.
P.O. BOX 184
WATERVILLE, OHIO 43566
ENGINEERING SURVEYING
Ph: 419-868-7778 Fax: 419-868-7774

MINOR SITE PLAN REVIEW - CHANGE OF USE PERMIT

RETAIL MERCHANDISE SALES
4460 LEWIS AVENUE
TOLEDO, OHIO 43612
SITE PLAN & SITE DATA

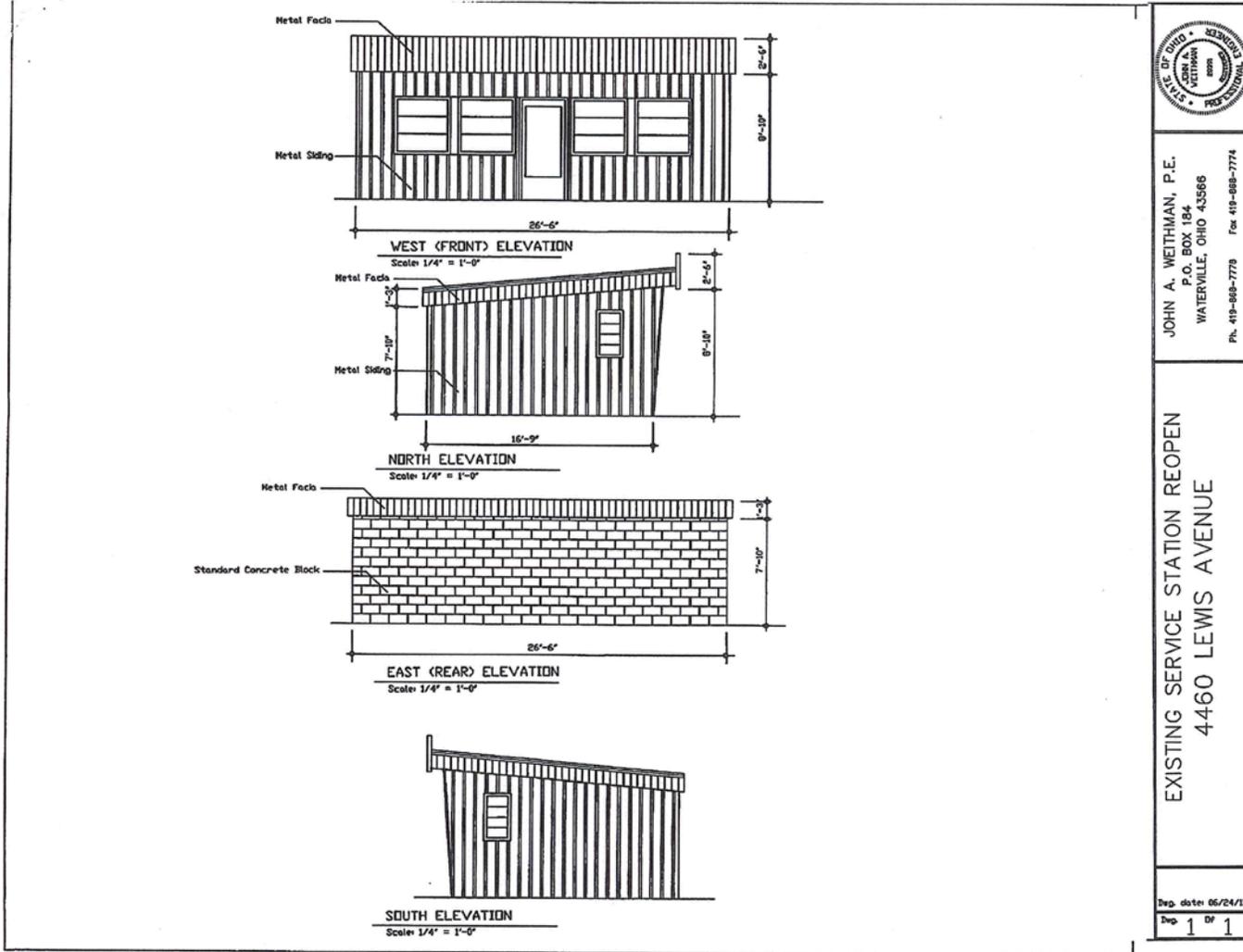
REVISED	06/30/16
DATE	04/18/16
BY	JAF
SCALE	1" = 30'

8-6

ELEVATIONS

SPR-8-16
ID 38

6-6



JOHN A. WEITHMAN, P.E.
P.O. BOX 184
WATERVILLE, OHIO 43386
Ph. 419-868-7778 Fax 419-868-7774

EXISTING SERVICE STATION REOPEN
4460 LEWIS AVENUE

Dep. date: 06/24/15
Dep. 1 DF 1

EXHIBIT “A”
(agency conditions)

The following twenty-two (22) conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Engineering Services

1. All **existing substandard** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way abutting the site shall be replaced and/or upgraded to conform to current City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
2. All **proposed** sidewalk, drive approaches, curb, and pedestrian curb ramps within the public right-of-way shall be constructed in accordance with the City of Toledo Construction Standards and Specifications, Toledo Municipal Code, and Americans with Disabilities Act Guidelines.
3. All commercial drive approaches (along with the sidewalk through the drive) shall be constructed with 8-inch-thick concrete per City of Toledo Construction Standards and Specifications. No curb shall be permitted in the right-of-way along either side of a drive approach. **No horizontal curb cutting will be permitted to create a curb drop or opening.**
4. Required permits for all approved work in the public right-of-way shall be obtained before work begins from One Stop Shop, (419) 245-1220.

Contact Joe Warnka at (419) 245-1341 for inspection of above-mentioned items.

5. All commercial properties are required to have approved backflow-protection devices installed on the domestic water service and fire-protection lines. Installation of the devices must be verified by the Division of Water Distribution, and all devices must be registered with BSIonlinetracking.com at 800-414-4990. Where devices are missing they shall be added. Contact the Division of Water Distribution (419-245-1395) to verify the backflow-prevention requirements for this site.

EXHIBIT "A" (cont'd)
(agency conditions)

Engineering Services (cont'd)

6. The design professional and/or property owner shall submit written documentation to the Division of Water Distribution that no changes are being made to the existing water service, meter setting, or backflow-protection device and that these devices are properly installed, tested, and in good working order. The City, at its discretion, has the authority to mandate the entire service, including meter and backflow-prevention device, be brought into compliance with current City of Toledo standards.
7. Contact the City of Toledo Fire Prevention Bureau (419-245-1263) to verify the fire-protection requirements for this site.
8. Plan commission submittal does not detail any revisions to the existing site that will require earth-disturbing activity of 2,500 or more square feet, nor are any changes shown to the existing storm sewer system. Therefore, it appears that there are no items requiring a storm-water plan review. However, if revisions are made to the site plan that will result in earth-disturbing activity of 2,500 or more square feet or cause changes to the existing storm sewer, a full site-plan review and approval will be required by the Division of Engineering Services. Plans will be subject to the rules and regulations of the City of Toledo, Storm Water Utility, including storm-water detention and post-construction storm-water Best Management Practices (BMPs) as specified in the City of Toledo Infrastructure Design and Construction Requirements and the Ohio EPA NPDES General Storm Water Permit for Construction Activities.

Sewer and Drainage Services

9. S&DS recommends that all private sewer lines that are not being removed or properly abandoned (both storm & sanitary) be cleaned and inspected.
10. S&DS recommends that the private sanitary lines (after they have been cleaned) that are not being removed or properly abandoned be televised from the building (or private cleanout) to where they connect with the public sewer system if this has not been done in the past (2) two years. An electronic copy (DVD/memory stick) shall be provided to S&DS demonstrating the lines cleaning and integrity.

Fire Prevention

No comments and/or objections to the site plan.

EXHIBIT “A” (cont'd)
(agency conditions)

Transportation

11. The parking under canopy is not shown as marked and striped. All marking must be marked, striped and meet the dimensional requirements in accordance with the Toledo Municipal Code.
12. The parking under the canopy is depicted as angled parking, perpendicular parking is more suitable for the current proposed parking lot configuration.

Plan Commission

13. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks.
14. Dumpsters may not be located in the public right-of-way as stated in TMC§1361.10(b)(10) of the Building Code.
15. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.
16. To facilitate movement and to help maintain an orderly parking arrangement, all parking spaces and aisles must be clearly stripe, with a minimum width of four (4”) inches.
17. Bicycle parking slots shall be provided pursuant to Off-Street Parking Schedule “A” (TMC§1107.0300).
18. Litter receptacles, for the use of parking area users and others, must be provided in off-street parking areas in accordance with the provisions of Park9Street, Utilities and Public Services Code, Section 963.22. A litter receptacle is treated as an accessory structure and must adhere to the criteria outlined in (TMC§1107.1910).
19. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)).

EXHIBIT "A" (cont'd)
(agency conditions)

Plan Commission (cont'd)

20. A detailed site, lighting, sign, fencing and landscaping plan shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. Greenbelts are required along all street frontages. Greenbelt frontage landscaping shall be a minimum width of five (5') feet; at least one (1) tree for every thirty (30) feet of lot frontage (existing trees may be eligible for credits);
 - b. A shrub or solid hedge row planting with a minimum height of eighteen (18") inches (when installed so as to achieve full screening at maturity) shall be provided to minimize headlight glare onto the right-of-way;
 - c. Topsoil must be back filled to provide positive drainage of the landscape area;
 - d. The location and direction of any proposed lighting. Lights and light fixtures used to illuminate any parking or loading area must be selected and arranged to direct and reflect the light away from any adjacent residential property and away from the sky above the light fixture.
 - e. Topsoil must be back filled to provide positive drainage of the landscape area;
 - f. Foundation plantings along all portions of the building that is visible from the public right-of-way and landscaping at all major building entrances;
 - g. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage;
 - i. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards;

EXHIBIT "A" (cont'd)
(agency conditions)

Plan Commission (cont'd)

- j. The location, type and direction of any proposed lighting. The lighting is subject to the approval of the Director of the City of Toledo Plan Commission (lights are to be directed away from adjacent residential properties);
 - k. The location, height and materials for any fencing to be installed and maintained shall be noted on fencing plan;
 - l. The location, lighting and size of any signs, all signage is subject to TMC§1387.
21. Minor adjustments to the site plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
22. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

GENERAL INFORMATION

Subject

Request	-	Minor Site Plan Review for indoor shooting range
Location	-	1902 Starr Avenue
Applicant	-	Marvin Belknap Competitive Home Properties, Inc. 1625 Starr Avenue Toledo, OH 43605
Architect	-	William R. Steele, AIA 2529 Talmadge Road Ottawa Hills, OH 43606

Site Description

Zoning	-	Regional Commercial / CR
Area	-	± 0.12 acres
Frontage	-	± 40' along Starr Avenue ± 126' along Howland Avenue
Existing Use	-	Office building
Proposed Use	-	Indoor shooting range
Parking Required	-	18 spaces
Parking Provided	-	12 spaces

Area Description

North	-	Parker Steel / IL
South	-	Alley, Single-Family Residential / RD6
East	-	Single-Family Residential /CR, RD6
West	-	Howland Avenue, Single-Family Residential / CR

Parcel History

None on record.

Applicable Plans and Regulations

- Toledo Municipal Code Part Eleven: Planning and Zoning
- Toledo 20/20 Comprehensive Plan

STAFF ANALYSIS

This case was deferred from the July 14, 2016 Plan Commission hearing in order for the applicant to address the Division of Transportation's comments. The applicant is requesting a Minor Site Plan Review for an indoor shooting range at 1902 Starr Avenue. The ± 0.12 acre site is currently occupied by an existing office building with a garage outbuilding in the back. The applicant intends to renovate the outbuilding with the addition of ten-feet (10') on the north side for the shooting range. The applicant currently owns and operates an existing shooting range at 1625 Starr Avenue with the intention to consolidate training courses and the shooting range in the facilities at 1902 Starr Avenue. Surrounding land uses include industrial land uses to the north, Single-Family Residential homes to the east, west and south of the property across the alley.

As a use category, indoor shooting ranges are defined as Sports and Recreation, Participant Indoor facilities. Pursuant to TMC§1111.0802(A)(3), a Minor Site Plan Review is required for any off-street parking developments with more than five (5) parking spaces. Due to parking constraints on the site, the applicant is proposing an alternative parking plan which could potentially impact surrounding property owners. As a result of the potential encroachment on surrounding residential properties, the Planning Director has requested a staff report be generated for Plan Commission review and action on the proposed site plan.

Parking and Circulation

The applicant is proposing an alternative parking plan to include two off-site parking lots at 1625 Starr Avenue and 1950/1956 Starr Avenue. Both properties are appropriately zoned CR Regional Commercial and occupied by existing commercial office buildings. The property at 1625 Starr Avenue is located approximately 720 feet away from the proposed shooting range 1902 Starr Avenue and currently operates as a shooting range which will be consolidated at the new location. The property at 1950/1956 Starr Avenue is located approximately 340' from the proposed shooting range.

The property at 1902 Starr Avenue has inadequate parking on site and only enough room for two (2) spaces. Pursuant to TMC§1107.0304 *Parking, Loading, and Access* – Schedule A, Sports and Recreation, Participant Indoor facilities are required to have one (1) parking space per 150 square feet of space. The site plan indicates that the total square footage of the building is 2,585 square feet. Calculations conclude that a total of eighteen (18) parking spaces are required with one (1) van accessible parking spaces for physically disabled persons. The site plan depicts a total of twelve (12) parking spaces including the off-site parking lots, two (2) of which are accessible parking spaces. Dimensional limitations with the parking configurations on each site restrict the development from satisfying the minimum parking requirements.

STAFF ANALYSIS (cont'd)

Parking and Circulation (cont'd)

Ingress and egress to a parking lot in a Commercial district must be from a major street or from a street located in a Commercial or Industrial district with Commercial or Industrial zoning on the opposite side of the street (TMC§1107.1203.A.). Although the proposed off-site parking lot at 1625 Starr Avenue is conforming to this regulation, the submitted site plan depicts the ingress and egress to the off-site parking lot at 1950/1956 Starr Avenue from an alley which is not a major street nor does it abut commercial or industrial zoning to the south. Ingress/egress to Starr Avenue at this location would have the same issue. Therefore, there is no way to access the 1950/1956 Starr Avenue parking lot without a waiver of TMC1107.1203.A.

Comments from the Division of Transportation indicated that the proposed parking located at 1950/1956 Starr Avenue does not meet the criteria for use of parking at a commercially zone establishment due to the parking for 1902 Starr Avenue interfering with the commercial use and the availability of parking at 1950/56 Starr Avenue for which it is intended, regardless of its current occupancy status. Additionally, the Division of Transportation is concerned with the off-site parking lot located at 1625 Starr Avenue not being within a reasonable distance to the main building. A revised site plan or documentation shall be submitted addressing the Division of Transportations comments listed as conditions of approval.

Landscaping

Because the building sits at the property line, there is little opportunity to provide landscaping along the Starr Avenue and Howland Avenue. Per TMC 1108.0203 Landscape Buffer and Screening Requirements, a Type A landscape buffer is required along all adjoining residential zoning districts surrounding the site and each off-site parking lot. If approved, this buffer shall include a solid privacy fence or wall and ten feet of landscaping including a combination of four (4) trees and fifteen (15) shrubs every one-hundred (100) linear feet. The site plan submitted does not depict any proposed changes to the landscaping. Existing landscaping is shown on the submitted site plan as grass but does not meet the minimum requirements for a Type A landscape buffer. However, the submitted site plan does depict a six-foot (6') tall solid wood fence screening each parking lot from adjoining residential properties.

Toledo 20/20 Comprehensive Plan

The Toledo 20/20 Comprehensive Plan targets included parcels for Single-Family Residential land uses. Staff recommends disapproval of the Site Plan Review for this location because the proposed use is not consistent with the Toledo 20/20 Comprehensive Plan. Additionally, the Division of Transportation has objected to the approval of the submitted site plan. Finally, the proposed off-site parking lots do not provide safe, efficient and convenient movement of vehicle or pedestrian traffic to the site.

STAFF RECOMMENDATION

The staff recommends that the Toledo City Plan Commission disapprove SPR-16-16, a Minor Site Plan Review for an indoor shooting range at 1902 Starr Avenue for the following four (4) reasons:

1. The Division of Transportation has objected to the approval of the submitted site plan provided by the Plan Commission.
2. The request is not consistent with all standards of the Toledo Municipal Code, this Zoning Code and other adopted City policies including the Toledo 20/20 Comprehensive Plan (TMC§1111.00809.A. Approval Criteria); and
3. Vehicular ingress and egress to and from the site does not provide for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well (TMC§1111.0809.C. Approval Criteria).
4. The off-site parking lots do not provide for the safe, efficient and convenient movement of pedestrians on the subject site (TMC§1111.0809.D. Approval Criteria).

Although the staff is recommending disapproval, conditions of approval are listed by agency of origin as Exhibit “A” for informational purposes.

MINOR SITE PLAN REVIEW
TOLEDO CITY PLAN COMMISSION
REF: SPR-16-16
DATE: August 11, 2016
TIME: 2:00 P.M.

RS

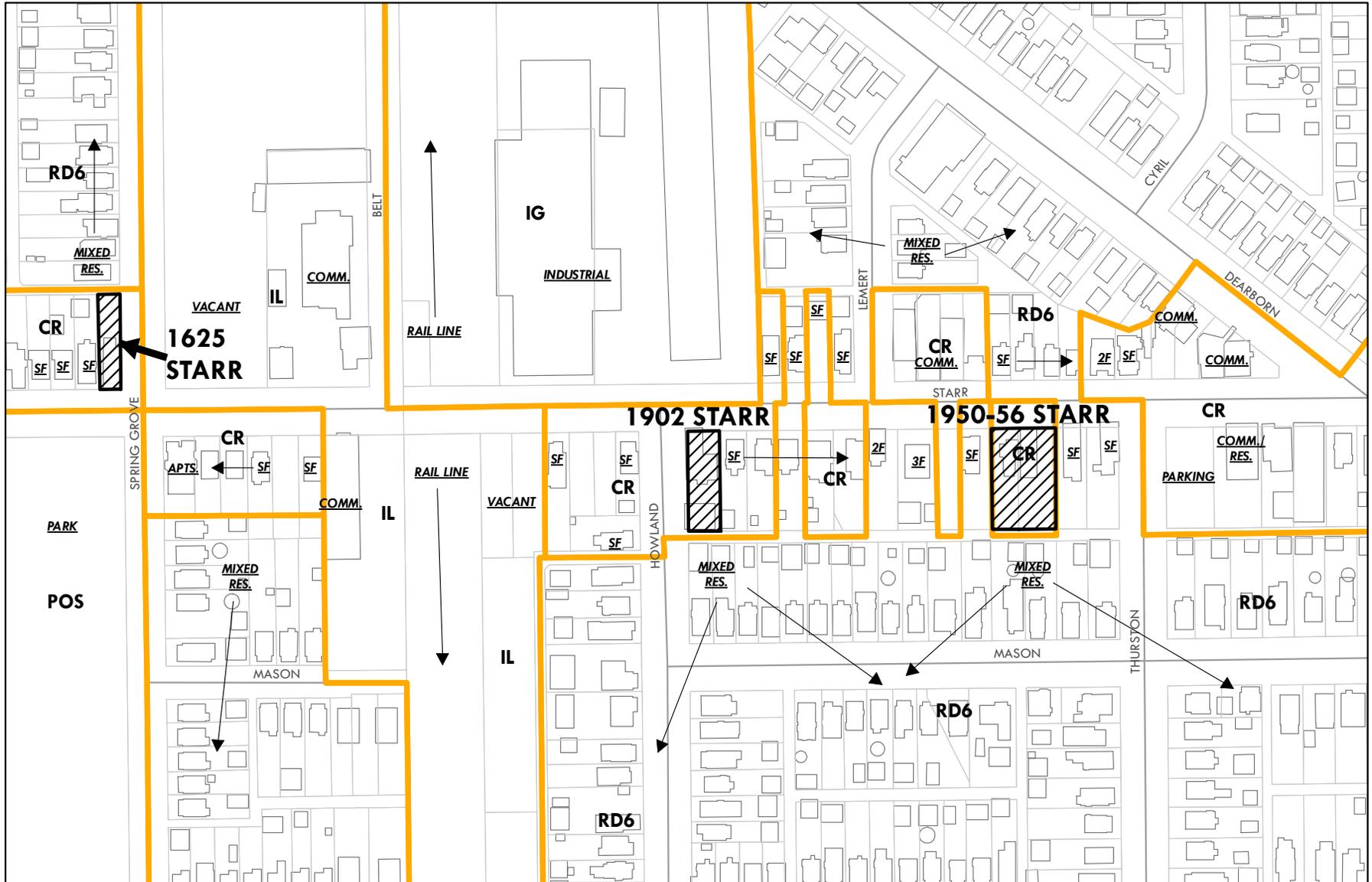
Five (5) sketches and one (1) exhibit follows

ZONING AND LAND USE

SPR-16-16
ID 26/28



10 - 6



SITE PLAN, 1902 STARR

SPR-16-16
ID 26/28



1902 STARR AVE. GARAGE EXPANSION & CONVERSION

LEGAL DESCRIPTION: EXTENSION OF HOWLANDS
ADDITION LOT 1
YEAR BUILT 1899
STRUCTURE CODE: MIXED RES/COMM

ZONED: 10-CK
NEIGHBOR DIRECTLY TO EAST IS RESIDENTIAL
CONCEPT: CONVERT EXISTING GARAGE PLUS SMALL
EXPANSION TO LEGAL INDOOR SHOOTING RANGE
40-FOOT FRONTAGE, 126 FEET DEPTH

EXISTING PROPERTY = 5,149 SQ. FT.
EXISTING OFFICE = 1,641 SQ. FT.
EXISTING GARAGE = 719 SQ. FT.
NEW ADDITION = 225 SQ. FT.

80% ALLOWABLE COVERAGE PER TOLEDO ZONING =
3,169 x 0.85 = 4,393 SQ. FT.
EXISTING COVERAGE IS 2,360 SQ. FT., OR 45% x 85%
SIDE YARD SETBACK = 10 FEET

ALLOWABLE ADDITIONAL COVERAGE INCLUDING
SETBACK RESTRICTION IS 2,033 SQ. FT.

THIS IS THE MAXIMUM ALLOWED PER BUILDING
ZONING CODE, BASED ON 10 FEET SIDE YARD
SETBACK AND THE DENSITY BUILDING REQUIREMENT.

ADDITION OF 225 SQ. FT. ADDED TO EXISTING
OUTREIDING FOR NEW SHOOTING RANGE.
225 x 2,360 = 2,585 SQ. FT. < 4,284 ALLOWABLE =
OK

GRASSY LANDSCAPE AREAS ARE EXISTING
CONVERT 'GARAGE' TO SHOOTING RANGE
NO DUMPSTER USED AT THIS LOCATION. OWNERS
USE CITY 'BLUP' BIN

BUILDING OWNERS:
MARVIN BELKNAP OF
COMPETITIVE HOME PROPERTIES INC.
1625 STARR AVE
TOLEDO, OHIO 43605
419-509-0801

CONTRACTORS:
BY OWNER

ARCHITECT:
William R. Steele, Architect
2529 Talmadge Rd.
Ottawa Hills, OH 43066
419.704.5149
wrsteele@HIREarchi.com
Ohio License 97-13770
EXP. 12/2016



RESERVED
PARKING

ACCESSIBLE
SIGN
CONCEIT



FENCE PLACEMENT ALONG RESIDENTIAL
PROPERTY LINE EAST SIDE OF
THIS PROPERTY

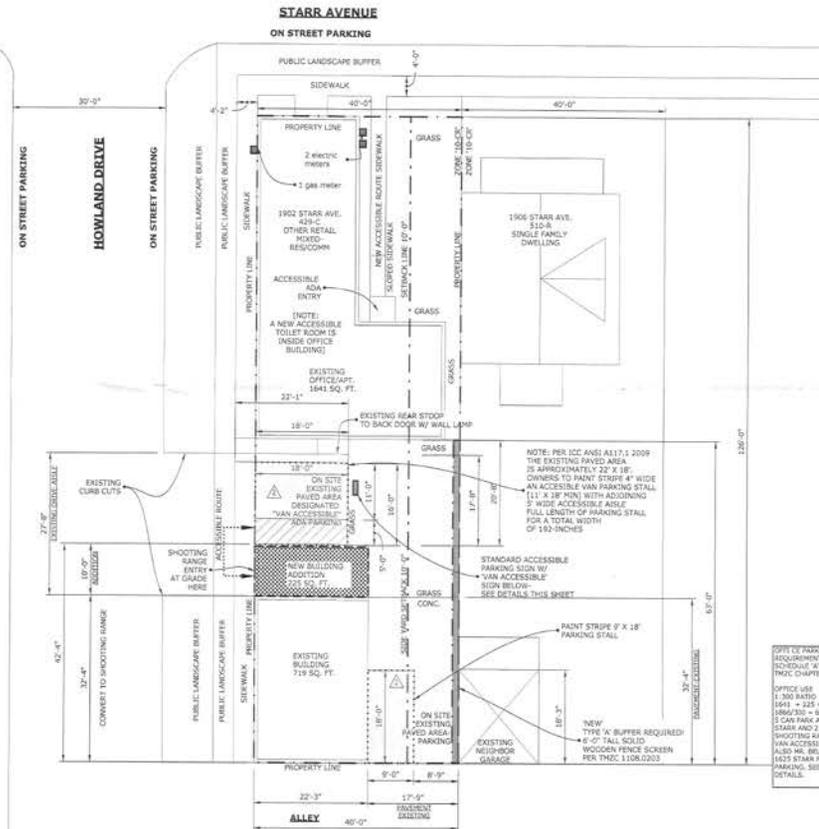
TYPE 'A' BUFFER 6'-0" DOG EARED FENCE ELEVATION

SCALE: 3/4" = 1'-0"

SHARED PARKING LOCATION
BENDING PARKER STEEL CO.
41-320 FT.



1902 Starr Ave
March 28, 2016



**OFFICE PARKING
REQUIREMENTS
PROVIDE 4'
TRUCK CHAPTER 1107**

OFFICE USE
1,300 BAY
1641 + 225 = 1866
1866/300 = 6.22 = 7 ALTOUS
5 CAN PARK AT 1906
STARR AND 2 ON SITE AT
SHOOTING RANGE. 1 IS
VAN ACCESSIBLE.
ALSO MR. BELKNAP OWNS
1000 STARR FOR
PARKING. SEE SP-3 FOR
DETAILS.

SITE PLAN AND RELATED ITEMS
NEW CHP INDOOR PISTOL RANGE
1902 STARR AVE.
Toledo, OH 43605

08/21/16 issued for Review
02/28/16 issued for Review
08/20/16 issued for Review
04/15/16 issued for Construction
04/24/16 issued for Site Plan Review
04/27/16 issued for Structural
Update
05/13/16 issued for Parking Striping
Update per City request
06/07/16 issued for Additional
Parking

SITE PLAN for 1902 STARR AVE.
SCALE: 1" = 10 FEET

NORTH



SP-1

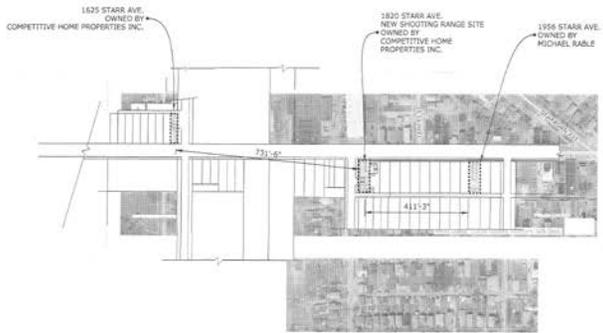
10-7

SITE PLAN, 1625 STARR

SPR-16-16
ID 26/28



1625 STARR AVE.
LEGAL DESCRIPTION: HICKS FARM ADDITION BLOCK 22, LOT 53, CLEVELAND SUB.
 YEAR BUILT 1992
 STRUCTURE CODE: 048 RETAIL STORE / INDOOR PISTOL RANGE
ACRES: 0.0755 AC.
GBAL: 1.156 GROSS BUILDABLE AREA
ZONED: 10-0R NEIGHBOR DIRECTLY TO WEST AND NORTH ARE RESIDENTIAL.
CONCEPT: USE SOME OF THIS PARKING FOR USE AT OUR SHOOTING RANGE AT 1820 STARR AVENUE.
 EXISTING PARKING CORRES DIRECTLY OFF OF — SPRING GROVE AVENUE.
 28 FEET FRONTAGE, 120 FEET DEPTH



OVERALL SITE PLAN for 1625, 1902 & 1956 STARR AVE.
SCALE: 1" = 200 FEET



SITE PLAN for 1625 STARR AVE.
SCALE: 1" = 10 FEET
NORTH



5/17/16
William R. Steen
Professional Engineer
2229 Tolandville Rd.
Toledo, Ohio 43606
419-704-9149
wsteen@wsteen.com
Ohio Architect #07-11770
Expiration 03/31/18

SITE PLAN AND RELATED ITEMS
 NEW CHP INDOOR PISTOL RANGE
 1902 STARR AVE.
 Toledo, OH 43605

SPLIT OF PARKING REQUIREMENTS SCHEDULE BY TMC CHAPTER 1107
 OFFICE USE
 1) 200 PARKING
 1941 = 225 = 1865
 1865/200 = 9.3 - 7 AUTOS
 2 CAR PARK AT 1956
 STARS AND 2 ON SETS AT SHOOTING RANGE. 1 IS VAN ACCESSIBLE.
 ALSO MR. BELANAP OWNS 1625 STARR FOR PARKING. SEE SP-3 FOR DETAILS.

02/12/16 Issued For Review
 02/28/16 Issued For Review
 04/20/16 Issued For Review
 04/28/16 Issued For Construction
 06/04/16 Issued For Site Plan Review
 05/07/16 Issued For Historical Approval
 05/11/16 Issued For Parking Striping
 05/04/16 City Street
 05/17/16 Issued For Additional Parking



SITE PLAN, 1956 STARR

SPR-16-16
ID 26/28



1956 STARR AVE. PARKING LOT

LEGAL DESCRIPTION: YESJINS ADDITION LOT 8 AND EAST 8.5 FEET LOT 7.
YEAR BUILT 1922
OWNER: MICHAEL KABLE
STRUCTURE CODE: 046 RETAIL STORE
ZONE: 10-CF
NEIGHBOR DIRECTLY TO EAST IS RESIDENTIAL.
CONCEPT:
THE IDEA HERE IS TO ALLOW PARKING ON THIS SITE TO BE USED FOR SHOOTING RANGE AT 1820 STARR AVENUE.
46.5- FEET FRONTAGE, 126 FEET DEPTH
USE REAR OF YARD FROM ALLEY FOR PARKING TO BE USED AT 1820 STARR AVE. FOR SHOOTING RANGE PARKING.
UPGRADE PARKING WITH ASPHALT AND STRIPING 9' X 18' SPACES.

TO WHOM IT MAY CONCERN
February 29, 2016

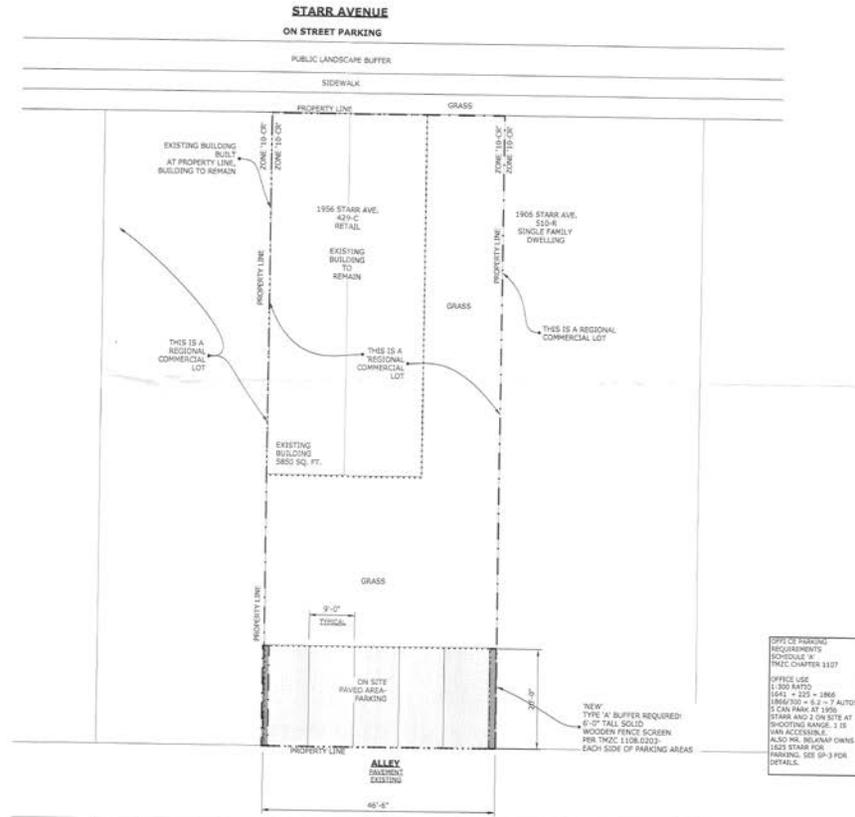
I have read to date the site plan for the property located at 1956 & 1902 Starr Ave., Toledo, Ohio 43605. I am a lot owner/possessor for THE PISTOL RANGE Indoor Pistol Range, Firearms Sales, and C&H Trading to use the parking in the rear of my property for the purpose of parking for their facility located at 1820 Starr Ave., Toledo, Ohio 43605. There are no existing parking spaces located in the rear of the property.

Respectfully,

Michael A. Kable
Michael A. Kable

10-CF CHAPTER 1107
SECTION 1107.02(A) AND (B)
SHARED PARKING
SHARED PARKING
LESS THAN 1,000 FEET
NON-RESIDENTIAL ZONING

NEIGHBOR CONCEPT LETTER FOR USE OF COMMERCIAL PARKING



OFFICE OF PARKING
REQUIREMENTS
SCHEDULE 'A'
TRUCK CHAPTER 1107
FR 1107
OFFICE USE
1:500 RATIO
1841' x 122' = 2866
1866/700 = 8.2 = 7 AUTOS
15' ON PARK SP 1956
STARR AND 2 ON SITE AT
SHOOTING RANGE. 1 IS
VAN ACCESSIBLE.
ALSO MR. KABLE OWNS
1820 STARR FOR
PARKING. SEE SP-3 FOR
DETAILS.



William R. Shouse
Architect
12528 Kestrelville Ave.
Toledo, Ohio 43606
419-736-5149
wshouse@earthlink.com
Ohio Architect #0111170
Expiration 12/2014

SITE PLAN AND RELATED ITEMS
NEW CHIP INDOOR PISTOL RANGE
1902 STARR AVE.
Toledo, OH 43605

PER CITY CODE Section 1107.02(A) Request for Review
PER CITY CODE Section 1107.02(B) Request for Review
PER CITY CODE Section 1107.02(C) Request for Construction
PER CITY CODE Section 1107.02(D) Request for Site Plan Review
PER CITY CODE Section 1107.02(E) Request for Final Approval
PER CITY CODE Section 1107.02(F) Request for Final Approval
PER CITY CODE Section 1107.02(G) Request for Final Approval
PER CITY CODE Section 1107.02(H) Request for Final Approval
PER CITY CODE Section 1107.02(I) Request for Final Approval
PER CITY CODE Section 1107.02(J) Request for Final Approval
PER CITY CODE Section 1107.02(K) Request for Final Approval
PER CITY CODE Section 1107.02(L) Request for Final Approval
PER CITY CODE Section 1107.02(M) Request for Final Approval
PER CITY CODE Section 1107.02(N) Request for Final Approval
PER CITY CODE Section 1107.02(O) Request for Final Approval
PER CITY CODE Section 1107.02(P) Request for Final Approval
PER CITY CODE Section 1107.02(Q) Request for Final Approval
PER CITY CODE Section 1107.02(R) Request for Final Approval
PER CITY CODE Section 1107.02(S) Request for Final Approval
PER CITY CODE Section 1107.02(T) Request for Final Approval
PER CITY CODE Section 1107.02(U) Request for Final Approval
PER CITY CODE Section 1107.02(V) Request for Final Approval
PER CITY CODE Section 1107.02(W) Request for Final Approval
PER CITY CODE Section 1107.02(X) Request for Final Approval
PER CITY CODE Section 1107.02(Y) Request for Final Approval
PER CITY CODE Section 1107.02(Z) Request for Final Approval

SITE PLAN for 1956 STARR AVE.
SCALE: 1" = 10 FEET
NORTH



SP-2
AAA

**Exhibit “A”
Review Agency Conditions**

The following twelve (12) conditions are listed by agency of origin. Applicants are encouraged to contact each of the agencies to address compliance with their conditions.

Fire Prevention

1. Owner shall comply with all applicable requirements (Ohio Fire Code NFPA 495) regarding the storage and use of small arms, ammunition, small arms primers, smokeless propellants and black powder. OFC Section 3306, NFPA 495.

Transportation

2. The proposed parking located at 1956 Starr Ave. does not meet the criteria for use as parking at a commercially zone establishment. The lot is for use at 1956 Starr Ave. regardless of its current habitation status. Use for patrons for 1902 Starr interferes with the availability of the parking at the structure for which it is intended.
3. The Division of Transportation desires to be judicious regarding the distance of the additional required parking located at 1625 Starr Ave. The proposed distance of this off-site parking lot is not within a reasonable distance to the main building.

Plan Commission

4. Applicant shall obtain a waiver to **TMC1107.1203.A.** to allow for ingress/egress to a commercial property outside of commercial district or major street with commercial or industrial zoning on the opposite side of the street.
5. Dumpster location(s) shall be clearly defined, have a concrete pad and be surrounded by a solid wooden fence or a masonry screen enclosure with landscaping and shall not be located in any required setbacks (**not applicable**).
6. Whenever a parking lot extends to a property line, sidewalk, planting strip, or building, a wheel stop device consisting of a concrete stop, a permanent concrete curb, an expanded sidewalk or other suitable restraint as approved by the Planning Director must be installed to prevent any part of a parked motor vehicle from extending beyond the property line, overhanging a pedestrian walkway or sidewalk, or damaging any structure or landscaping (TMC§1107.1907(A)).
7. Off-street parking and loading spaces, parking lots, maneuvering areas, aisles and driveways must be surfaced with concrete, bituminous asphalt, or other dust-free material other than gravel or loose fill, and be graded to drain all surface water towards the interior of the parking lot.

Exhibit “A” (cont’d)

Plan Commission (cont’d)

8. A detailed site, lighting, sign, fencing and four (4) copies of a landscaping plan (separate from building & site plans) shall be submitted to the Plan Director for review and approval. Such plan shall include:
 - a. A greenbelt is required along the Starr Avenue frontage, and shall include a solid evergreen hedge planting and one tree per every 30 feet of frontage; **(not applicable)**.
 - b. A Type A Landscape Buffer is required along the rear and side of the property where the site abuts residential zoning. This buffer shall include ten feet of landscaping and a solid wood, board on board fence; **not acceptable as depicted on site plan.**
 - c. Interior site landscaping shall include one tree per 1000 square feet of building coverage. Greenbelt frontage trees are included in this total, minimum of 2 trees in the front and side yards. Interior site landscaping may consist of foundation shrub plantings and new tree planting or preservation of existing trees **(not applicable)**.
 - d. Foundation plantings for the full street-facing building elevation; and landscape areas at major building entrances;
 - e. Total interior landscaping shall be 20 square feet per parking space. Landscape areas within the parking area shall be peninsular or island types and must be constructed with 6 inch by 18 inch concrete curbing; **(not applicable)**.
 - f. All parking spaces must be within 100 linear feet of a landscaped area;
 - g. Topsoil must be back filled to provide positive drainage of the landscape area.
 - h. Landscaped areas may not contain bare soil, aggregated stone or decorative rock. Any ground area must be covered with hardwood mulch, grass or other vegetative ground coverage;
 - i. Perimeter landscaping must be installed along any parking lot area adjacent to a street, place or driveway, or which is visible from an adjacent property, and shall be ten feet (10’) in width; **not acceptable as depicted on site plan.**
 - j. The location, number, height, diameter and species of any materials to be planted and maintained, as well as the location and number of any existing trees to be retained, trees, shrubs, and landscape materials shall meet the standards included in TMC§1108.0400 Landscape Materials Standards.

Exhibit “A” (cont’d)

Plan Commission (cont’d)

- k. The location, height and materials for any fencing to be installed and maintained.
 - l. The location and direction of any proposed lighting (lights are to be directed away from adjacent residential properties); and
 - m. The location, lighting and size of any signs.
9. A Bond of Performance or suitable assurance acceptable to the Division of Inspection valid for a period of two (2) years shall be posted with the Commissioner of Inspection providing for the installation of required landscaping within one (1) year. **Landscaping shall be installed and maintained indefinitely.**
10. Minor adjustments to the Site Plan that do not violate the above conditions, or the Toledo Municipal Code, may be reviewed and approved by the Director of the Toledo City Plan Commission.
11. Per TMC§1111.0814, if a building permit is not issued within one year of this approval date (8-11-2016) then the site plan approval shall become null and void.
12. No permits shall be issued until arrangements satisfactory to the Director of the City of Toledo Plan Commission have been made for compliance with the conditions as set forth above.

GENERAL INFORMATION

Subject

- Request - Text Amendment to Modify the Definition for Parking, Commercial
- Applicant - Toledo City Plan Commission

STAFF ANALYSIS

The request is a text amendment to modify the definition of the Parking, Commercial use category. This category allows vehicles to be parked on a property as a primary use or accessory parking for a specific on site use with occasional parking for vehicles not connected to the use. Fees may or may not be charged. The intent of this category is for short term parking, but there are technically no parameters on how long a vehicle can be parked. This allows an appropriately zoned commercial parcel to be used as an informal storage facility for vehicles.

The storage area is typically associated with vehicles for sale. The parking lot becomes a place where vehicles are either stored and moved when inventory space is available at the offsite auto sales lot or when the vehicle, which is advertised off-site, is sold. This can result in a facilities that functions similar to an auto sales lots without any of the additional review or design standards.

The recommendation, which is included in Exhibit “A”, focuses on vehicles rather than parking duration, as parking can be difficult to prove and enforce. The revised language requires all vehicles that are parked in a Parking, Commercial use have valid license plates associated with and displayed on each vehicle. A new category will be created called Vehicle Storage, which provides for the storage of vehicles with or without valid plates. However, instead of being allowed in highly visible commercial locations, they are permitted only in the IL and IG zoning district and are subject to screening requirements for outdoor storage. Vehicle sales or advertisements for vehicle sales are not permitted at these facilities.

In addition to these recommendations, staff recommends that City Council consider adding language to the ordinance applying these changes to all existing facilities and give a timetable for facilities to be brought into compliance, such as six months or a year.

STAFF RECOMMENDATION

Staff recommends that the Toledo City Planning Commission recommend approval of M-13-16, a Text Amendment to modify the definition for Parking, Commercial, as outlined in Exhibit “A”, to Toledo City Council.

REF: M-13-16 ... August 11, 2016

TEXT AMENDMENT
TOLEDO CITY PLANNING COMMISSION
REF: M-13-16
DATE: August 11, 2016
TIME: 9:00 A.M.

CITY COUNCIL COMMITTEE OF
ZONING AND PLANNING
DATE: September 14, 2016
TIME: 9:00 A.M.

JL
Exhibit "A" follows

Exhibit “A”

(Additions in bold italics. Deletions in strikethrough.)

Use Category	RS 12	RS 9	RS 6	RD 6	RM (all)	R MH	CN	CO	CM	CS	CR	CD	IL	IG	IP	POS	IC
Commercial Use Types																	
Parking, Commercial	-	-	-	-	-	-	-	-	-	S	P	S	--	-	-	-	P
Fleet Storage	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-
Vehicle Storage	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	-

1116.0233 Parking, Commercial

Facilities that provide parking that is not accessory to a specific use. A fee may or may not be charged. A facility that provides both accessory parking for a specific use and regular fee parking for people not connected to the use is also classified as a Commercial Parking use. **Vehicles located on the property must have valid license plates associated with and displayed on each individual vehicle. All activities associated with vehicle sales or advertisements for vehicles sales are not permitted at the facility. A facility that provides parking or storage of vehicles without valid license plates is considered Vehicle Storage.**

1116.0251 Vehicle Sales and Service

Sales of motor vehicles or services related to motor vehicles. The following are vehicle sales and service use types:

B. Fleet Storage

Fleet storage, together with fueling and incidental maintenance, of vehicles used regularly in business operation and not available for sale, or long-term storage of operating vehicles. Typical uses include taxi fleets, mobile-catering truck storage, and auto storage garages.

[New Section Added After Vehicle Sales and Service 1116.0251. Subsequent sections renumbered.]

1116.0252 Vehicle Storage

Facilities that provide parking or storage of vehicles with or without valid license plates.. Vehicles are commonly part of inventory for sale at another location or stored before transfer to another facility. Vehicles must be operable. All activities associated with vehicle sales, advertisements for vehicle sales, or the disassembly of vehicles for parts are not permitted at the facility. Vehicle inventory is subject to the outdoor storage screening requirements of TMC 1108.0203.H. Excludes uses that qualify as Auto and RV Sales/Rental, Auto and RV Sales, used only, or Scrap and Salvage Operations.

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STAFF REPORT CONDITIONS OF APPROVAL – AGENCY SOURCE IDENTIFICATION

Recommendations for conditions of approval often originate from agencies that have reviewed plans and proposals under consideration by the Plan Commission. To indicate which agency requested which condition of approval, that agency's name is placed at the end of the condition in parenthesis. Agency names are listed below:

TOLEDO-LUCAS COUNTY
PLAN COMMISSIONS
ONE GOVERNMENT CENTER
SUITE 1620
TOLEDO, OH 43604
419-245-1200

FIRE PREVENTION
c/o BUILDING INSPECTION
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

TOLEDO EDISON COMPANY
CHRISTINE CUNNINGHAM
ENGINEERING SERVICES
6099 ANGOLA RD.
HOLLAND, OH 43528
419-249-5440

DIVISION OF WATER DISTRIBUTION
401 S. ERIE STREET
TOLEDO, OH 43604
419-936-2826

DIVISION OF FORESTRY
COMMISSIONER
2201 OTTAWA PARKWAY
TOLEDO, OH 43606
419-936-2326

UNITED STATES POST OFFICE
POSTMASTER
435 S. ST. CLAIR STREET
TOLEDO, OH 43601
419-245-6802

DIVISION OF WATER
RECLAMATION
COMMISSIONER
3900 N. SUMMIT STREET
TOLEDO, OH 43611
419-727-2602

DIVISION OF INSPECTION
COMMISSIONER
ONE GOVERNMENT CENTER
SUITE 1600
TOLEDO, OH 43604
419-245-1220

LUCAS SOIL AND
CONSERVATION DISTRICT
JEFF GRABARKIEWICZ
130-A W. DUDLEY
MAUMEE, OH 43537
419-893-1966

DIVISION OF TRANSPORTATION
COMMISSIONER
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1300

DIVISION OF
ENGINEERING SERVICES
COMMISSIONER
ONE LAKE ERIE CENTER
600 JEFFERSON AVENUE, STE 300
TOLEDO, OH 43604
419-245-1315

LUCAS COUNTY ENGINEER
KEITH EARLEY
1049 S. MCCORD ROAD
HOLLAND, OH 43528
419-213-2860

SERVICE DEPARTMENT
EDWARD MOORE, DIRECTOR
110 N. WESTWOOD
TOLEDO, OH 43607
419-245-1835

COLUMBIA GAS COMPANY
TONY BUCKLEY
FIELD ENGINEER TECHNICIAN
2901 E. MANHATTAN BLVD
TOLEDO, OH 43611
419-539-6078

LUCAS COUNTY
SANITARY ENGINEER
JIM SHAW
111 S. McCORD ROAD
HOLLAND, OH 43528
419-213-2926

TOLEDO-LUCAS COUNTY
HEALTH DEPT.
LANA GLORE, ENV. HEALTH SERV.
635 N. ERIE STREET ROOM 352
TOLEDO, OH 43604
419-213-4209

A T & T
ATTN: DESIGN MANAGER
130 N. ERIE, ROOM 714
TOLEDO, OH 43604
419-245-7000

BUCKEYE CABLESYSTEM, INC.
GARY KASUBSKI
4818 ANGOLA ROAD
TOLEDO, OH 43615
419-724-3821

VERIZON
BRAD SNYDER
300 W. GYPSY LANE
BOWLING GREEN, OH 43402
419-354-9452

WATERVILLE GAS
JAMIE BLACK
PO BOX 259
WATERVILLE, OH 43566
419-878-4972

OHIO GAS
MIKE CREAGER
13630 AIRPORT HWY.
SWANTON, OH 43558
419-636-1117

TIME WARNER
RAY MAURER
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
614-481-5262

EMBARQ
117 E. CLINTON STREET
NAPOLEON, OH 43545
419-599-4030

CENTURYLINK
TIM R. TAYLOR
375 E. RIVERVIEW AVE.
NAPOLEON, OH 43502

Toledo - Lucas County General Street Map

